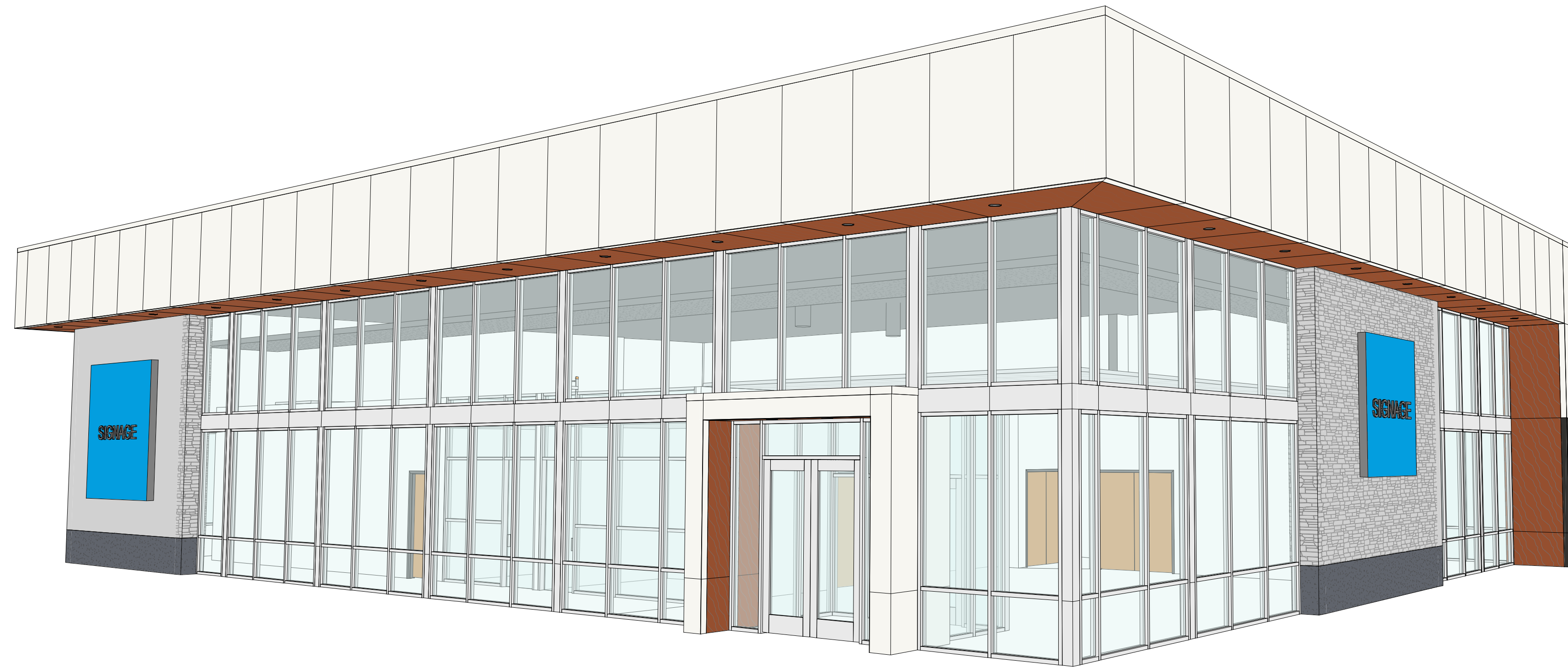


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OFFICE BUILDING SHELL

2442 LOUISIANA BOULEVARD NE



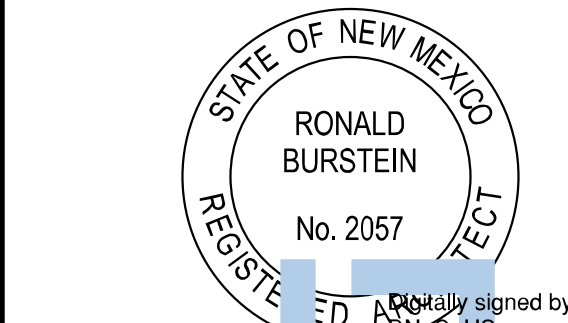
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Architect Engineer



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Date: 2022.04.29 14:49:45-06'00'

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2442 Louisiana Boulevard NE
Albuquerque, NM 87110

DRAWING INDEX	
00	COVER SHEET
01	SITE DEVELOPMENT PLAN
02	SITE DETAILS
03	SITE DETAILS
04	FLOOR PLAN
05	PLANTING PLAN, SCHEDULE AND DETAILS
06	GRADING PLAN
07	UTILITY PLAN
08	EXTERIOR ELEVATIONS
09	SUN AND SHADE ANALYSIS
10	EXTERIOR PERSPECTIVES
11	FIRE 1 PLAN

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1	2022-03-25	DRB REVISIONS
No	Date	Description
Revision Schedule		

ISSUE: DRB SUBMITTAL
PROJECT NUMBER: 2130
FILE: 2130 Office Building
DRAWN BY: SJM
CHECKED BY: SSWA
DATE: APRIL 29, 2022

SHEET TITLE
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PROJECT DIRECTORY**

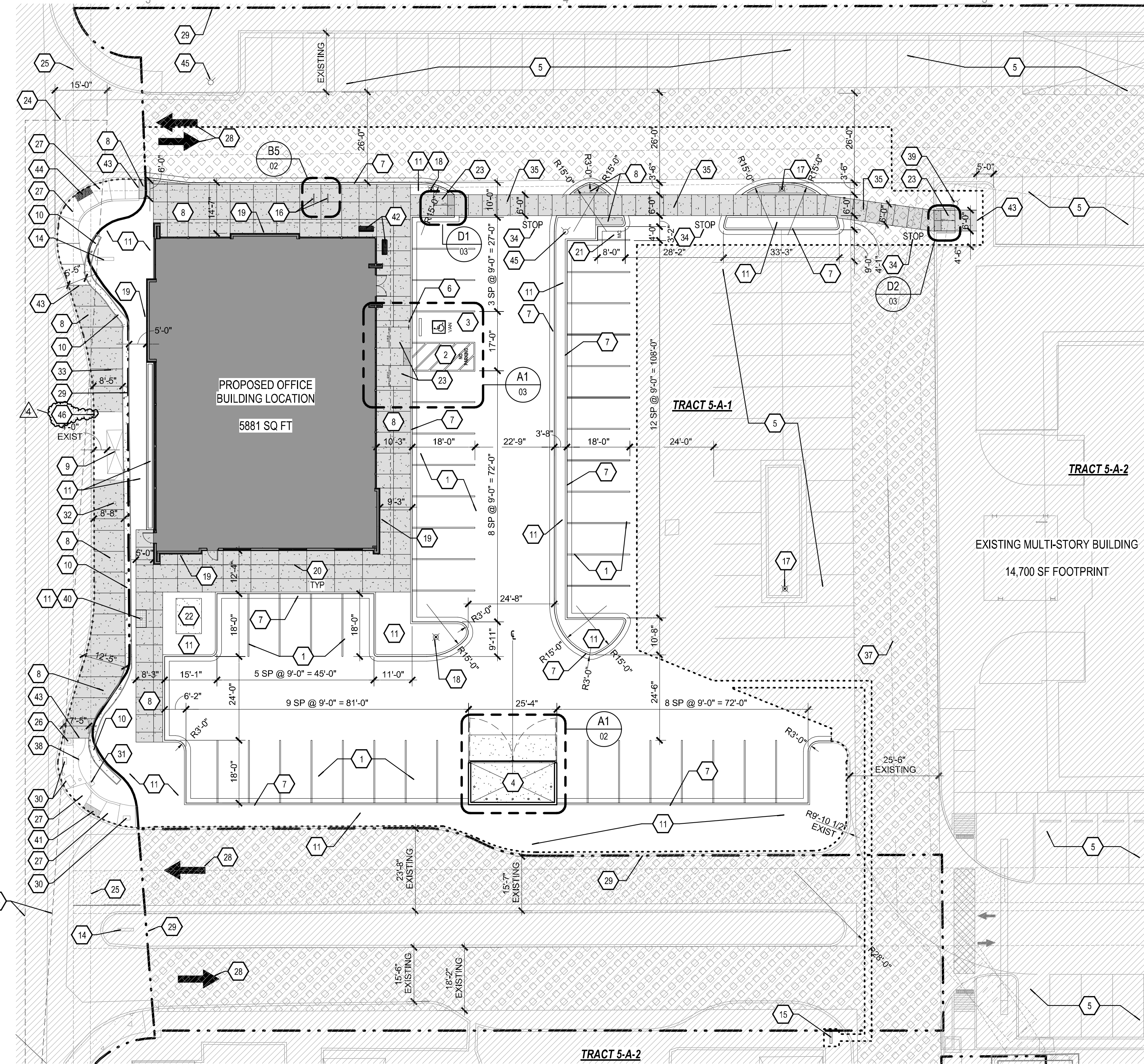
00
Sheet 00 of 11

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KEYED NOTES

- 1 PAINTED PARKING STRIPING (4-INCH WIDE), COLOR: WHITE. SEE SITE DETAIL A1/03
2 PAINTED HANDICAP PARKING STRIPING. SEE INDICATED ENLARGED PLAN.
3 PAINTED ADA SPACE SIGN. SEE INDICATED ENLARGED PLAN.
4 NEW TRASH ENCLOSURE. SEE INDICATED ENLARGED PLAN.
5 EXISTING PAVING TO REMAIN. PARKING SPACES ARE CROSS EASEMENT SPACES ACCESSIBLE PARKING SIGNAGE. SEE INDICATED ENLARGED PLAN.
6 6" CONCRETE CURB AND GUTTER -SEE SITE DETAILS C2/03 & C3/03, RE. CIVIL
7 NEW CONCRETE PAVING. SIDEWALK WAIVER WAS SUBMITTED TO DRB 3/28/2022 AND APPROVED 4/27/22
8 EXISTING BUS STOP, CONCRETE PAVING, BENCH SEATING AND TRASH RECEPTACLE TO REMAIN.
9 EXISTING RETAINING WALL TO REMAIN
10 LANDSCAPING AREA. SEE LANDSCAPE PLAN.
11 EXISTING MONUMENT SIGN
12 NEW DIRECTIONAL MONUMENT SIGN
13 BIKE RACK. SEE INDICATED ENLARGED PLAN.
14 EXISTING LIGHT POLE
15 NEW 20'-0" LIGHT POLE. SEE D1/02
16 BUILDING MOUNTED SIGNAGE - SEE SHEET 08
17 NEW CONTROL JOINTS AND EXPANSION JOINTS FOR NEW SIDEWALK. SEE SITE DETAIL A3/03
18 MOTORCYCLE PARKING. SEE A3/02 FOR SIGNAGE
19 ELECTRICAL TRANSFORMER
20 NEW SIDEWALK RAMP. SEE INDICATED ENLARGED PLAN.
21 CLEAR SITE TRIANGLE. LIMIT LANDSCAPING HEIGHT WITHIN THIS AREA. SEE LANDSCAPING.
22 DRY UTILITY EASEMENT
23 EXISTING TRAFFIC LIGHT
24 EXISTING SIDEWALK RAMP
25 ROADWAY ARROW. SEE A2/03
26 PROPERTY LINE
27 EXISTING UTILITY BOX
28 EXISTING CROSS WALK SIGN
29 EXISTING STREET LIGHT TO REMAIN
30 EXISTING BUS STOP SIGN TO REMAIN
31 "STOP" PAINTED IN 12" TALL LETTERS
32 NEW 6' WIDE ADA WALKWAY TO ENCOURAGE PEDESTRIAN ACCESS
33 EXISTING UNDERGROUND EASEMENT
34 EXISTING SPEED LIMIT SIGN
35 EXISTING FIRE HYDRANT
36 NEW TREE GRATE
37 EXISTING DETECTABLE WARNING SURFACE
38 NEW 4 FT BENCH
39 CONNECTIONS TO EXISTING SIDEWALK. SEE C3/03
40 NEW DETECTABLE WARNING SURFACE
41 NEW PRIVATE FIRE HYDRANT. SEE CIVIL
42 SIDEWALK WAIVER TO APPLY TO EXISTING LOUISIANA SIDEWALK. WAIVER APPROVED APRIL 27, 2022. PROJECT # PR-2019-003021, APPLICATION # VA-2022-00073

LOUISIANA BLVD



A2 SITE PLAN 1" = 20'-0"

PROJECT NUMBER: PR-2019-003021

Application Number: SI-2022-00308

Is an Infrastructure List required? (x) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

- M. P. Carter, P.E., Traffic Engineering, Transportation Division, Jun 24, 2022
Blaine Carter, Jun 28, 2022
Cheryl H. Hensley, Jun 24, 2022
Ernest Amizor, Jun 24, 2022
Jeff P. Ryan, Jun 24, 2022
* Environmental Health Department (conditional), Jun 28, 2022
Solid Waste Management, Jun 28, 2022
DRB Chairperson, Planning Department

Table with 2 columns: BUILDING AREAS and PARKING INFORMATION. Includes details for Gross Building Area (5881 SF) and required/provided parking spaces.

Table with 2 columns: GENERAL NOTES and LEGEND. Includes notes A-K regarding parking design, easements, and construction limits, along with a legend for various site features.

Table with 2 columns: VICINITY MAP and a detailed map showing the project location relative to surrounding streets and landmarks.

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CONSULTANTS

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STATE OF NEW MEXICO REGISTERED PROFESSIONAL ENGINEER RONALD BURSTEIN No. 2057

Office Building Shell
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OFFICE BUILDING SHELL

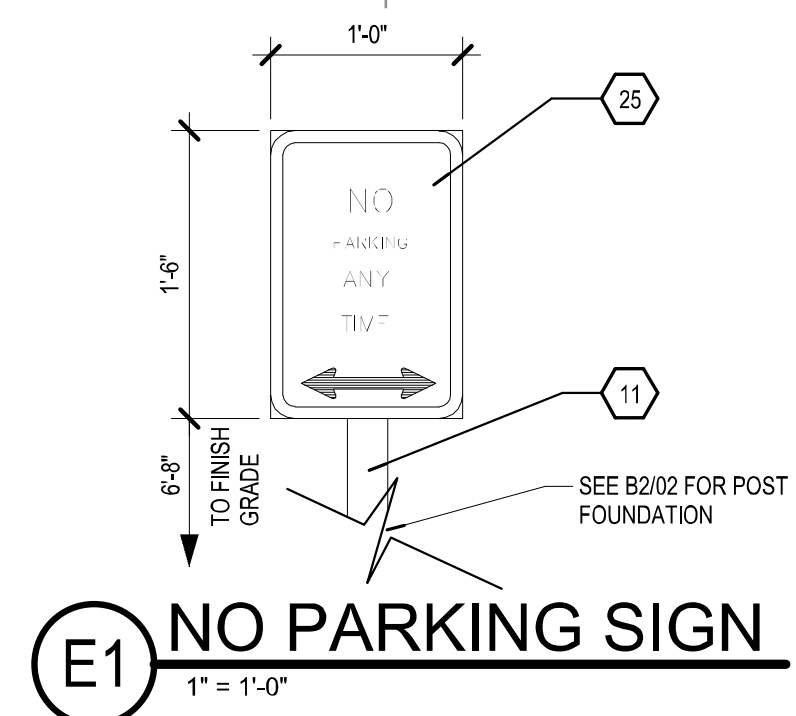
2442 Louisiana Boulevard NE
Albuquerque, NM 87110

Revision Schedule table with columns: No, Date, Description. Includes entries for DRB Revisions on 2022-05-27, 2022-05-15, and 2022-03-25.

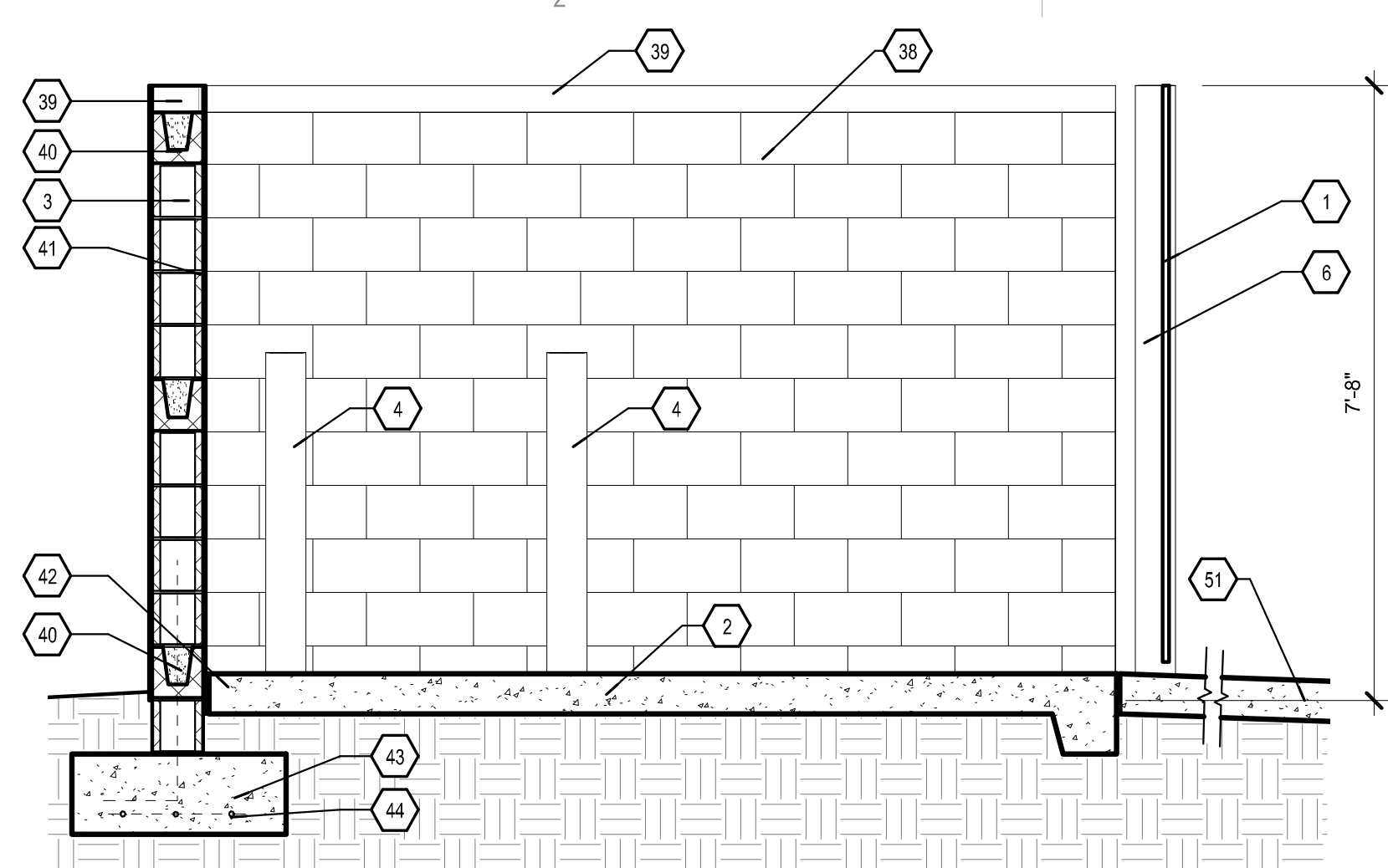
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PROJECT NUMBER: 2130
FILE: 2130 Office Building
DRAWN BY: Author
CHECKED BY: Checker
DATE: APRIL 29, 2022

SHEET TITLE: SITE DEVELOPMENT PLAN

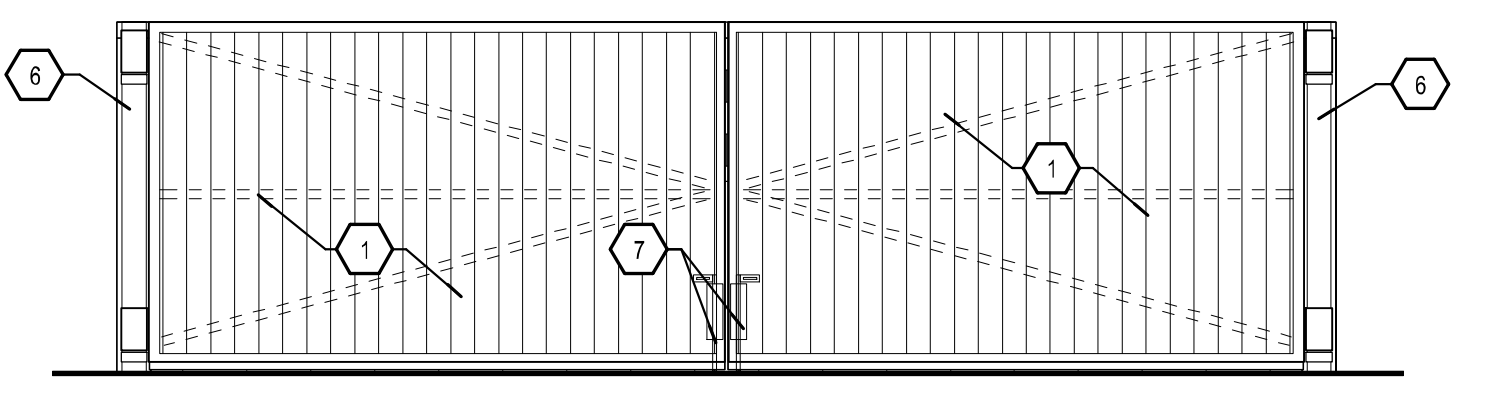
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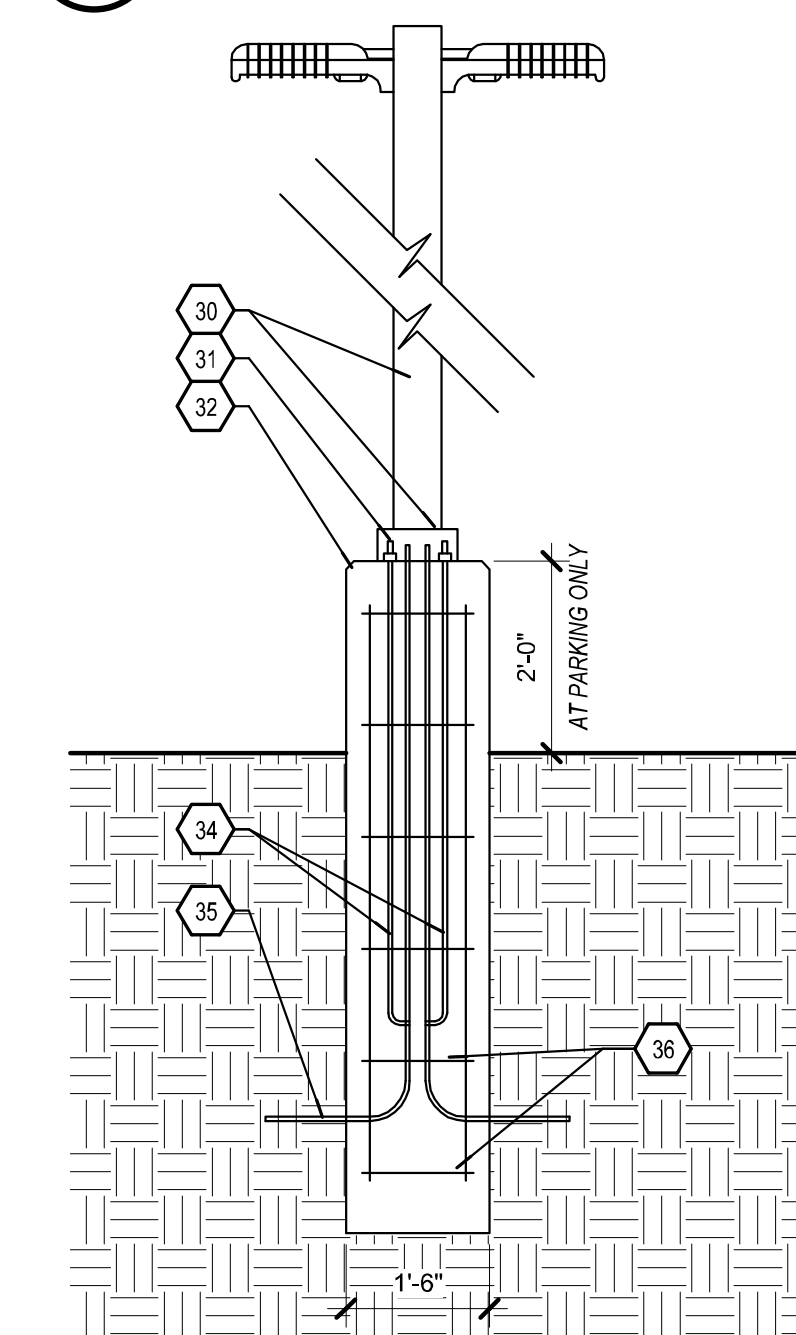
E1 NO PARKING SIGN
1" = 1'-0"



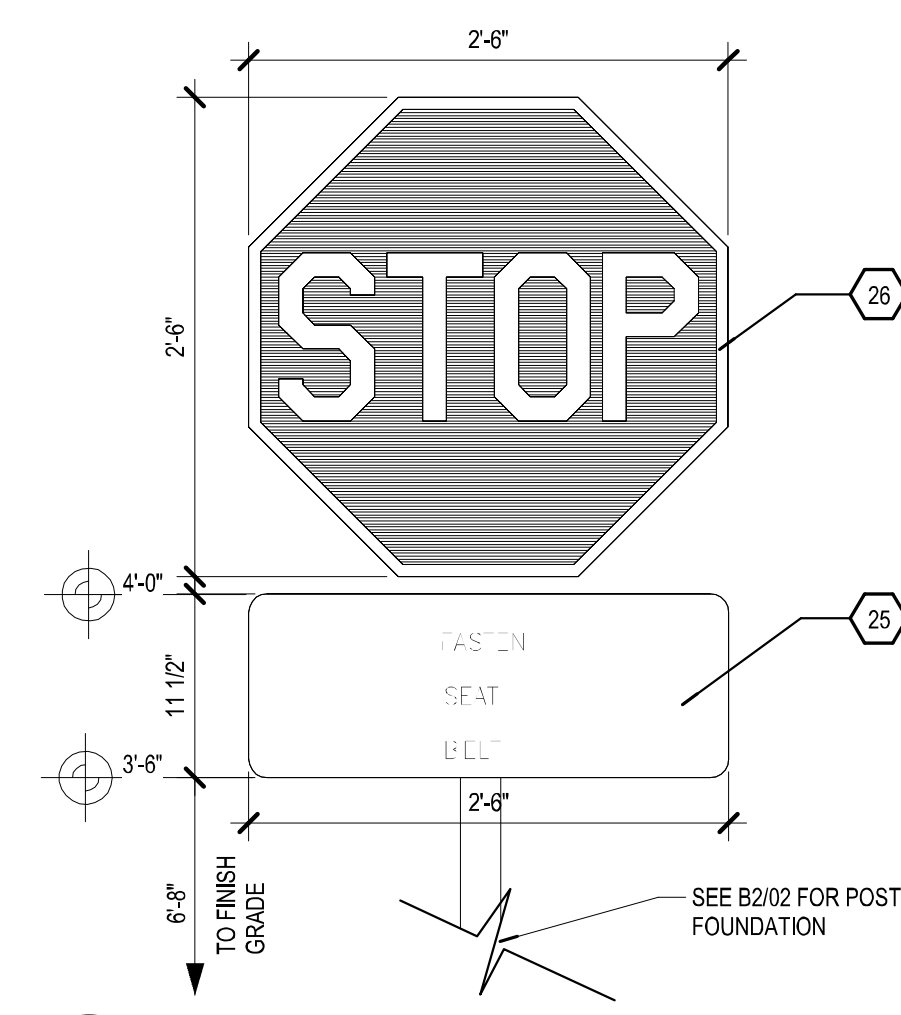
E2 TRASH ENCLOSURE SECTION
1/2" = 1'-0"



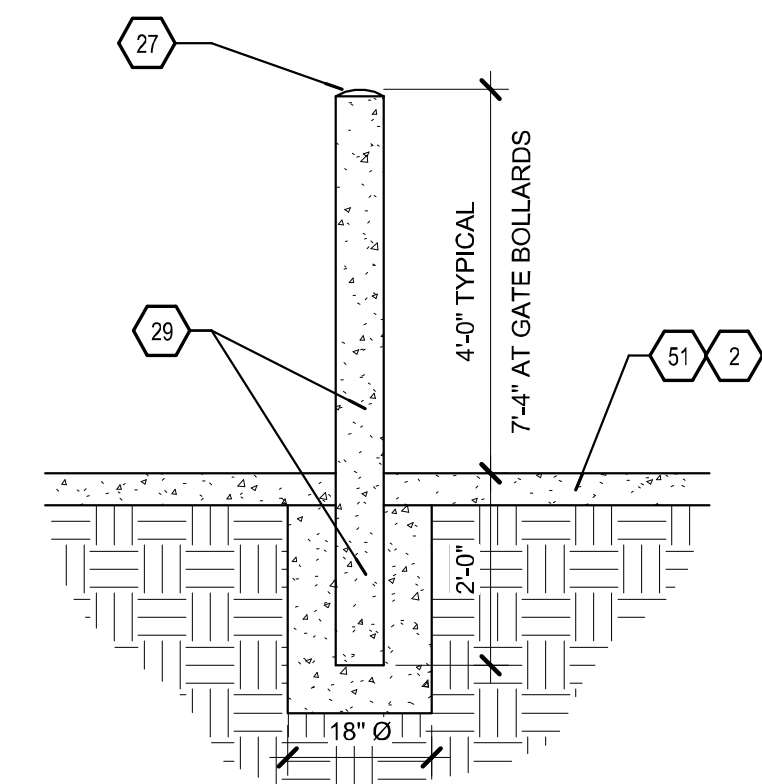
E3 TRASH ENCLOSURE ELEVATION
1/4" = 1'-0"



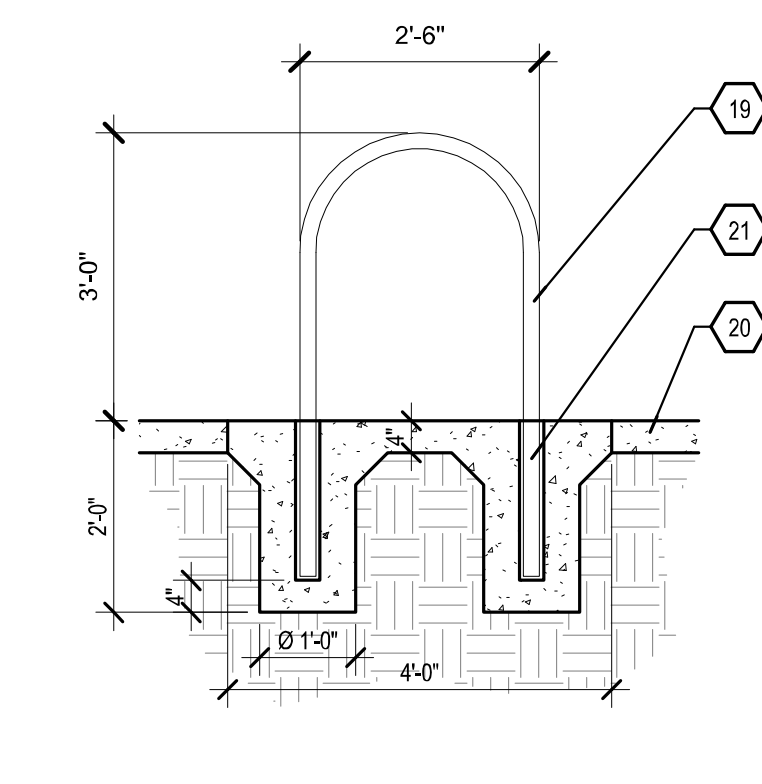
D1 SITE LIGHTING DETAIL
1/2" = 1'-0"



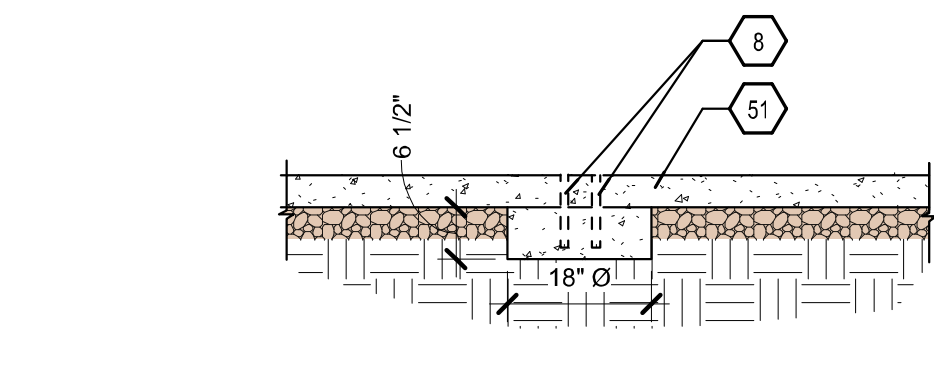
D2 STOP SIGN
1" = 1'-0"



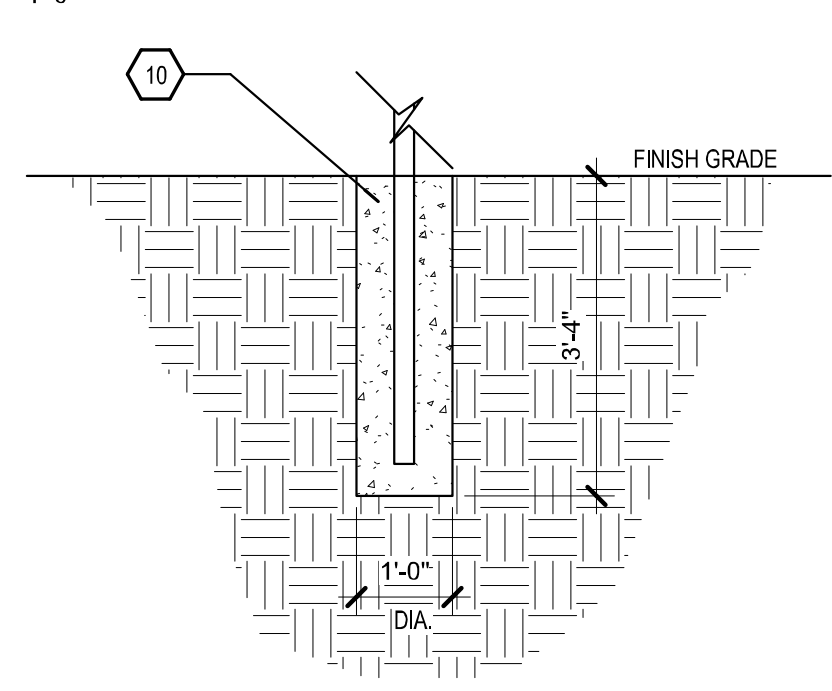
D3 BOLLARD DETAIL
1/2" = 1'-0"



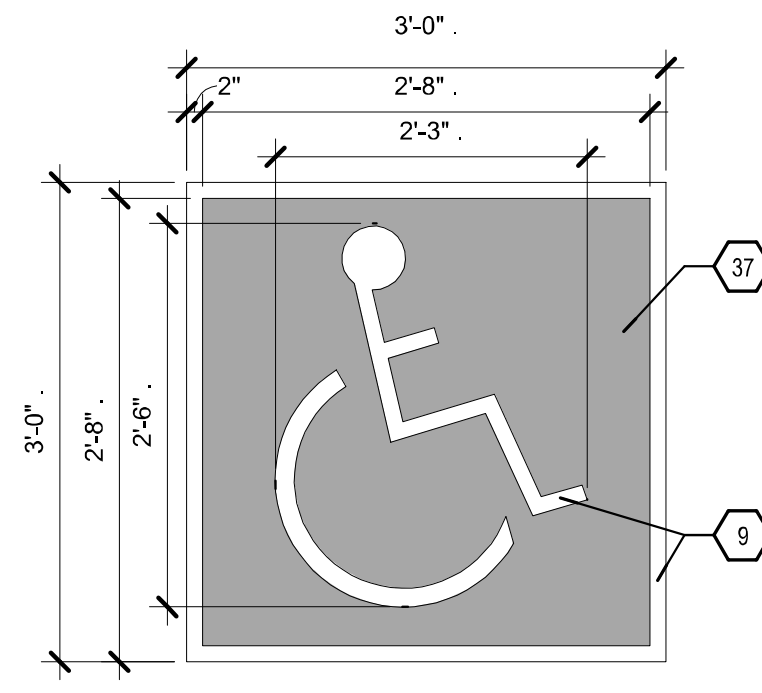
D4 BIKE RACK SECTION
1/2" = 1'-0"



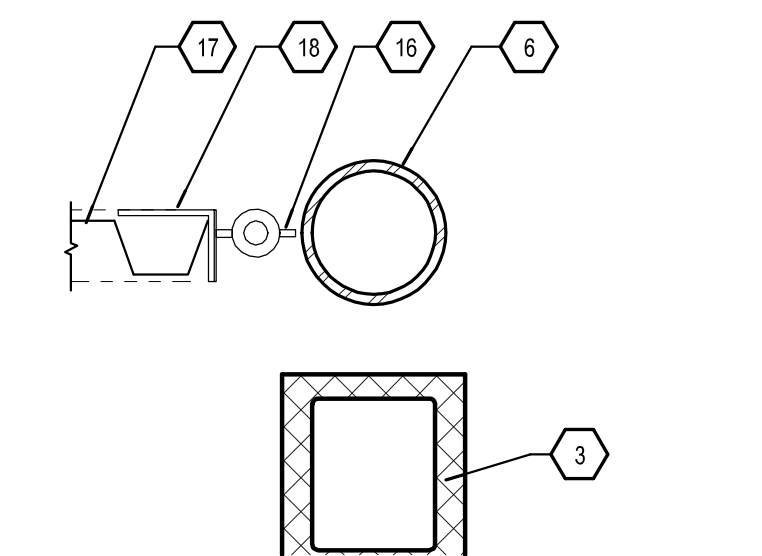
B1 SLEEVE AT CANE BOLT
1/2" = 1'-0"



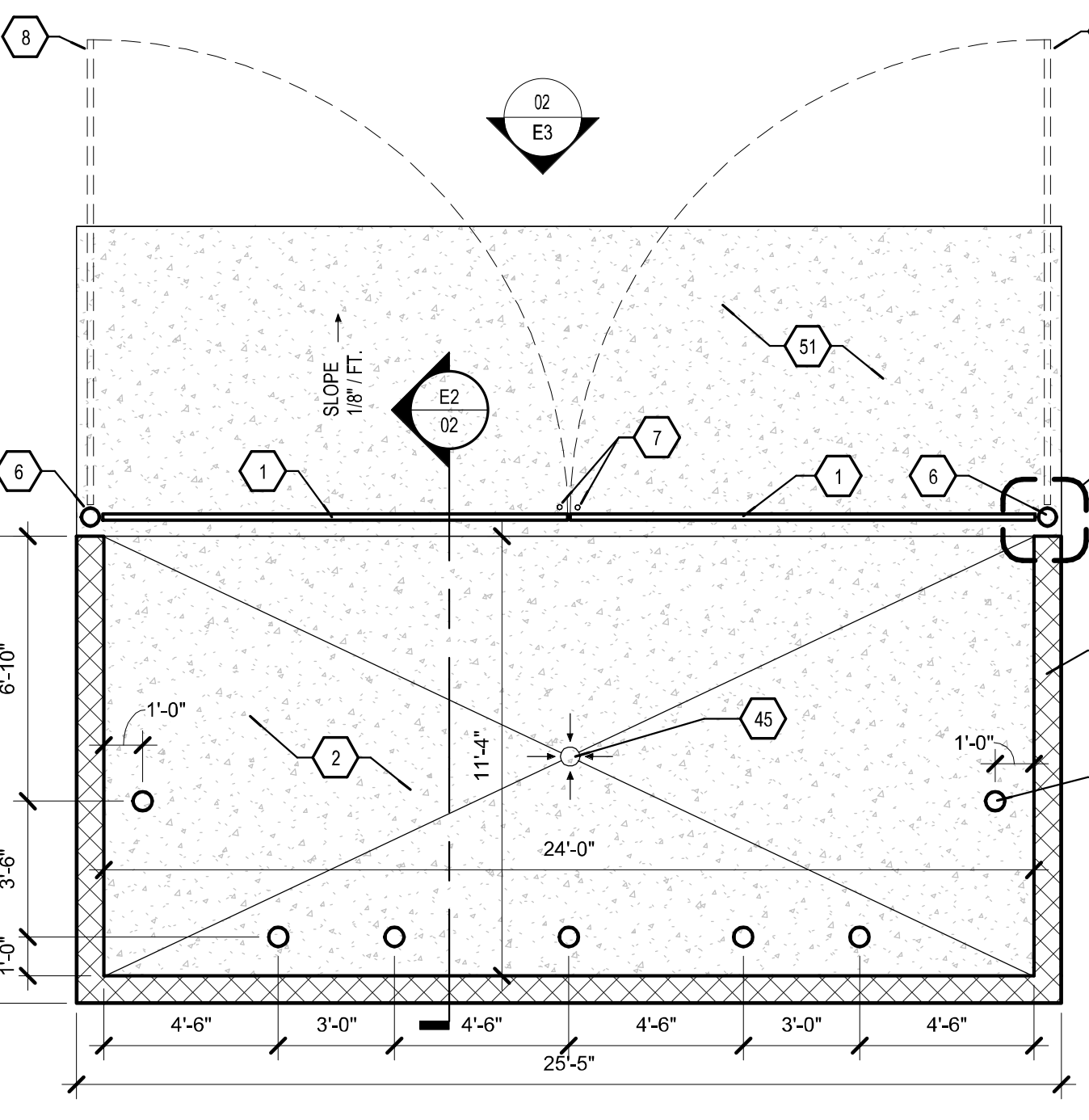
B2 SIGN POST FOUNDATION
1/2" = 1'-0"



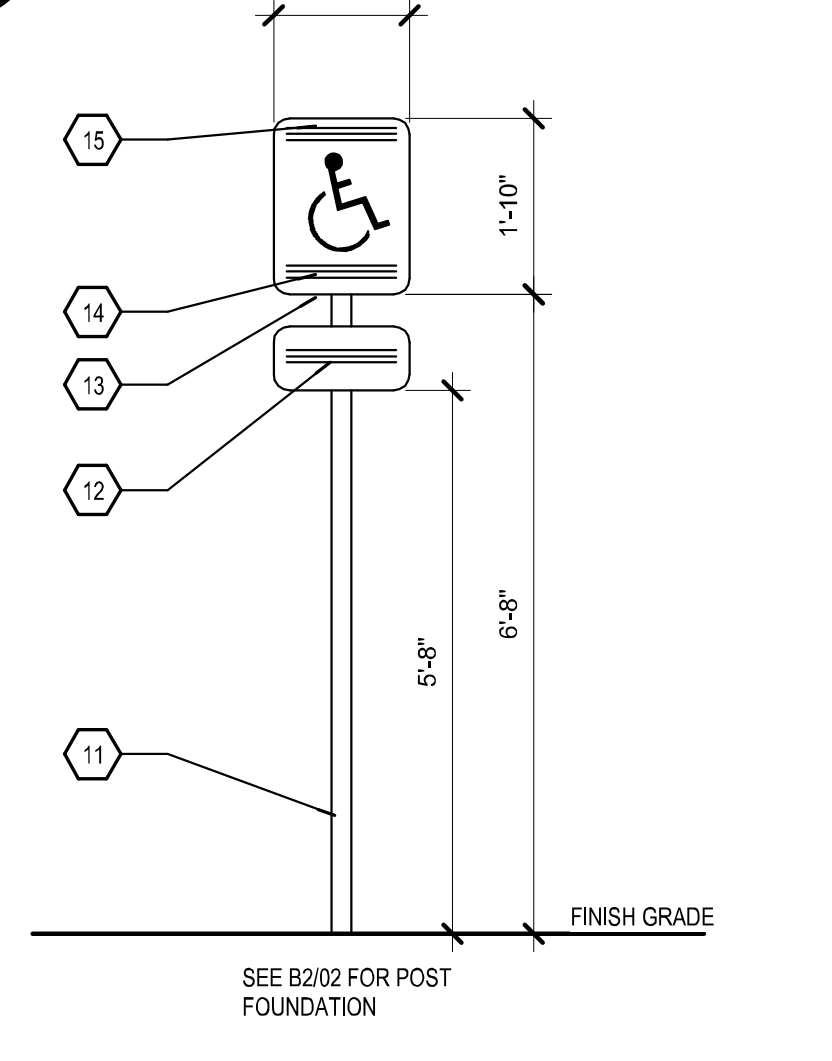
B3 ADA SIGNAGE
1/2" = 1'-0"



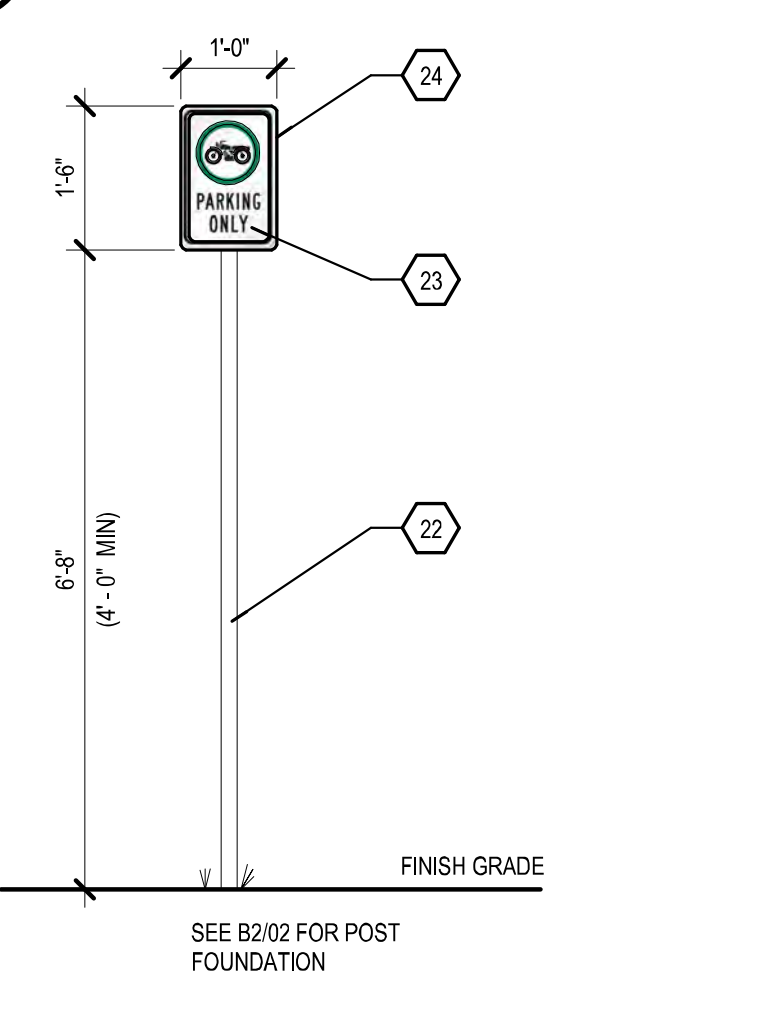
B4 GATE HINGE DETAIL
1 1/2" = 1'-0"



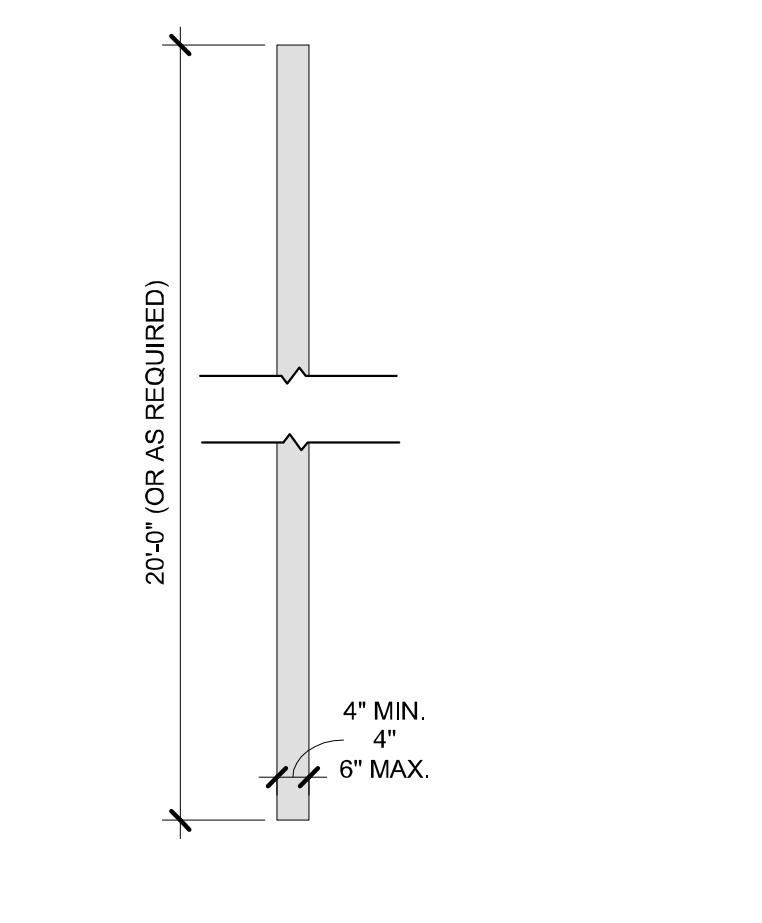
A1 ENLARGED PLAN - DUMPSTER
1/4" = 1'-0"



A2 ADA PARKING SIGNAGE
1/2" = 1'-0"



A3 MC PARKING SIGNAGE
1/2" = 1'-0"



A4 PAVEMENT STRIPING, TYP.
1/2" = 1'-0"

KEYED NOTES

- 1 ENCLOSURE GATES
- 2 CONCRETE SLAB - 6" THICK 4,000 PSI, 3/4" AGGREGATE WITH 6X6-10/10 WWM OR EQUAL SLOPE TO DRAIN 1/8" PER FOOT.
- 3 8" CMU WALL TO 7'-4" HIGH WITH 4" CAP, GROUT FILL @ REINFORCED CELLS ONLY - STUCCO COLOR: MEDIUM GRAY
- 4 6" DIAMETER BOLLARD, SEE D3/02
- 5 6" DIAMETER GATE BOLLARD, SEE D3/02
- 6 GATE LOCK DEVICE WITH INTEGRAL FLUSH BOLD AND LOCK. CAST STL. SLEEVE IN CONC. FOR FLUSH BOLT, SEE B1/02
- 7 STEEL SLEEVE FOR CANE BOLT
- 8 WHITE TRAFFIC PAINT
- 9 CONCRETE FOOTING
- 10 2 1/2" DIAMETER STEEL POST
- 11 "VAN ACCESSIBLE" AT VAN PARKING STALL ONLY.
- 12 70 SQUARE INCH SIGN
- 13 PROVIDE REQUIRED LANGUAGE per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing."
- 14 "ACCESSIBLE PARKING"
- 15 3/4" x 1 1/4" WIDE STEEL PLATE W/ ROUNDED END AND 1/2" GUSSET PLATE SUPPORT WELDED TO BOLLARD
- 16 GATE ASSEMBLY
- 17 1/4" x 3/4" EXTENSION PLATE WELDED TO GATE FRAME
- 18 2" DIA STANDARD STEEL PIPE - PAINTED
- 19 CONCRETE PAD
- 20 GALVANIZED STEEL PIPE SLEEVE SET IN CONC FOOTING - TYP OF TWO
- 21 2.5" O.C. STEEL POST
- 22 PROVIDE REQUIRED LANGUAGE per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing"
- 23 MOTORCYCLE SIGNAGE AT EACH SPACE - TYP (12X18 MAX.)
- 24 METAL SIGN - WHITE BACKGROUND W/ BLACK TEXT
- 25 METAL SIGN - RED BACKGROUND WITH WHITE TEXT AND BORDER
- 26 SLOPE TOP OF CONCRETE
- 27 6" OUTSIDE DIAMETER CONCRETE FILLED STEEL PIPE SHALL BE ENCASED IN 12" CONCRETE ALL AROUND AND EMBEDDED 2'-0".
- 28 FIXTURE POLE AND BASE PLATE FURNISHED AS INTEGRAL PART OF FIXTURE
- 29 BUSH CONDUIT ENDS
- 30 CHAMFER EDGE 1" MINIMUM CONTINUOUS AROUND BASE, FINISH TO 6" BELOW GRADE.
- 31 (4) GALVANIZED BOLTS FURNISHED AS PART OF FIXTURE. INSTALL BOLTS 4 PER FIXTURE MANUFACTURER'S BOLT PATTERN
- 32 CONDUIT FEEDER
- 33 #5 VERTICAL WITH #4 HORIZONTAL REBAR, TIES @ 12" O.C. WITH FIRST TIE AT 6" FROM BOTTOM.
- 34 BLUE TRAFFIC PAINT
- 35 WALL BEYOND
- 36 4" SOLID CAP BLOCK
- 37 BOND BEAM WITH (2) #5 CONT.
- 38 #6 BARS @ 24" O.C. CENTERED IN GROUTED CMU
- 39 1/2" EXPANSION JOINT
- 40 #4 32" O.C. TRANSVERSE
- 41 CONT. FOOTING WITH (3) #5 CONT.
- 42 HEAVY DUTY AREA DRAIN ROUTED TO SANITARY SEWER
- 43 BLUE INTERNALLY LIT SIGN
- 44 .125 ALUMINUM PAINTED BM 1630 OCEAN FLOOR GRAY
- 45 3M #3630-57 OLYMPIC BLUE TRANSLUCENT VINYL OVER 3M #3630-20 TRANSLUCENT WHITE VINYL APPLIED OVER 1/2" THK CLEAR ACRYLIC ILLUMINATED ARROW
- 46 CONCRETE BASE
- 47 CONCRETE APRON - 6" THICK, 4,000 PSI 3/4" AGGREGATE WITH 6X6-10/10 WWM OR EQUAL, WITH 1/2" EXPANSION JOINT, TO WITHSTAND 57,000 LBS.
- 48 NEW CONCRETE SIDEWALK
- 49 BIKE RACK CLEARANCE LINES
- 50 BIKE RACKS, SEE D4/02

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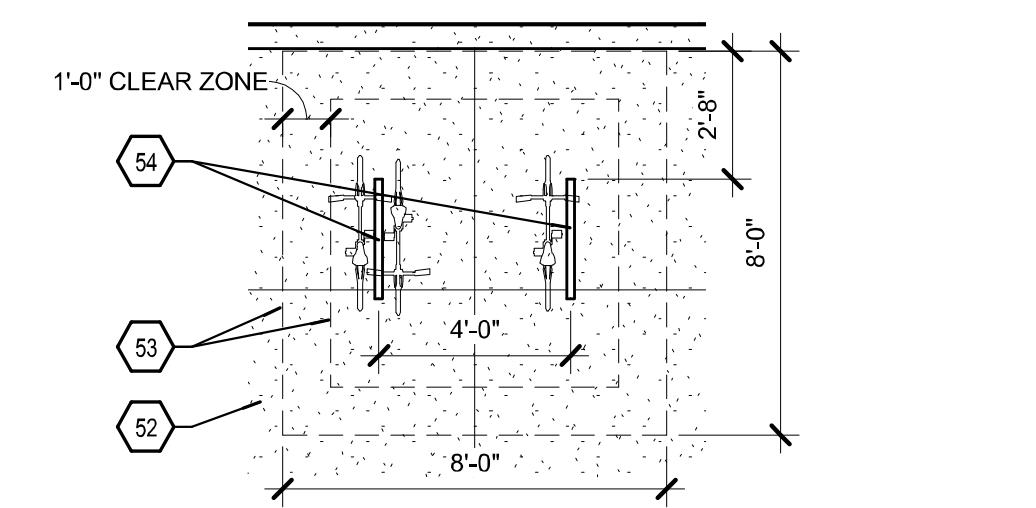
Digitally signed by Ron Burstein
DN: cn=Ron Burstein, o=Studio Southwest Architects Inc., email=rburstein@studioswarch.com, c=US
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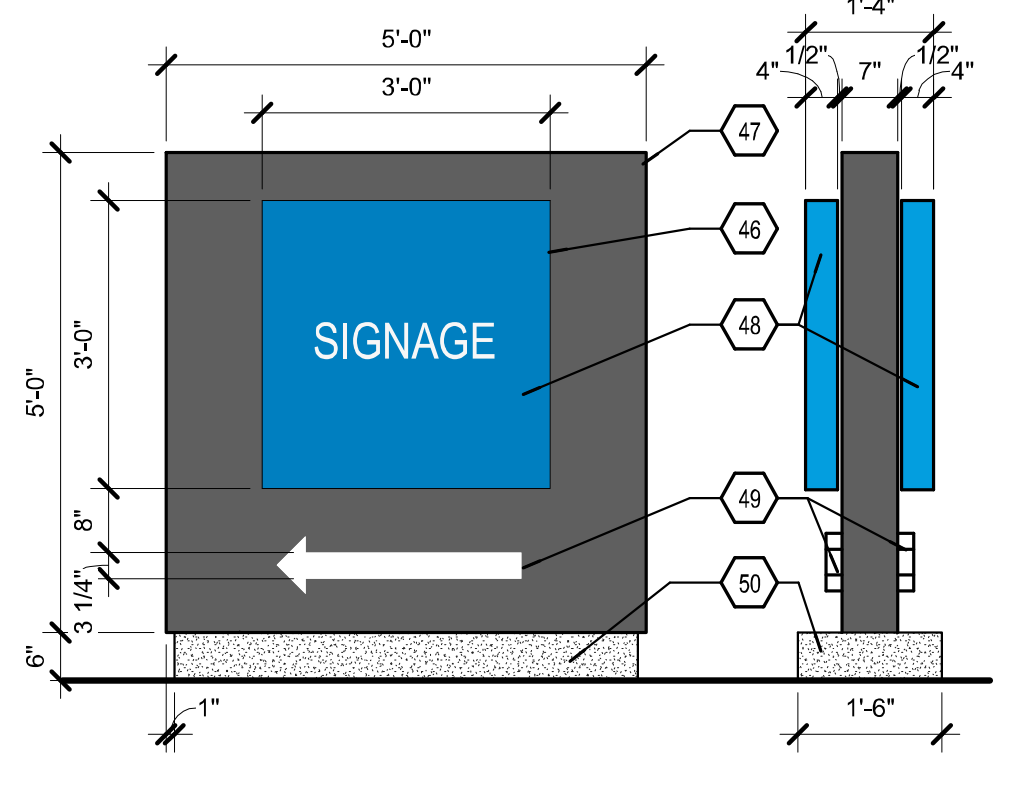
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Albuquerque, NM 87110

No	Date	Description
1	2022-03-25	DRB REVISIONS
Revision Schedule		
ISSUE:	DRB SUBMITTAL	
PROJECT NUMBER:	2130	
FILE:	2130 Office Building	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	APRIL 29, 2022	

SHEET TITLE
SITE DETAILS



B5 BIKE RACKS
1/4" = 1'-0"



A5 DIRECTIONAL SIGN
1/2" = 1'-0"

DRB SUBMITTAL

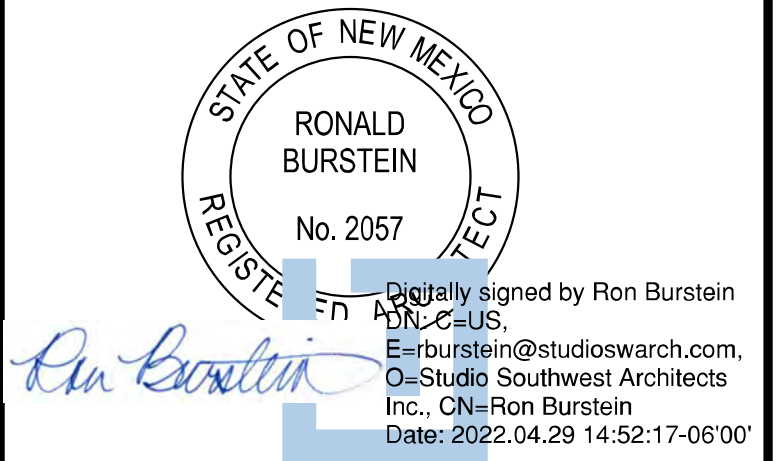
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DRB SUBMITTAL

Architect Engineer

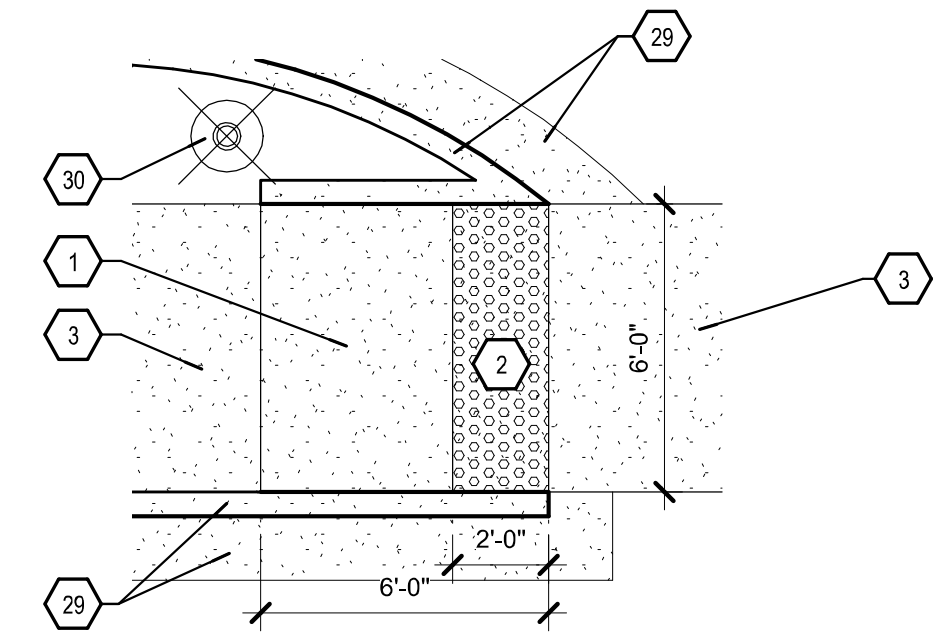


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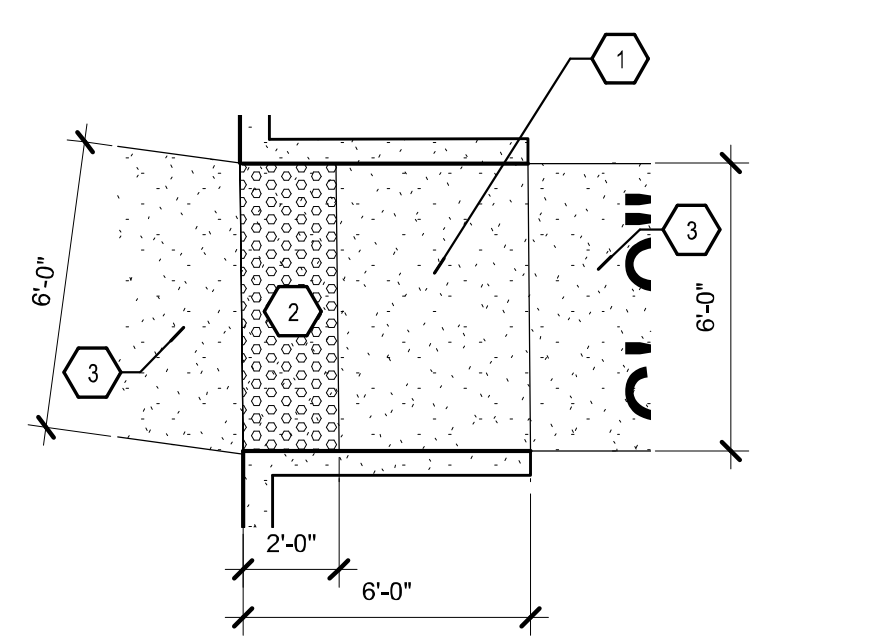
2442 Louisiana Boulevard NE
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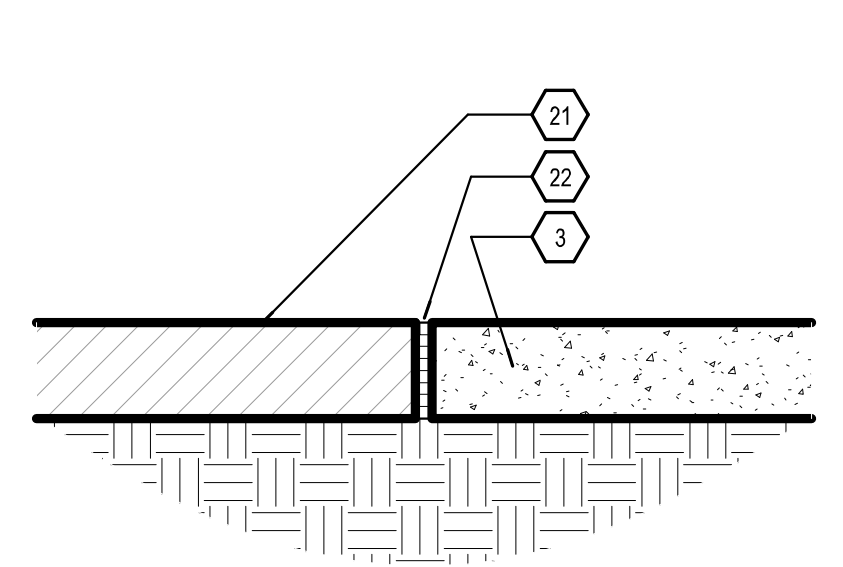
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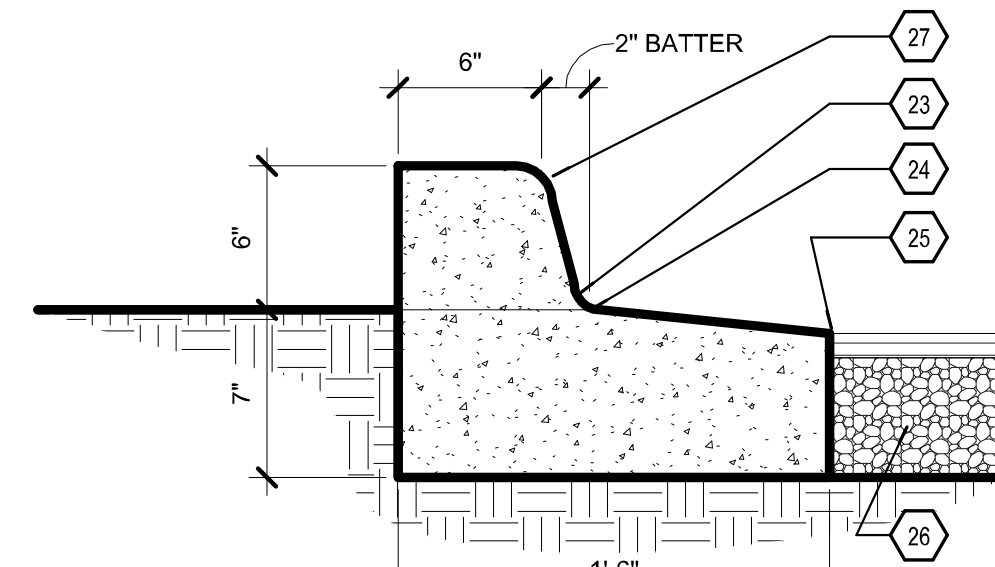
D1 ACCESSIBLE RAMP
1/4" = 1'-0"



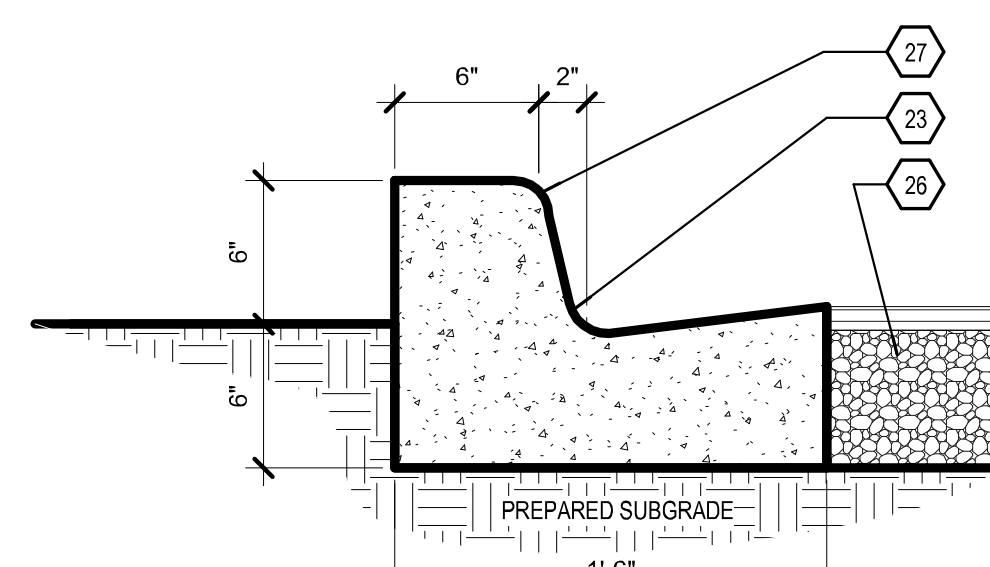
D2 ACCESSIBLE RAMP
1/4" = 1'-0"



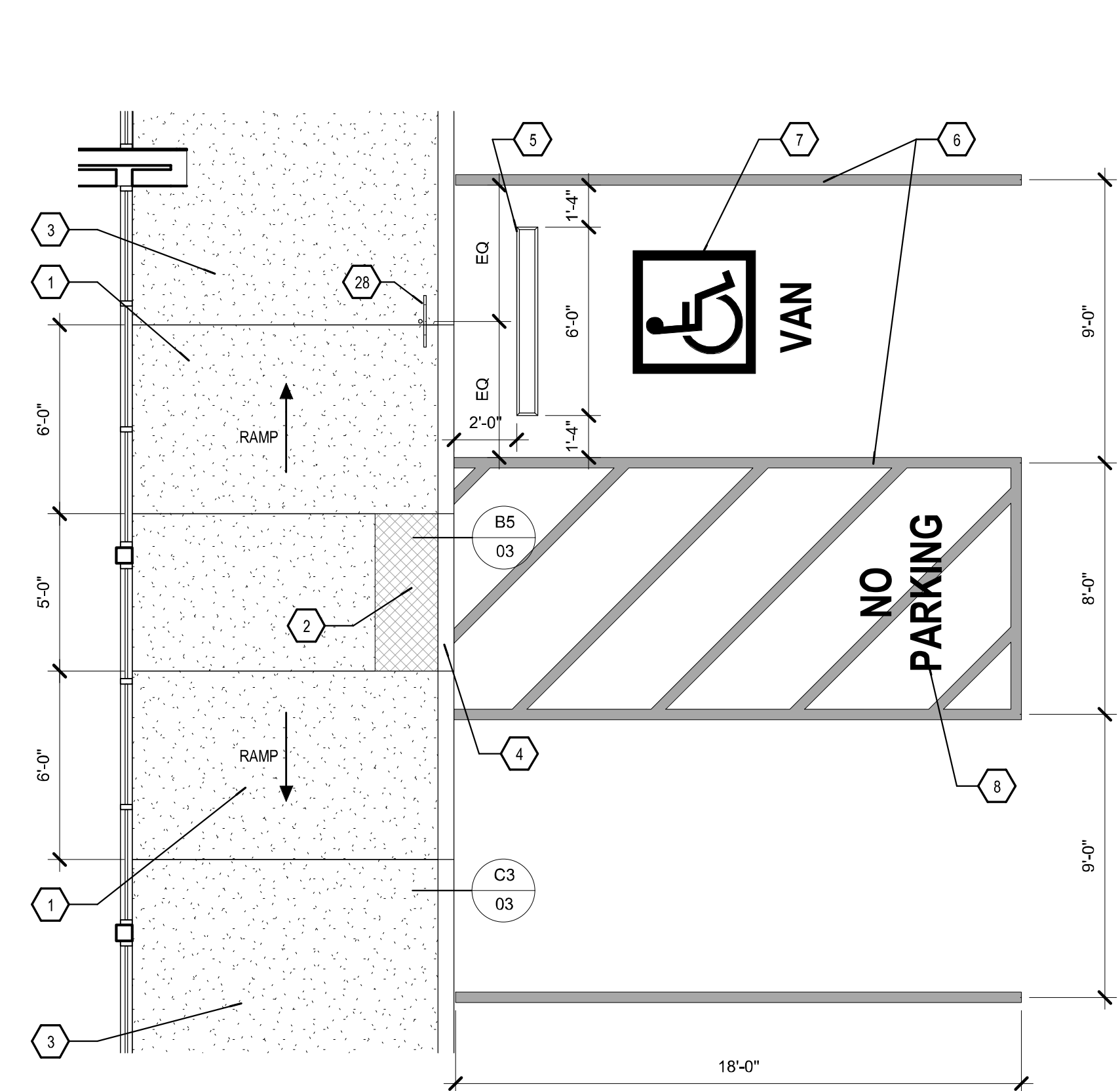
C1 WALK CONCRETE
1 1/2" = 1'-0"



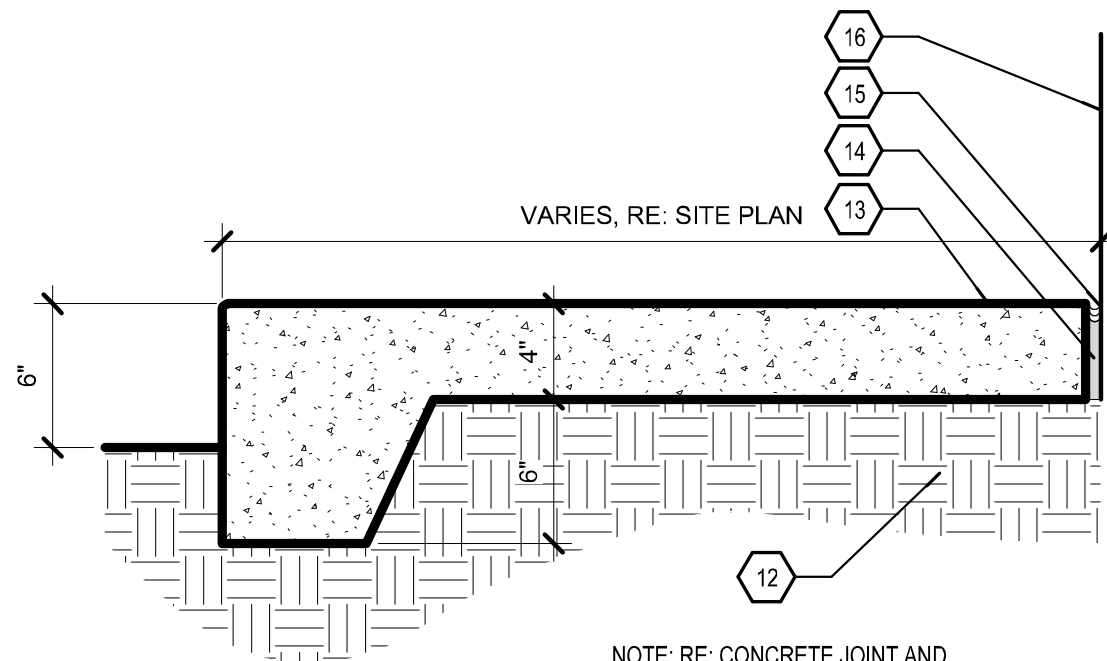
C2 CURB + GUTTER AT ISLAND
1 1/2" = 1'-0"



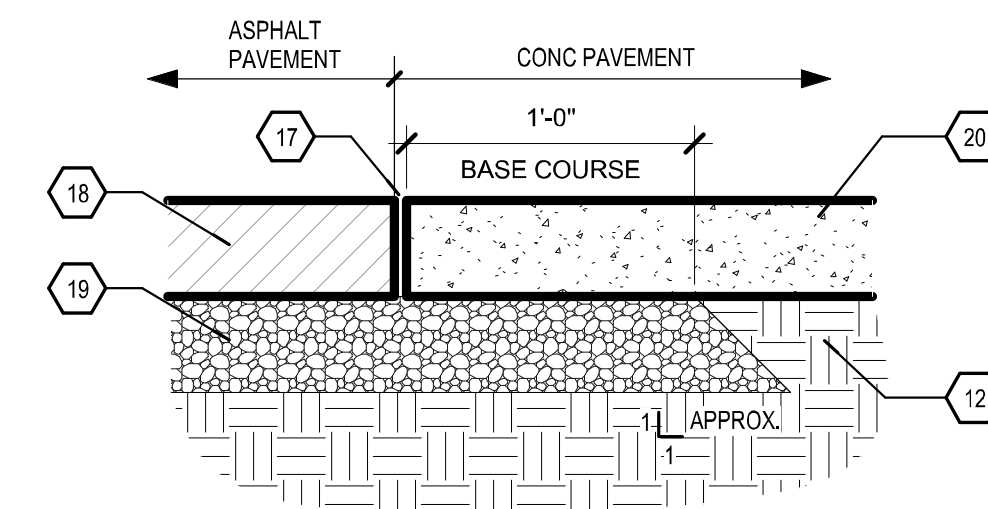
C3 CURB + GUTTER DETAIL
1 1/2" = 1'-0"



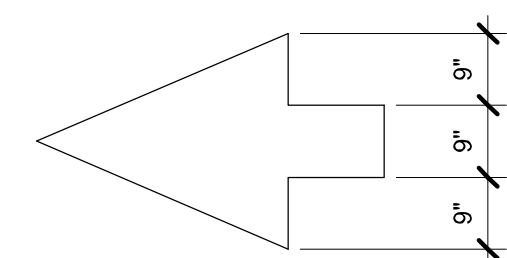
A1 ACCESSIBLE PARKING AND RAMP
1/4" = 1'-0"



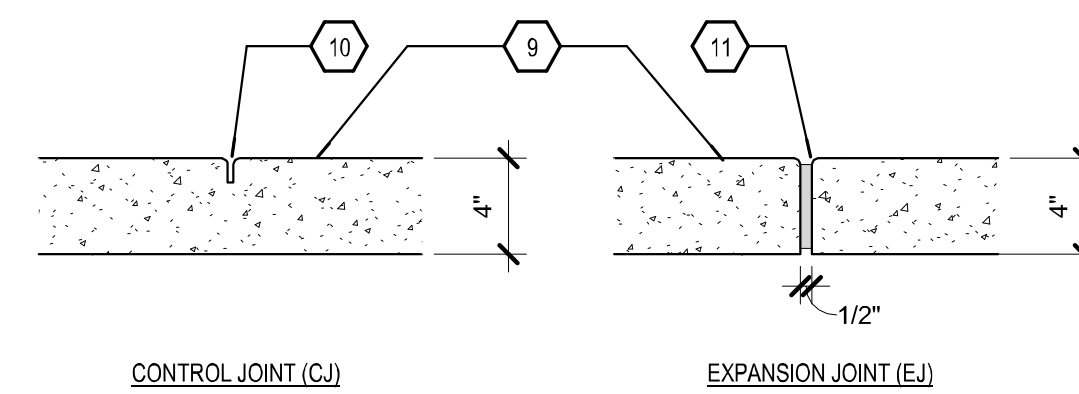
B4 BUILDING APRON
1 1/2" = 1'-0"



B5 CONCRETE / ASPHALT TRANSITION
1 1/2" = 1'-0"



A2 DRB DIRECTIONAL PAVEMENT ARROW
1/2" = 1'-0"



A3 CONTROL JOINT + EXPANSION JOINT
1 1/2" = 1'-0"

KEYED NOTES

- CONCRETE ACCESSIBLE RAMP TYPE B WITH 1:12 MAXIMUM SLOPE. FINISH: HEAVY BROOM FINISH PERPENDICULAR TO SLOPE TYPICAL ON RAMP.
- DETECTABLE WARNING SURFACE
- NEW CONCRETE SIDEWALK
- FLUSH CURB - SEE B5/03
- CONCRETE WHEEL STOP @ H.C. SPACE. PROVIDE #4 REBAR AND PIN BOTH SIDES
- 4" WIDE PAINTED STRIPING, PAINT W/ NON-REFLECTIVE BLUE PAINT TRAFFIC PAINT
- PAINTED ADA PARKING SPACE PAVEMENT SIGNAGE. SEE SITE DETAIL B3/02
- ADA ACCESS AISLE SHALL BE LABELED "NO PARKING" IN CAPITAL LETTERS 1'-0" TALL AND 2" WIDE PLACED AT THE REAR OF THE SPACE.
- 4" THICK CONCRETE WALL WITH CONCRETE JOINTS @ 6'-0" O.C. EXPANSION JOINTS AT 24'-0" O.C. UNLESS NOTED OTHERWISE
- 1/4" WIDE X 1" DEEP TOOLED CONCRETE JOINT WITH 1/4" RADIUS ON EDGES. AT SIDEWALKS, LOCATE @ INTERVALS EQUIVALENT TO SIDEWALK WIDTH, O.C. UNLESS NOTED/SHOWN OTHERWISE
- 1/2" EXP. MATERIAL, 1/4" RADIUS ON EXPOSED EDGES - AT SIDEWALKS, LOCATE @ EVERY FOURTH CONTROL JOINT, O.C. UNLESS NOTED/SHOWN OTHERWISE
- COMPACTED SUB-GRADE, RE: CIVIL
- CONCRETE SIDEWALK
- 1/2" EXPANSION MATERIAL
- ELASTOMERIC SEALANT
- FACE OF BUILDING
- TACK COAT
- ASPHALT PAVEMENT PER DRAWINGS AND SPEC
- BASE COURSE THICKNESS VARIES
- CONCRETE PAVEMENT
- EXISTING CONCRETE WALK
- 1/2" EXP. JOINT MATERIAL
- 1 1/2" RADIUS
- GUTTER LINE
- TOP OF GUTTER
- PAVEMENT SECTION PER DRAWINGS AND SPEC
- 3/4" RADIUS
- POLE MOUNTED ACCESSIBLE PARKING SIGNAGE. SEE DETAIL A2/02
- 6" CONCRETE CURB AND GUTTER - SEE SITE DETAILS C2/03 & C3/03, RE: CIVIL
- NEW 20'-0" LIGHT POLE, SEE A1/02

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KEYED NOTES

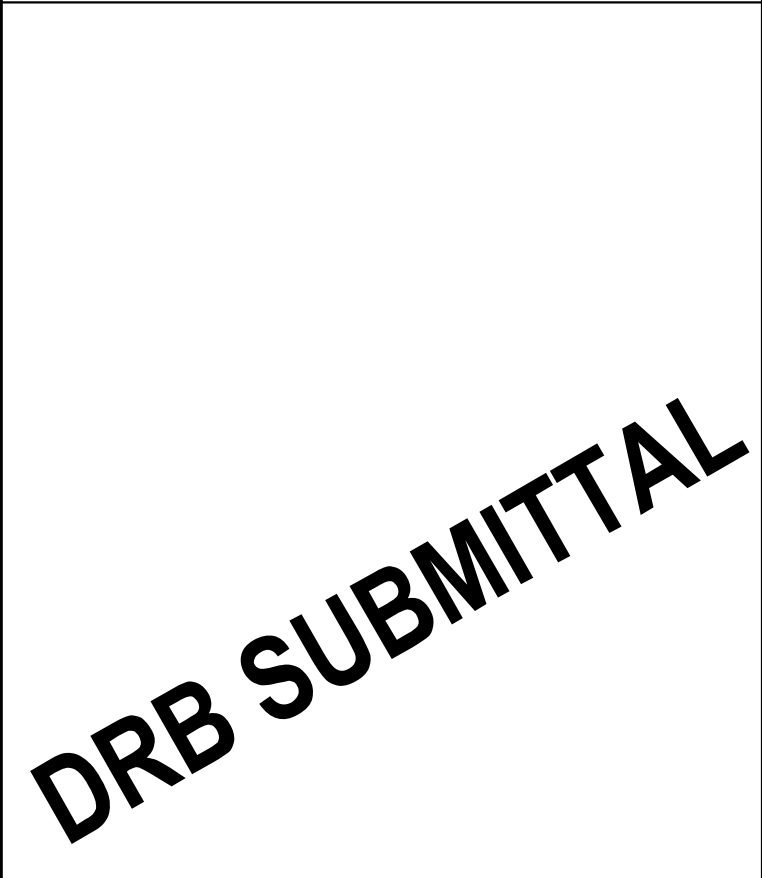
- 1 ROOF DRAIN PIPE WITHIN WALL
- 2 CORNER OF SOFFIT ABOVE
- 3 OVERHEAD LINE OF SOFFIT ABOVE
- 4 PLANTER



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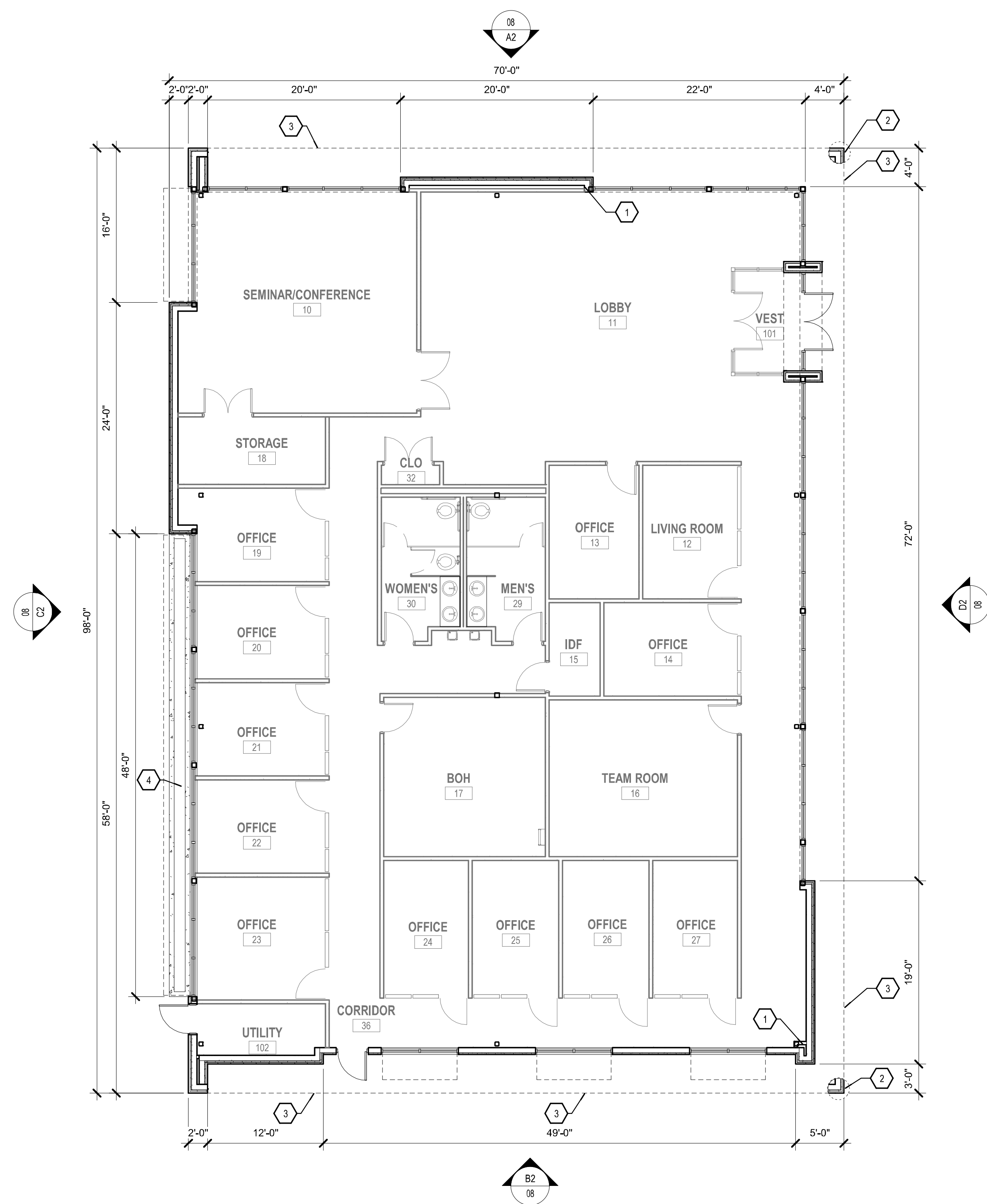
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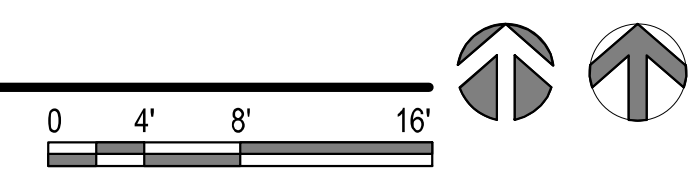


LEGEND

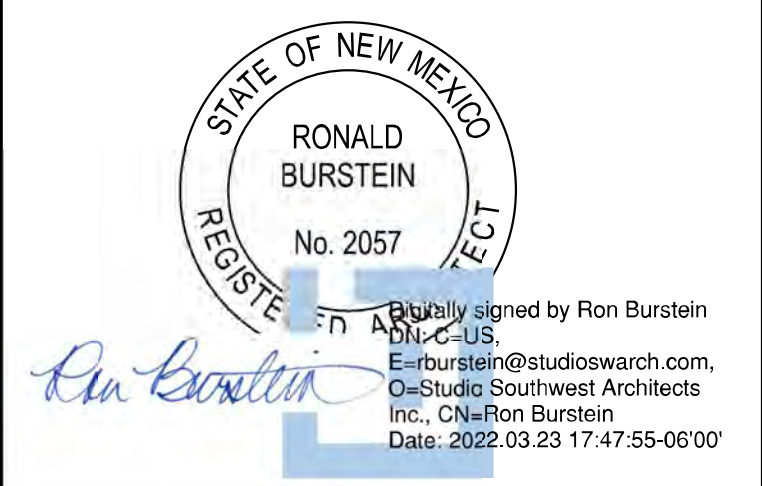
- BUILDING SHELL
- INTERIOR BUILD-OUT



A2 FLOOR PLAN
1/8" = 1'-0"



Architect Engineer



OFFICE BUILDING SHELL

2442 Louisiana Boulevard NE
ALBUQUERQUE, NM 87110

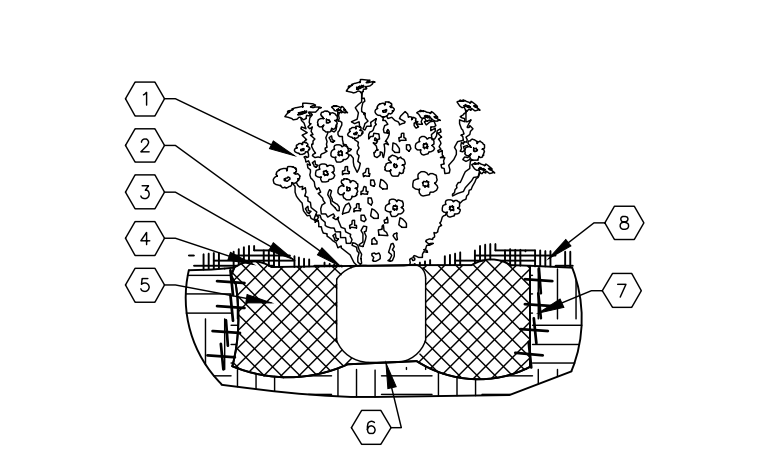
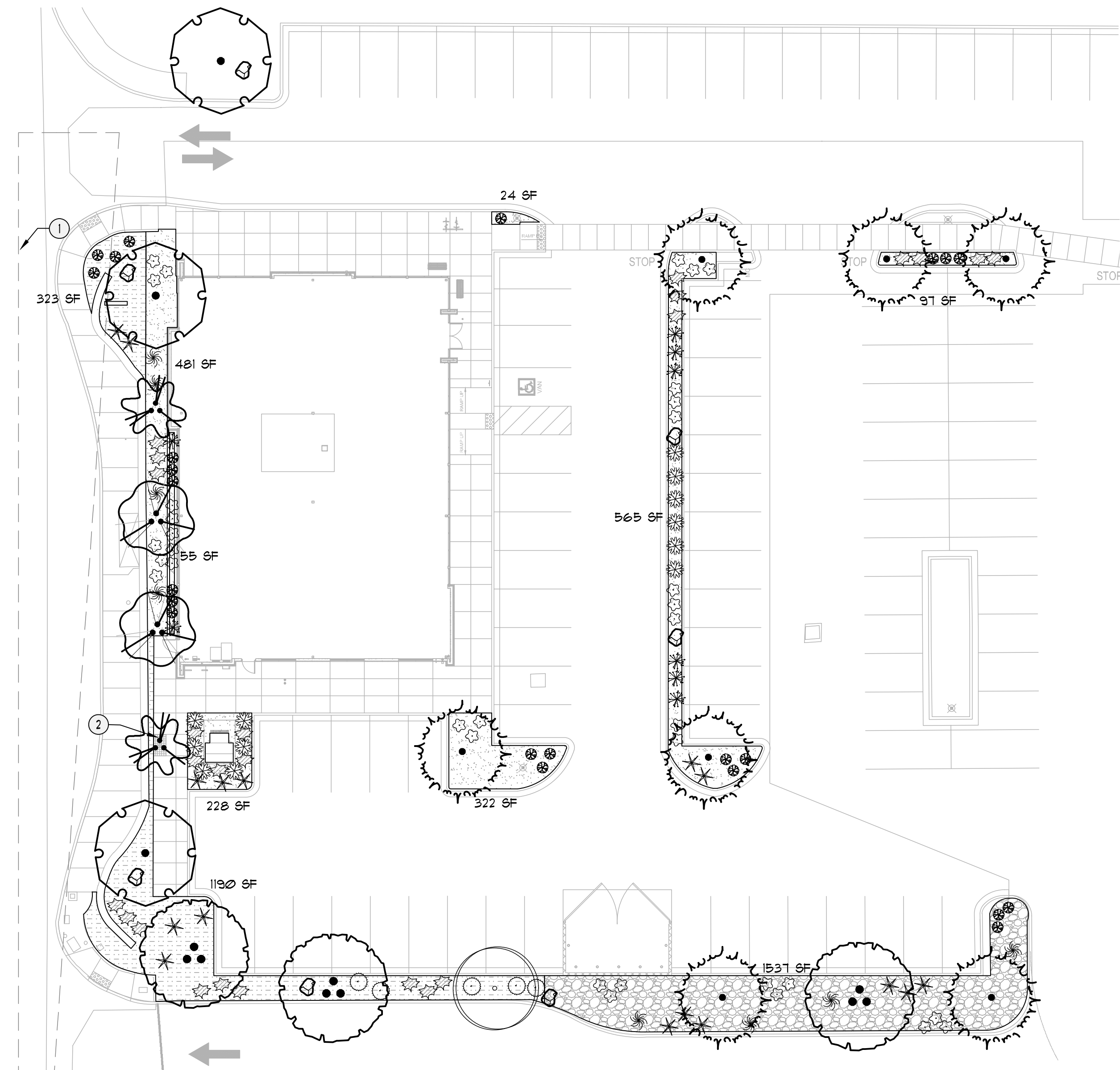
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Revision Schedule		
ISSUE:	DRB SUBMITTAL	
PROJECT NUMBER:	2130	
FILE:	2130 Office Building	
DRAWN BY:	ARCH	
CHECKED BY:	ARCH	
DATE:	FEBRUARY 25, 2022	

SHEET TITLE
FLOOR PLAN

04

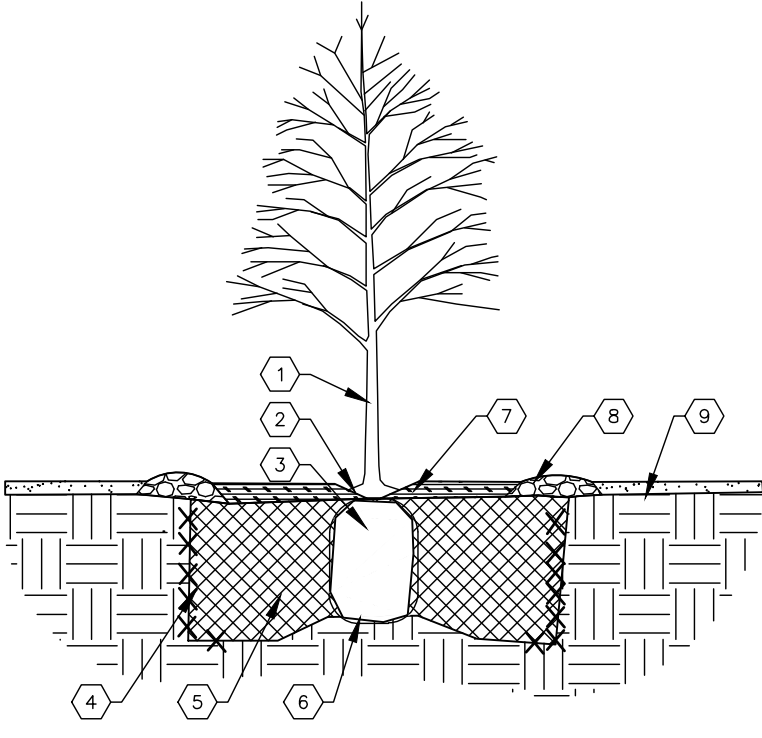
Sheet 04 of 11

2442 Louisiana Boulevard NE



- 01 SHRUB PLANTING KEYED NOTES**
1. SHRUB LOCATION, SPECIES AND CONDITION AS PER PLAN.
 2. INSTALL 1/4" TOP OF ROOT BALL FLUSH WITH SURFACE (BOTTOM OF MULCH).
 3. USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNK AND STEPS AND TO COVER DRIP LINE.
 4. 2" HIGH X 8" WIDE BERM.
 5. BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
 6. UNDISTURBED NATIVE SOIL.
 7. SCARP AND LOOSEN EDGES OF PLANTING PIT.
 8. MULCH - SEE PLANTING PLAN 3" DEPTH UNLESS OTHERWISE NOTED.

01 SHRUB PLANTING
NTS
SHRUB PLANTING DETAIL



- 02 TREE PLANTING KEYED NOTES**
1. TREE LOCATION, SPECIES AND CONDITION AS PER PLAN.
 2. REPAIRING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL 6" ROTH FLARE FLUSH WITH SURFACE (BOTTOM OF MULCH).
 3. INSTALL TREE PLANTER. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TUNE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
 4. SCARP AND LOOSEN EDGES OF PLANTING PIT.
 5. BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
 6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
 7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
 8. 4" HIGH X 8" WIDE COBBLE BERM AT DRIP LINE.
 9. MULCH - SEE PLANTING PLAN.

02 TREE PLANTING
NTS
TREE PLANTING DETAIL

PLANTING NOTES

ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED 3"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF 6 GPH. SHRUBS TO RECEIVE (2) 1/2 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 15 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

NOTES:

STREET FRONTAGE TREES MEET 25' REQUIREMENT FROM IDO 14-16-5-6(D)(1)

PLANTINGS WITHIN THE CLEAR LINE OF SIGHT TRIANGLE MUST NOT BE BETWEEN THE HEIGHT RANGE OF 2'-8' TALL, IF IT IS LESS OR MORE THAN THAT HEIGHT IT CAN REMAIN IN THE AREA.

SHEET KEYED NOTES

CODE	DESCRIPTION
1.	Clear Line Of Sight Triangle
2.	Tree Gate, Specified in Materials

LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE HxW	WATER USE	COVER (EA)	TOTAL
Trees							
	3	2" Cal	Flowering Pear <i>Fyrus sp.</i>	35' x 25'	M	875	2625
	2	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	1250
	7	6" Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	4375
	3	2" Cal	Chinese Pistache <i>Pistachia chinensis</i>	40' x 30'	M	900	2700
	2	15 Gal	Chaste Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	800
						Total Tree Coverage:	11750
Shrubs & Groundcovers							
	34	5 Gal	Blue Mist Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	Low+	9	306
	8	5 Gal	Sotol <i>Dasylirion wheeleri</i>	5' x 5'	RW	25	200
	16	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	Low+	9	144
	12	5 Gal	Bear Grass <i>Nolina macrocarpa</i>	5' x 6'	RW	36	432
	8	5 Gal	Switchgrass <i>Panicum virgatum</i>	4' x 4'	M	16	128
	24	5 Gal	Pink Double Knock Out Rose <i>Rosa 'Pink Double Knock Out'</i>	4' x 4'	M	16	384
	23	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low+	9	207
						Total Shrub Coverage:	1801

Other Materials

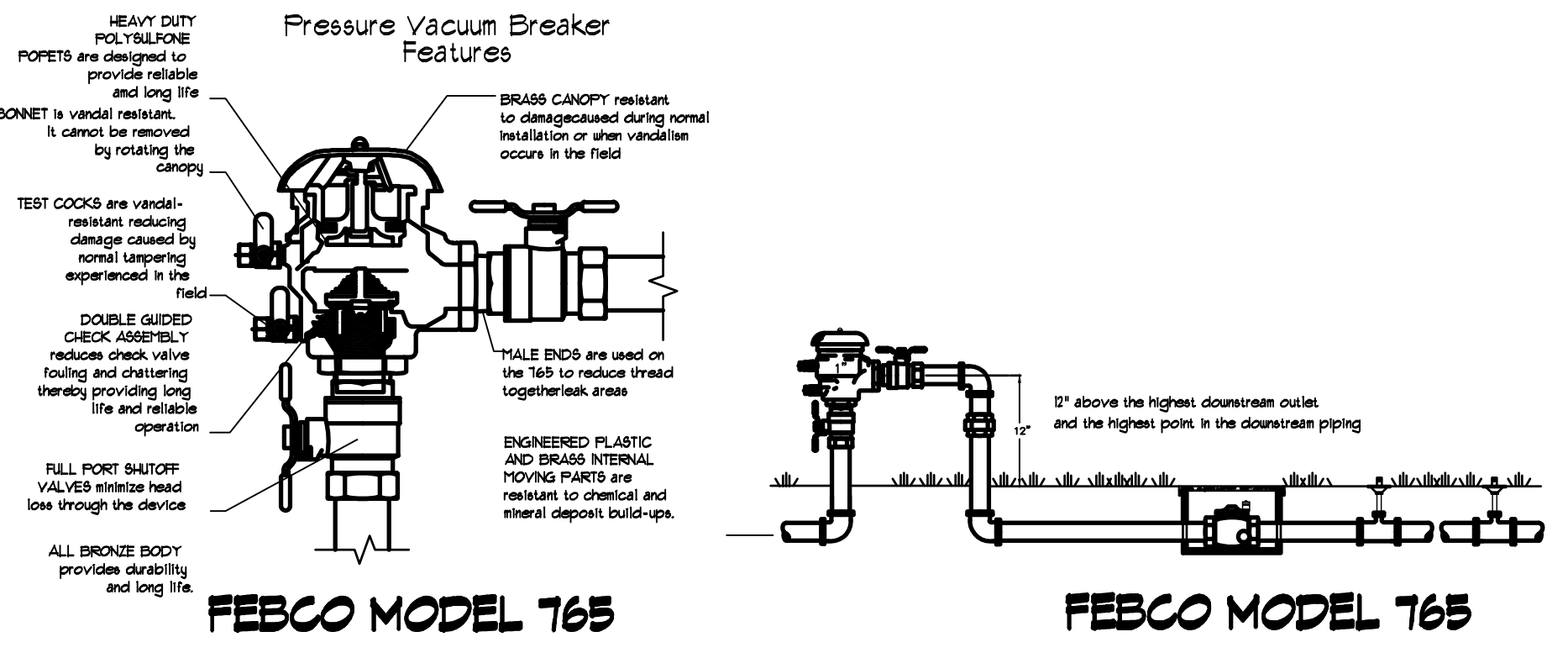
SYMB.	QTY	TYPE
	1 EA	Boulders (2-3ct) To be placed at contractor's discretion
	1805 SF	Landscape Gravel A with Filter Fabric 1/8" Santa Fe Brown Gravel
	1537 SF	Oversize Landscape Gravel / No Filter Fabric 2-4" Angular Cobble/RipRap
		Concrete See site plan
	1512 SF	Existing Landscape See site plan
		Tree Gate Manufacturer: Urban Accessories Model: Kiva 3'x5'

EXISTING LANDSCAPE LEGEND

SYMB.	QTY	COMMON/BOTANICAL	COVER (EA)	TOTAL
	1	Existing to Remain Sycamore	900	900
		Total Tree Coverage:	900	
	5	Existing to Remain Hawthorne	12	60
		Total Shrub Coverage:	60	

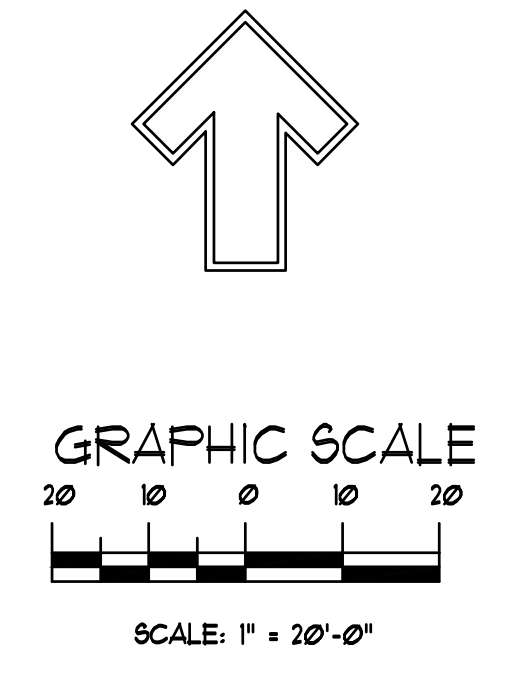
LANDSCAPE CALCULATIONS

ZONING	APPLICABLE REGULATION(S)	TOTAL LOT AREA (ACRES)	TOTAL LOT AREA (SF)	BUILDING AREA (SF)	NET LOT AREA (SF)
MX-H, MIXED-USE - HIGH INTENSITY	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1934	0.72	3115	5810	25,905
REQUIRED LANDSCAPE (%)	15.0%				
REQUIRED LANDSCAPE (SF)	3866				
LANDSCAPE PROVIDED (SF)	4854				
VEGETATIVE COVER (%) - REQ	75.0%				
VEGETATIVE COVER (SF) - REQ	3641				
VEGETATIVE COVER (SF) - PROV.	1150				



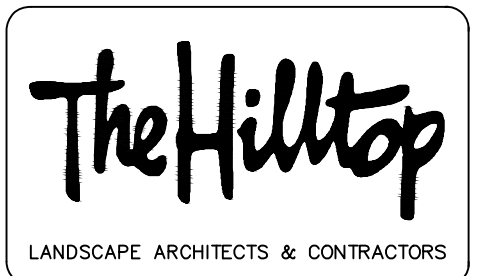
FEBCO MODEL 765

FEBCO MODEL 765



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Architect
Engineer

NOT FOR CONSTRUCTION

OFFICE BUILDING SHELL

2442 Louisiana Boulevard NE
Albuquerque, NM 87110

No	Date	Description
		Revision Schedule
ISSUE:		100% Review Set
PROJECT NUMBER:		2130
FILE:		2130 Office Building
DRAWN BY:		TFH
CHECKED BY:		CHK
DATE:		April 07, 2022

SHEET TITLE

Landscape Plan

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D

C

B

A

1

2

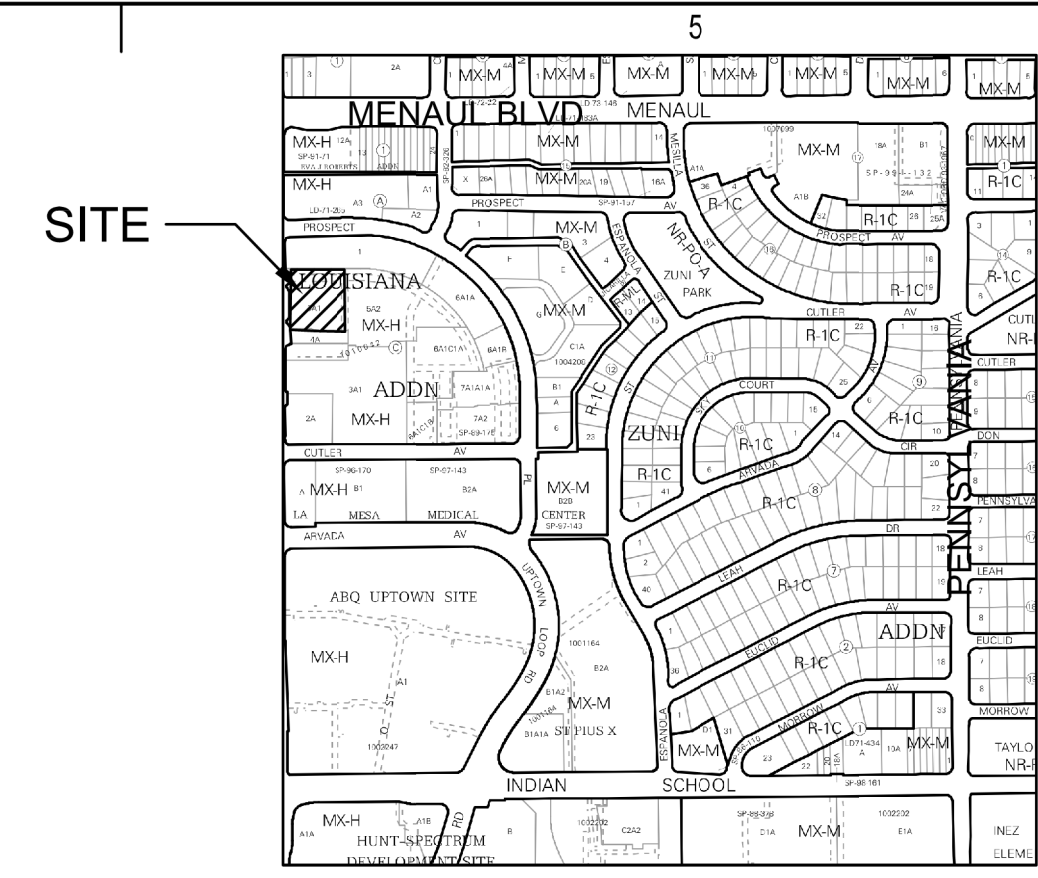
3

4

5

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 04/15/22
 BY: *Renee C. Brunelle*
 HydroTrans # H19D084

THESE PLANS AND/OR REPORT ARE
 CONCEPTUAL ONLY. MORE INFORMATION MAY
 BE NEEDED IN THEM AND SUBMITTED TO
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.



VICINITY MAP **H-19-Z**

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5294.9 PROPOSED BUILDING FINISH FLOOR ELEV
- ◆ 36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB

KEYED NOTES

- A. EXISTING DRAINAGE INLET TO REMAIN.
- B. NEW ROOF DRAIN PIPED TO EXISTING INLET.
- C. NEW DROP INLET WITH 4" OUTLET ORIFICE.
- D. NEW 12" STORM DRAIN LINE TO CONNECT TO EXISTING STORM DRAIN.
- E. NEW UNDERGROUND STORAGE SHALL PROVIDE 1070 CF STORAGE. USE 6 STORMTECH MC-3500 CHAMBERS (ON 9" GRAVEL FOUNDATION) WITH END CAPS TO PROVIDE 1140 CF STORAGE VOLUME.

DRAINAGE ANALYSIS

ADDRESS: 2442 Louisiana Blvd NE, Albuquerque, NM
 LEGAL DESCRIPTION: TRACT 5-A-1, BLOCK C LOUISIANA SUBDIVISION
 AREA: 52,870 SF (1.21 AC) SITE AREA = 0.68 ACRES
 BENCHMARK: City of Albuquerque Station '15-H18' being a brass cap. ELEV= 5303.391 (NAVD 1988)
 SURVEYOR: Survey Office LLC, dated July 2019
 PRECIPITATION ZONE: 3
 FLOOD HAZARD: From FEMA Map 35001C0352H (8/16/12), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.
 OFFSITE FLOW: The site does not accept offsite flows.
 EXISTING CONDITIONS: The site is a fully developed portion of an existing site with asphalt parking and some landscaping. The prior drainage file (H19-D084) was prepared by BHI in 1984. This site was identified as Basin 5 with a required storage of 5,720 CF and allowable Q=0.5 CFS. The site drains to the center of the lot where an inlet accepts runoff and discharges to an existing inlet in Louisiana NE.
 PROPOSED IMPROVEMENTS: The proposed redevelopment of the site includes a new 5,660 SF office building, associated paved access and parking, and landscaping.
 DRAINAGE APPROACH: The site drainage pattern will follow the DMP for the American Financial Center referenced above. The existing storm drain will be re-routed onsite to the south of the new building. A new inlet will accept site runoff which will be directed to underground storage to offset the loss in surface storage volume.
 Existing land treatment: 10% C and 90% D
 $Q = [(0.10)(3.45) + (0.90)(5.02)](1.21) = 5.9$ CFS
 Proposed land treatment: 2% B, 4% C and 94% D
 $Q = [(0.02)(2.60) + (0.04)(3.45) + (0.94)(5.02)](1.21) = 5.9$ CFS
 Redevelopment SWQ V= (29,620)(0.26/12) = 642 CF
 Ponding provided: Surface V=4650 CF at WSEL=94.0
 Underground storage V= 5720-4650 = 1070 CF
 Orifice equation for H=2.5' and 4" diameter orifice:
 $Q = KxA(2gH)^{1/2} = (0.7)(0.087)(12.7) = 0.7$ CFS

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OFFICE BUILDING

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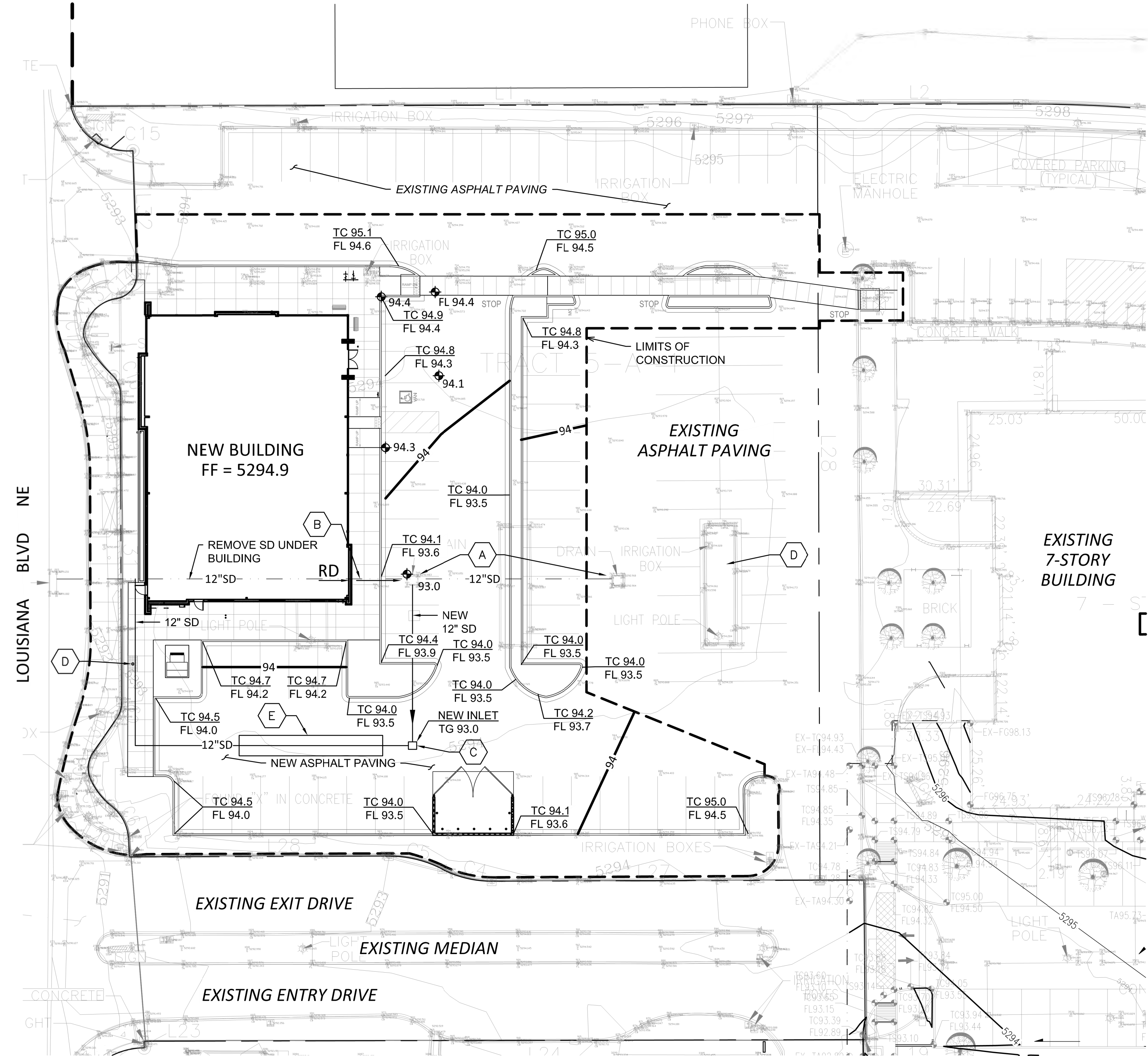
Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:		Design Development
PROJECT NUMBER:		2130
FILE:		2130 Office Building
DRAWN BY:		JSK
CHECKED BY:		SSM
DATE:		3/30/2022

SHEET TITLE

CONCEPTUAL GRADING & DRAINAGE PLAN



A1 CONCEPTUAL GRADING & DRAINAGE PLAN
 1" = 20'-0"



1

2

3

4

5

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D

C

B

A

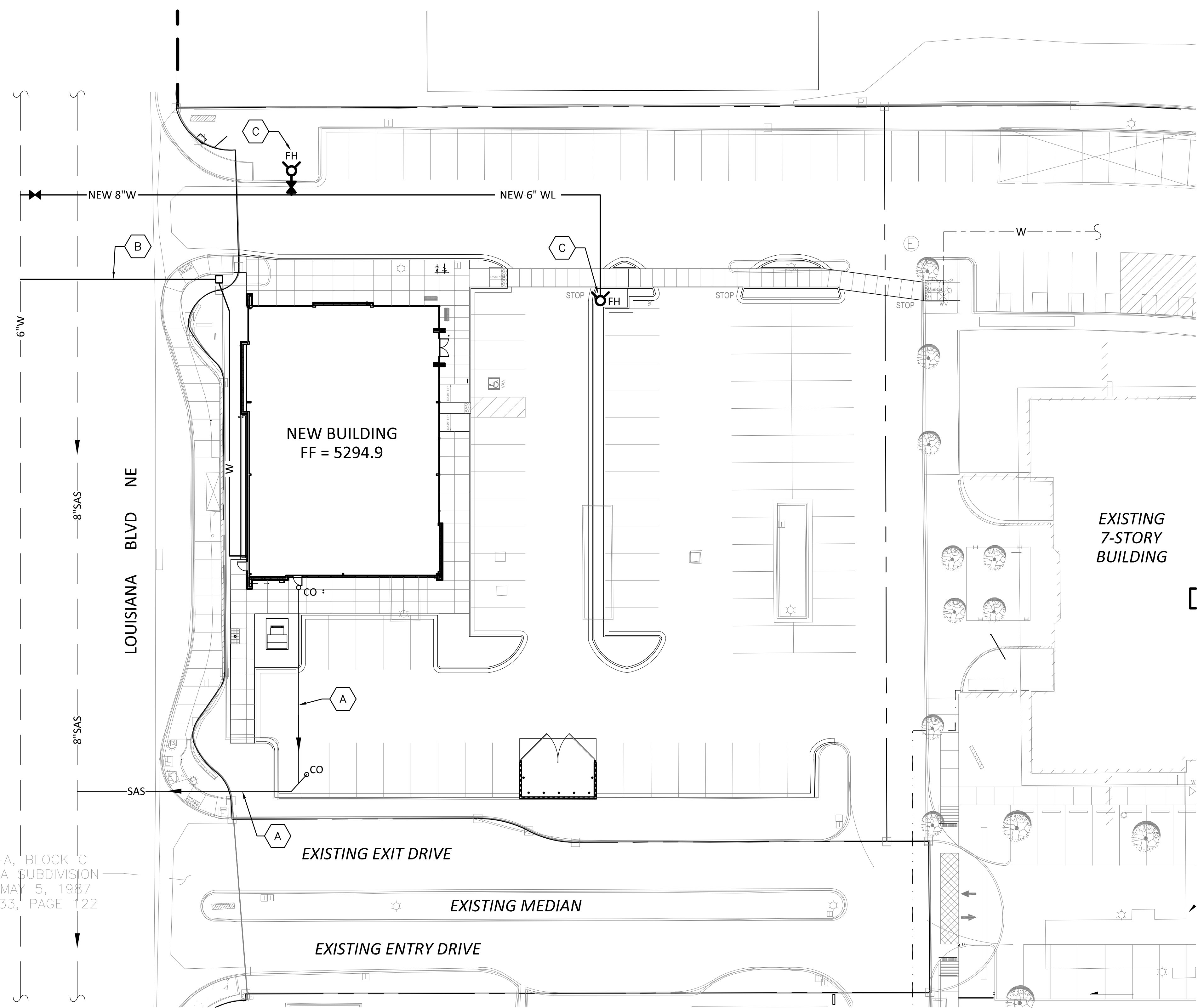
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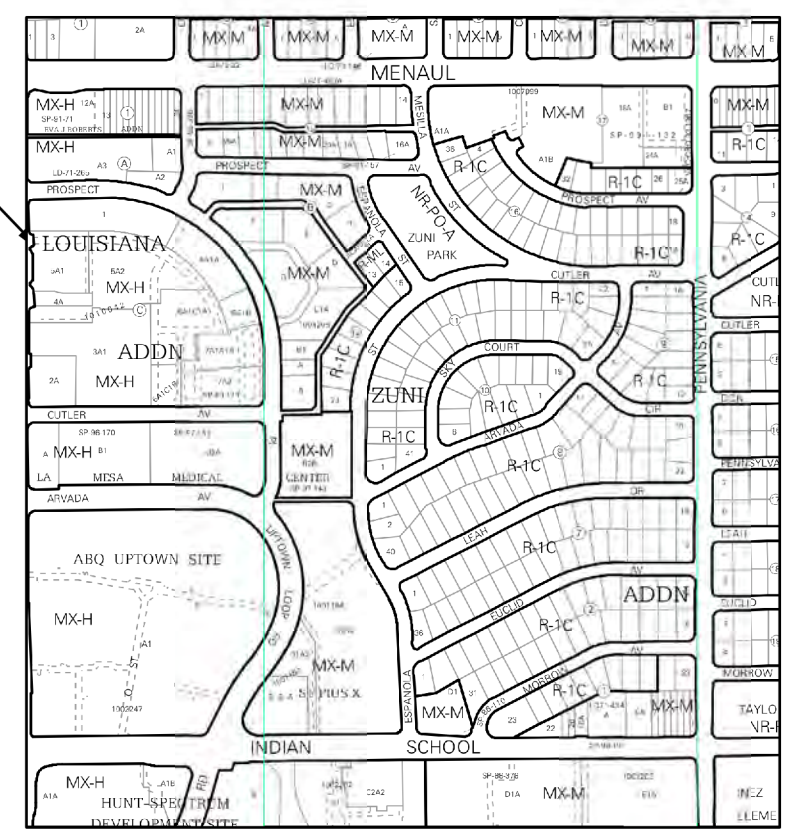


LOT 4-A, BLOCK C
LOUISIANA SUBDIVISION
FILED: MAY 5, 1987
BOOK C33, PAGE 122

A1 CONCEPTUAL UTILITY PLAN
1" = 20'-0"



SITE



VICINITY MAP

H-19-Z

LEGEND

- OVERHEAD ELECTRICAL
- GAS LINE
- CO — CLEAN OUT
- - - W - - - EXISTING WATER LINE
- - - GAS - - - EXISTING GAS LINE
- - - SAS - - - EXISTING SEWER LINE
- — — — — ELECTRIC LINE
- W — NEW WATER LINE
- SAS — NEW SEWER LINE
- G — NEW GAS LINE
- FH — FIRE HYDRANT

X **KEYED NOTES**

- A. NEW 6-INCH SEWER SERVICE (MIN. 2% SLOPE) PER CITY STD DWG NO 2125 WITH CONNECTION TO EXISTING SEWER BY WORK ORDER.
- B. NEW 2-INCH WATER SERVICE PER CITY STD DWG NO 2363 BY WORK ORDER AS SHOWN.
- C. INSTALL NEW PRIVATE FIRE HYDRANT AS SHOWN PER STD DWG NO 2340 BY WORK ORDER.

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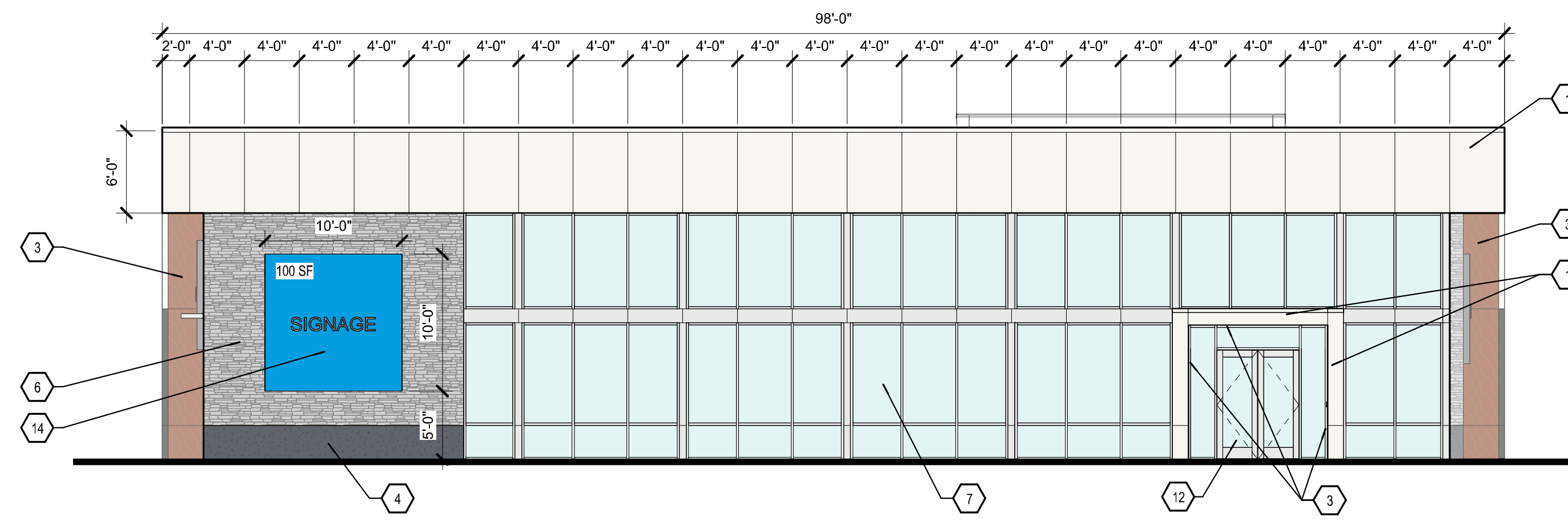
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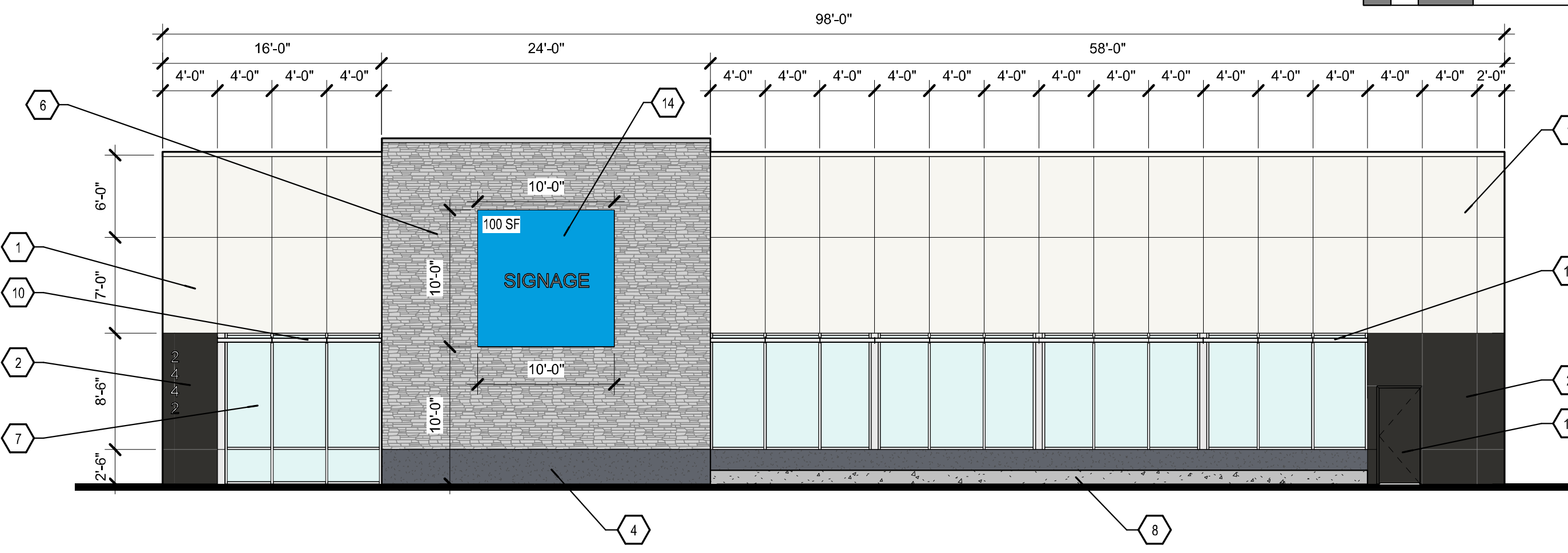
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PROJECT NUMBER:		2130
FILE:		2130 Office Building
DRAWN BY:		JSK
CHECKED BY:		SSM
DATE:		3/30/2022

SHEET TITLE
CONCEPTUAL UTILITY PLAN

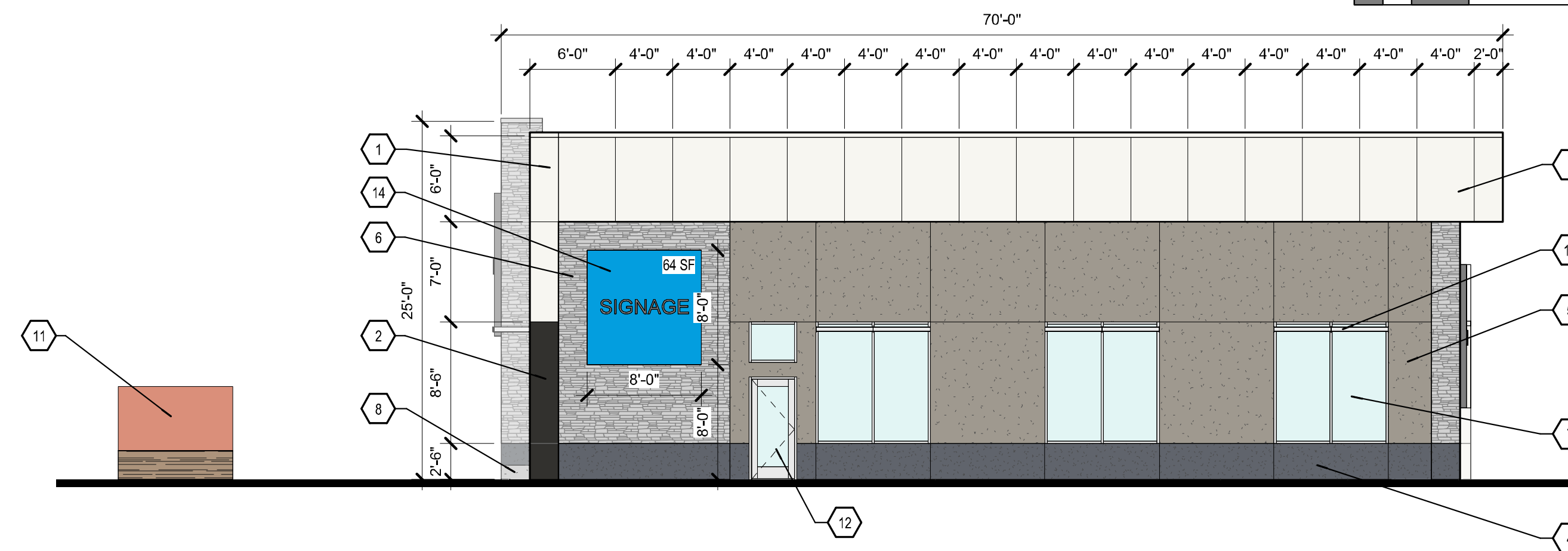
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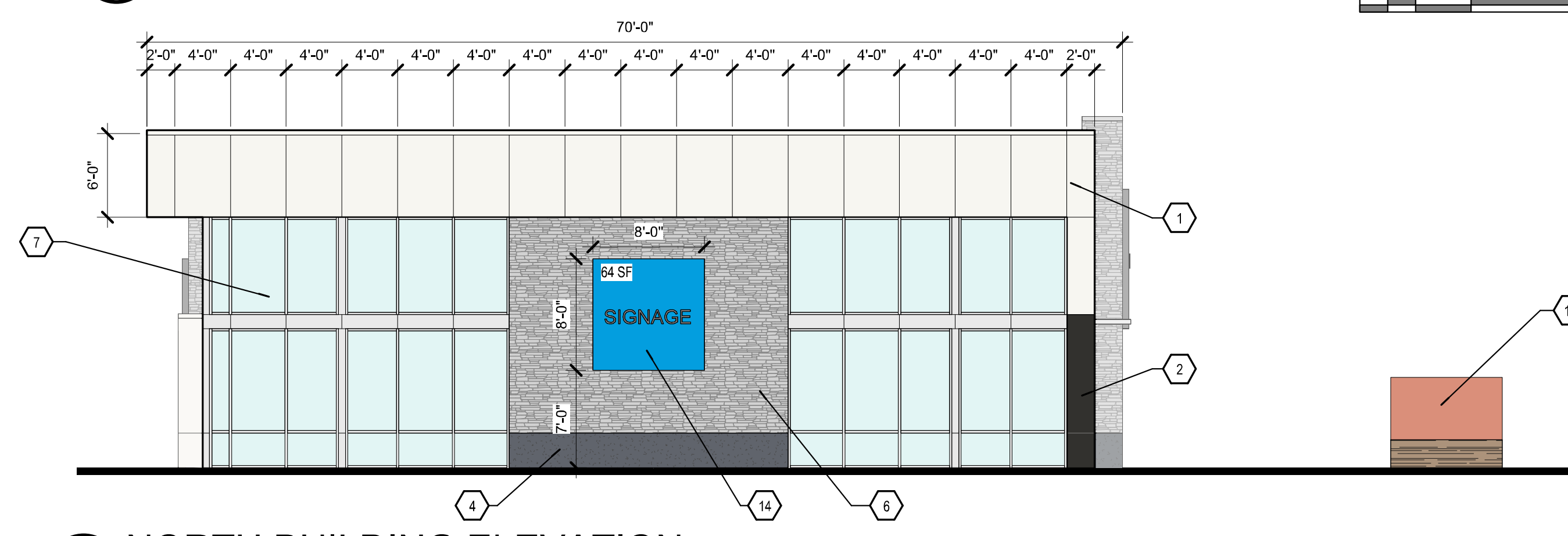
D2 EAST BUILDING ELEVATION
1/8" = 1'-0"



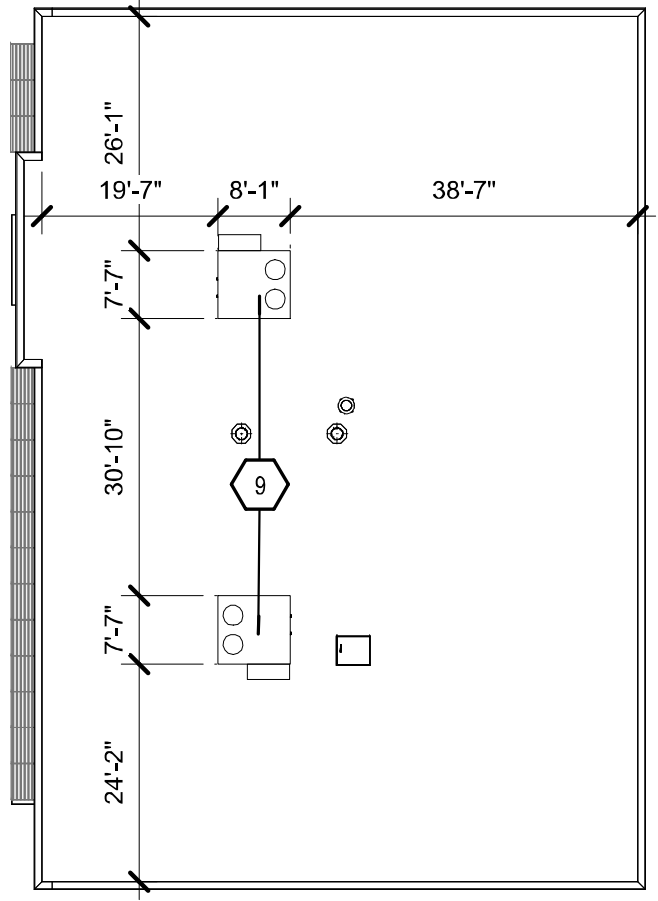
C2 WEST BUILDING ELEVATION
1/8" = 1'-0"



B2 SOUTH BUILDING ELEVATION
1/8" = 1'-0"



A2 NORTH BUILDING ELEVATION
1/8" = 1'-0"



A1 ROOF PLAN
3/64" = 1'-0"

KEYED NOTES

- 1 METAL PANELS, WHITE
- 2 METAL PANELS, CHARCOAL GRAY.
- 3 METAL PANELS, MAHOGANY.
- 4 EIFS, DARK GRAY.
- 5 EIFS, MEDIUM GRAY.
- 6 STACKED STONE, LIGHT GRAY.
- 7 LIGHT BLUE GLAZING IN CLEAR ANNOXIDIZED ALUMINUM STOREFRONT.
- 8 CONCRETE PLANTER.
- 9 MECHANICAL UNITS. SEE SCREENING ANALYSIS ON SHEET 10.
- 10 SUNSHADE.
- 11 EXISTING LEWIS UNIVERSITY SIGN LOCATED IN FRONT OF PROPOSED OFFICE BUILDING.
- 12 GLASS DOOR. LIGHT BLUE GLAZING IN CLEAR ANNOXIDIZED ALUMINUM.
- 13 HOLLOW METAL DOOR. PAINTED TO MATCH ADJACENT CHARCOAL GRAY METAL PANELS.
- 14 OWNER SIGNAGE WITH INTERNAL AND HALO (EDGE LIT) ILLUMINATION.

LEGEND

- EXTERIOR INSULATING AND FINISH SYSTEM, DARK GRAY
- EXTERIOR INSULATING AND FINISH SYSTEM, MEDIUM GRAY
- CONCRETE
- STACKED STONE, LIGHT GRAY
- METAL PANELS, WHITE
- METAL PANELS, CHARCOAL GRAY
- METAL PANELS, MAHOGANY
- LIGHT BLUE GLAZING IN CLEAR ANNOXIDIZED ALUMINUM STOREFRONT.

SIGNAGE AREA % (IDO TABLE 15-12-2)

EAST FACADE:	SIGNAGE AREA = 100 SQUARE FEET
	FACADE AREA = 2,352 SQUARE FEET
	SIGNAGE AREA % = 4%
WEST FACADE:	SIGNAGE AREA = 100 SQUARE FEET
	FACADE AREA = 2,352 SQUARE FEET
	SIGNAGE AREA % = 4%
SOUTH FACADE:	SIGNAGE AREA = 64 SQUARE FEET
	FACADE AREA = 1,580 SQUARE FEET
	SIGNAGE AREA % = 4%
NORTH FACADE:	SIGNAGE AREA = 64 SQUARE FEET
	FACADE AREA = 1,580 SQUARE FEET
	SIGNAGE AREA % = 4%

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Architect Engineer

OFFICE BUILDING SHELL

2442 Louisiana Boulevard NE
Albuquerque, NM 87110

No	Date	DRB REVISIONS	Description
1	2022-03-25	DRB REVISIONS	

Revision Schedule

ISSUE:	DRB SUBMITTAL
PROJECT NUMBER:	2130
FILE:	2130 Office Building
DRAWN BY:	MN
CHECKED BY:	RB
DATE:	APRIL 29, 2022

SHEET TITLE
EXTERIOR BUILDING ELEVATIONS

DRB SUBMITTAL

3/23/2022 3:33:31 PM

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Architect Engineer



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on 2022.03.23 17:48:56 -06'00'
E:rburstein@studioswarch.com
O:Studio Southwest Architects
Inc., CN:Ron Burstein
Date: 2022.03.23 17:48:56 -06'00'

OFFICE BUILDING SHELL

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ALBUQUERQUE, NM 87110

No	Date	Description
Revision Schedule		
ISSUE:	DRB SUBMITTAL	
PROJECT NUMBER:	2130	
FILE:	2130 Office Building	
DRAWN BY:	MN	
CHECKED BY:	RB	
DATE:	FEBRUARY 25, 2022	

SHEET TITLE
SUN AND SHADE ANALYSIS



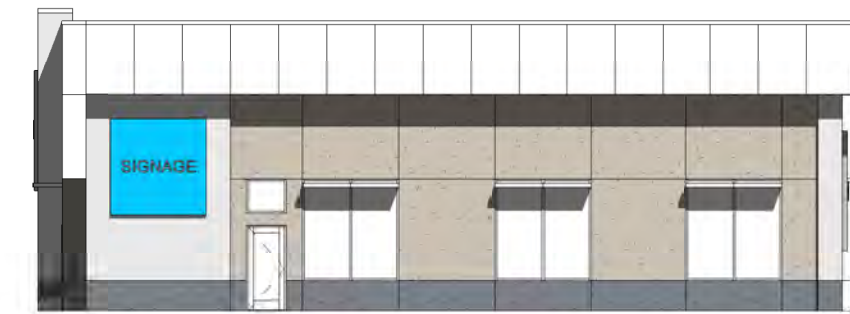
WEST FACADE NOV 21, 12PM

1/16" = 1'-0"



EAST FACADE NOV 21, 12PM

1/16" = 1'-0"



SOUTH FACADE NOV 21, 12PM

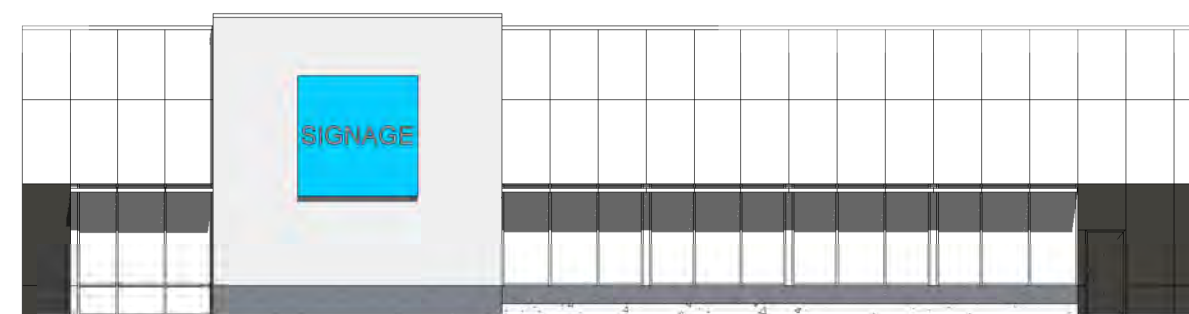
1/16" = 1'-0"



NORTH FACADE NOV 21, 12PM

1/16" = 1'-0"

WINTER SUN ANALYSIS



WEST FACADE MAY 21, 4PM

1/16" = 1'-0"



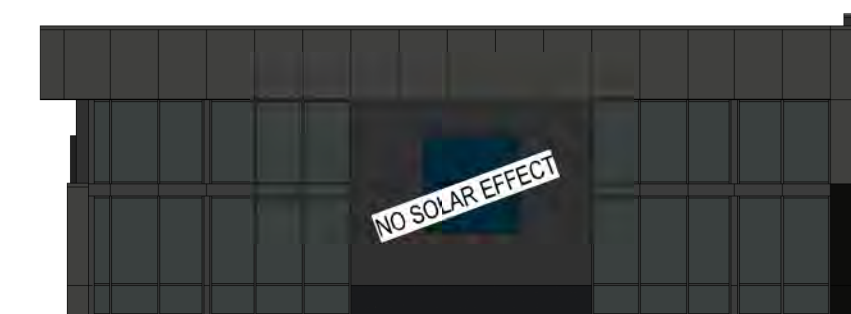
EAST FACADE MAY 21, 4PM

1/16" = 1'-0"



SOUTH FACADE MAY 21, 4PM

1/16" = 1'-0"



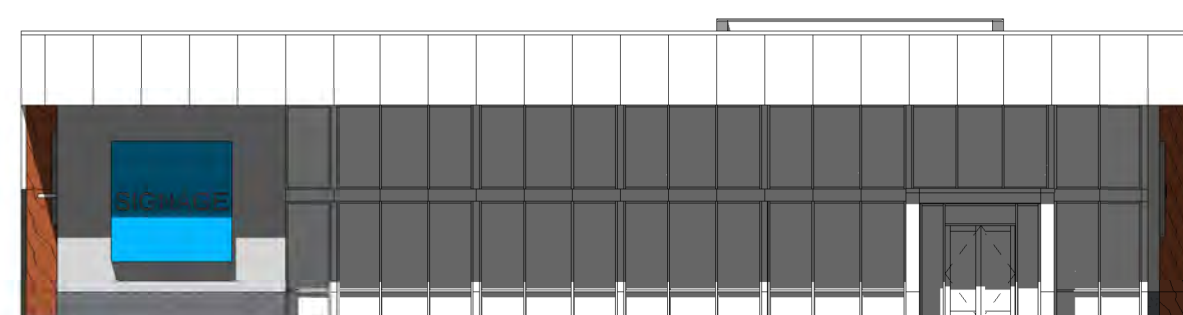
NORTH FACADE MAY 21, 4PM

1/16" = 1'-0"



WEST FACADE MAY 21, 12PM

1/16" = 1'-0"



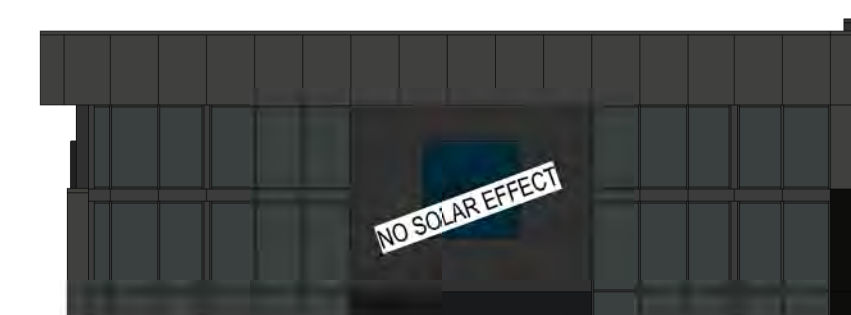
EAST FACADE MAY 21, 12PM

1/16" = 1'-0"



SOUTH FACADE MAY 21, 12PM

1/16" = 1'-0"



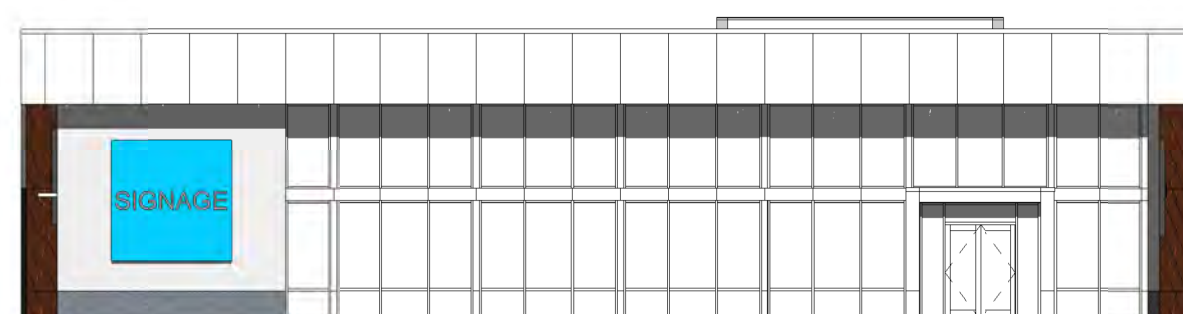
NORTH FACADE MAY 21, 12PM

1/16" = 1'-0"



WEST FACADE MAY 21, 9AM

1/16" = 1'-0"



EAST FACADE MAY 21, 9AM

1/16" = 1'-0"



SOUTH FACADE MAY 21, 9AM

1/16" = 1'-0"



NORTH FACADE MAY 21, 9AM

1/16" = 1'-0"

SUMMER SUN ANALYSIS

3/23/2022 3:34:27 PM

D

C

B

A

1

2

3

4

5

1

2

3

4

5

CONSULTANTS

DRB SUBMITTAL

Architect Engineer

Digitally signed by Ron Burstein
E:rburstein@studioswarch.com,
O:Studio Southwest Architects
Inc., CN=Ron Burstein
Date: 2022.03.23 17:49:19-06'00'

OFFICE BUILDING SHELL

2442 Louisiana Boulevard NE
ALBUQUERQUE, NM 87110

No	Date	Description
Revision Schedule		
ISSUE:		DRB SUBMITTAL
PROJECT NUMBER:		2130
FILE:		2130 Office Building
DRAWN BY:		Author
CHECKED BY:		Checker
DATE:		FEBRUARY 25, 2022

SHEET TITLE

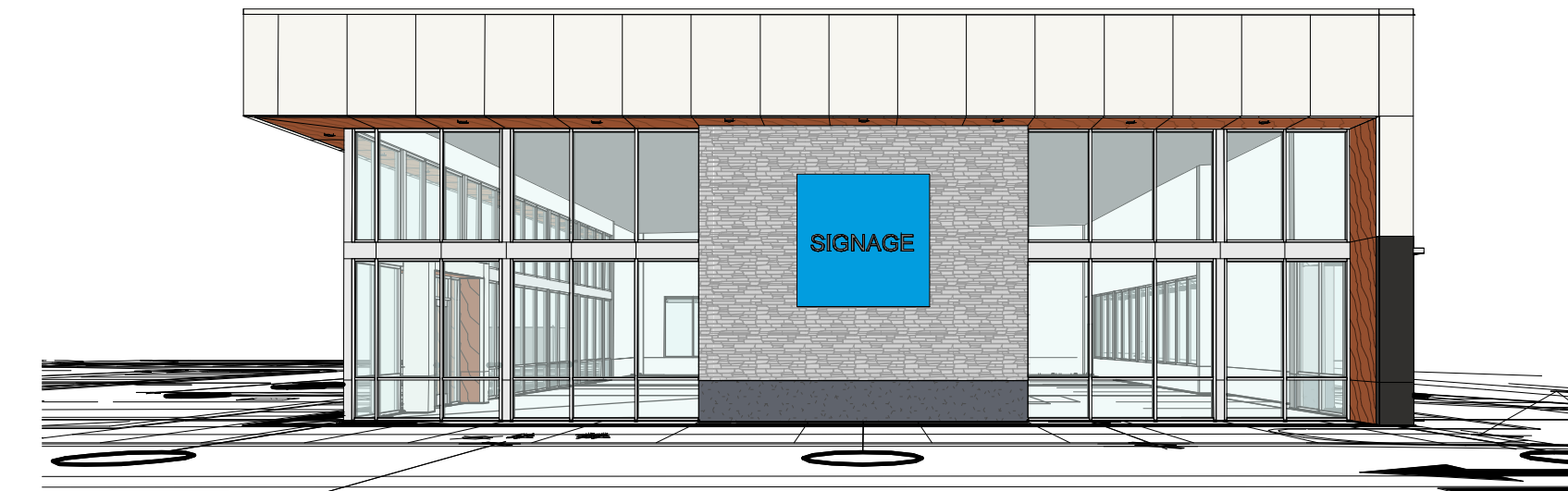
EXTERIOR PERSPECTIVES



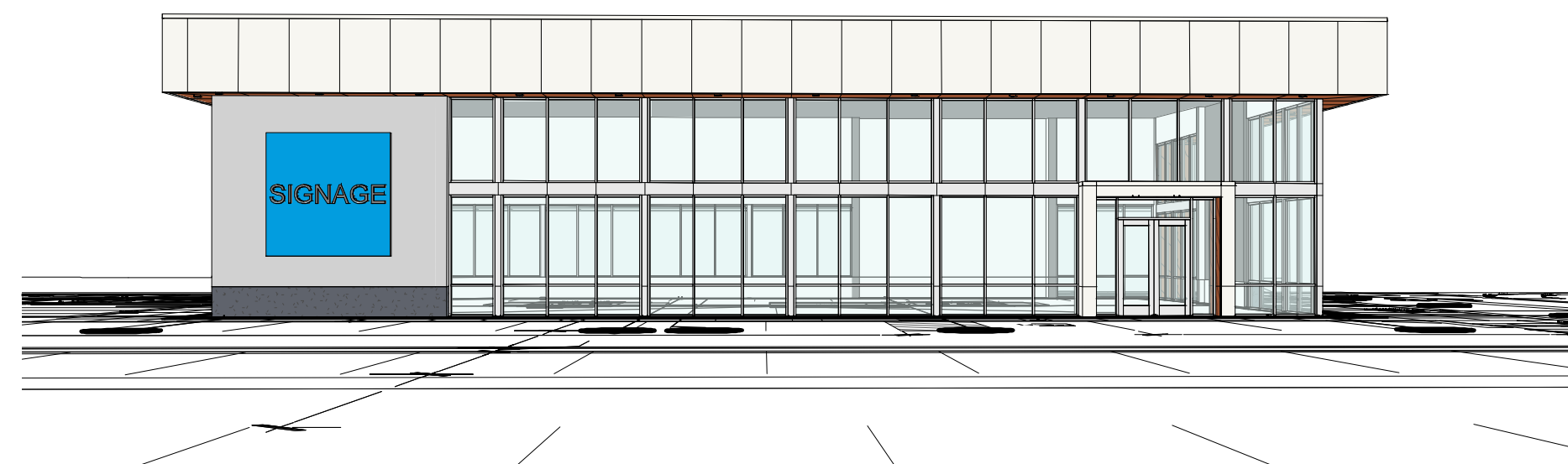
SOUTH PERSPECTIVE - 5' ABOVE PROPERTY LINE



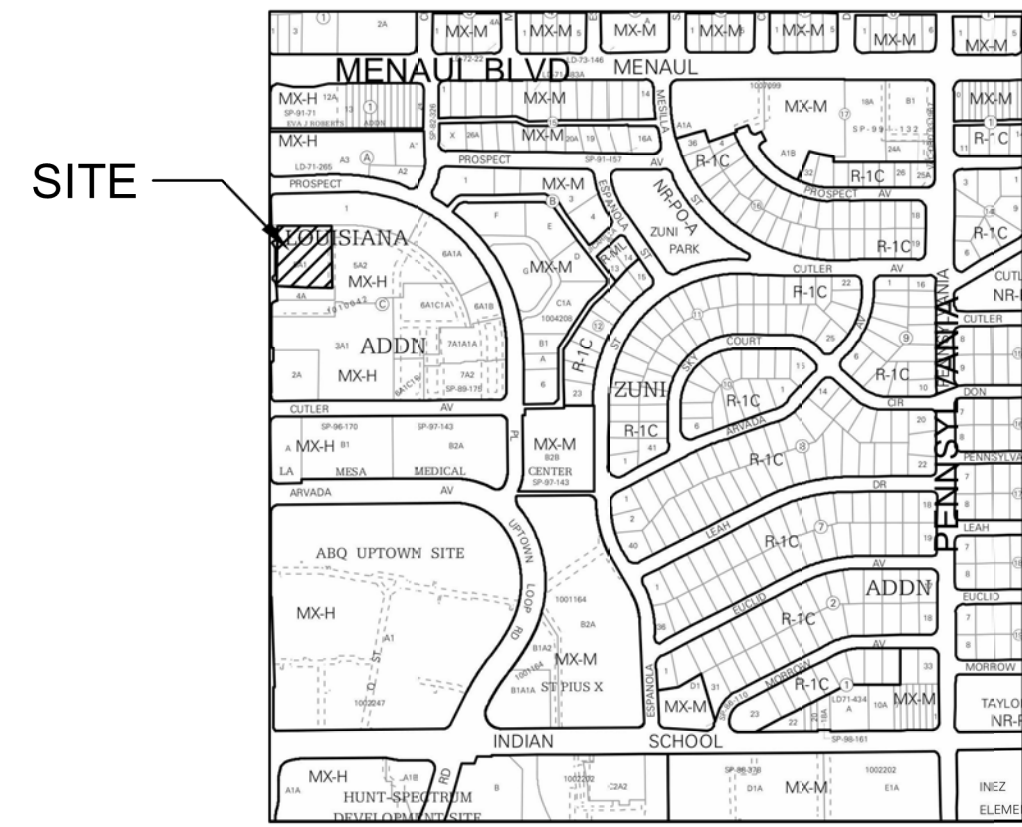
WEST PERSPECTIVE - 5' ABOVE PROPERTY LINE



NORTH PERSPECTIVE - 5' ABOVE PROPERTY LINE



EAST PERSPECTIVE - 5' ABOVE PROPERTY LINE



ZONE ATLAS MAP H-19-Z



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**
PERMIT
4440 LOUISIANA BLVD NE
APPROVED DATE: 03/30/22
APPROVED 4-A
BLOCK C

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 2000GPM 2 HYDRANTS 5881 SQ FT V.B.

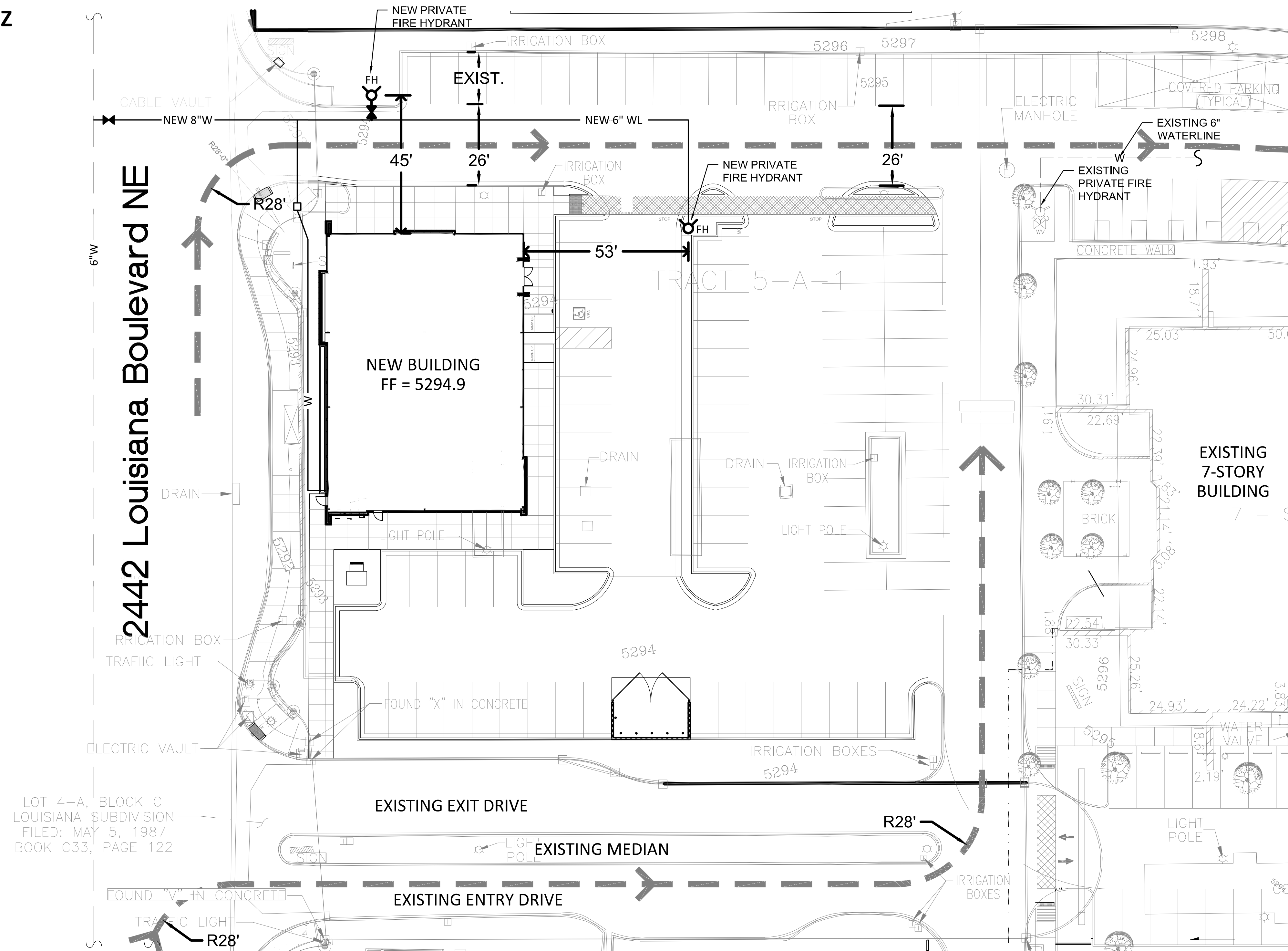
TRACT 5-A-1

Albuquerque, New Mexico
March 2022

- 1) BUILDING AREA = 5,881 SF
- 2) CONSTRUCTION TYPE IS VB
- 3) REQUIRED FIRE FLOW = 2,000 PM
- 4) OCCUPANCY GROUP IS OFFICE
- 5) MAXIMUM BUILDING HEIGHT IS 25'-4"
- 6) NO INTERIOR SPRINKLER SYSTEM IS REQUIRED

LEGEND

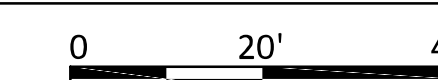
— → FIRE ACCESS



LOT 4-A, BLOCK C
LOUISIANA SUBDIVISION
FILED: MAY 5, 1987
BOOK C33, PAGE 122

FIRE 1 PLAN

1" = 20'



11
Sheet 11 of 11



Scott M McGee

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Albuquerque, NM 87111
505.263.2905
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PR-2019-003021_SI-2022-00308_Site_Plan_Amendment_Approved_4-27-22

Final Audit Report


2022-06-28


Created:	2022-06-24
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAA2CKkoWgNg68E2GS5uCAVWRFZtG2czxzK


"PR-2019-003021_SI-2022-00308_Site_Plan_Amendment_Approved_4-27-22" History


-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2022-06-24 - 4:53:31 PM GMT- IP address: 143.120.132.106
-  Document emailed to jwolfley@cabq.gov for signature
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-  Document emailed to Matthew Grush (mgrush@cabq.gov) for signature
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-  Document emailed to bcarter@abcwua.org for signature
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-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature
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-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
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2022-06-24 - 6:43:10 PM GMT- IP address: 198.206.237.4


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2022-06-28 - 6:56:55 PM GMT- IP address: 143.120.133.169

 Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)
Signature Date: 2022-06-28 - 6:58:05 PM GMT - Time Source: server- IP address: 143.120.133.169

 Agreement completed.
2022-06-28 - 6:58:05 PM GMT