

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 13, 2021

Ryan Morrissey, P.E.
Burkhardt Engineering
28 North Cherry St.
Germantown, OH, 45327

**RE: Champion Xpress Car Wash
7509 Menaul Blvd. NE
2nd Revised Grading and Drainage Plan
Engineer's Stamp Date: 07/20/21
Hydrology File: H19D091**

Dear Mr. Morrissey:

Based upon the information provided in your submittal received 07/20/2021, the 2nd Revised Grading and Drainage Plan is approved for Building Permit and SO-19 Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

Please provide Drainage Covenant for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit an electronic file of the Covenant and Exhibit for completeness to Marion G. Velasquez at mgvelasquez@cabq.gov. Once the electronic file is approved for completeness, please submit the original copies along with the \$ **25.00** recording fee check made payable to Bernalillo County to Marion on the 4th floor of Plaza de Sol. Please note that Hydrology will need a pdf copy of the recorded Drainage Covenant prior to Hydrology's approval of Permanent Release of Occupancy.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Xpress Car Wash Building Permit #: Hydrology File #: H19D091
DRB#: EPC#: Work Order#:

Legal Description: * 003 008BROAD ACRES and * 004 008BROAD ARCES XLT 5X6
City Address: 7509 Menaul NE Albuquerque, NM 87110 and 7521 Menaul NE Albuquerque, NM 87110

Applicant: Ryan Morrissey Contact:
Address: 28 North Cherry Street Germantown, OH 45327
Phone#: 937-694-3142 Fax#: E-mail: rmorrissey@burkhardtinc.com

Other Contact: [Modulus Architects](#) Contact: Regina Okoye
Address: [100 Sun Ave. NE, suite 600, Albuquerque, NM 87109](#)
Phone#: 505-267-7686 Fax#: E-mail: rokoye@modulusarchitects.com

TYPE OF DEVELOPMENT: PLAT (# of lots) RESIDENCE DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes No

DEPARTMENT TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

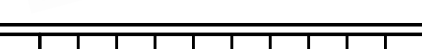
- ☒ BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY)

DATE SUBMITTED: 7/20/2021 By: Regina Okoye

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:



Scale: 1" = 20'

Sheet:

• • •



PLANNING / ZONING / BUILDING

SANITARY SEWER / WATER

Reference - ALTA / NSPS Land Survey of the subj



SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

0.2% Annual Chance Flood Hazard Area

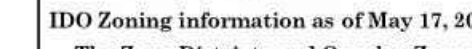
NO SCREEN Area of Minimal Flood Hazard Zone X

20.2 Cross Sections with 1% Annual Chance

[72] Digital Data Available

an authoritative property location.

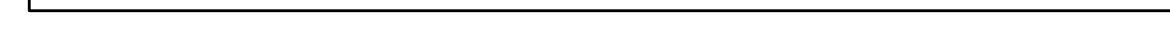
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, north arrow, coordinate data, or metadata identification.



Project will include the demolition

Address: 7521 Menaul Blvd. N.E., Alb

Area: 0.711 acres (0.006 acres dedicated to City in RePlat)



Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236.
2. Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
3. An excavation permit will be required before beginning any work within City Right-Of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Work on arterial streets may be required on a 24-hour basis.
10. Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

STORM WATER MANAGEMENT NOTES:

Existing Lot Coverage - 87% impervious / 13% landscaping & gravel
Proposed Lot Coverage - 83% impervious / 17% landscaping

Net Decrease in Storm Water Runoff due to Development
No Storm Water Detention Required

Methodology:

Albuquerque Development Process Manual

Chapter 22, Section 2, Part A;

"A simplified procedure for projects with sub-basins smaller than 40 acres has been developed based on initial abstraction / uniform infiltration precipitation losses and Rational Method procedures."

Storm Water Quality Volume (WQv) = Impervious Area x 0.26 inches

Precipitation Zone:

Precipitation Zone 3: "Between the San Mateo and Eubank"

Drainage Summary:

Area = 0.717 acres
Treatment B (Desert Landscaping Area) - 17%
Treatment D (Impervious Area) - 83% = 0.595 acres
100-year peak Discharge Rate = 4.14 cfs/acre (Table A-9)
 $Q_{100} = 2.97$ cfs
WQv = 677 cu-ft (required)

Provided Water Quality Storage Volume:

Elevation (ft)	Contour Area (sq-ft)	Incremental Vol. (cu-ft)	Σ Volume (cu-ft)
5337	8	0	0
5338	46	27	27
5339	250	148	175
5340	791	521	696
5340.15	895	126	822 - overflow to R/W

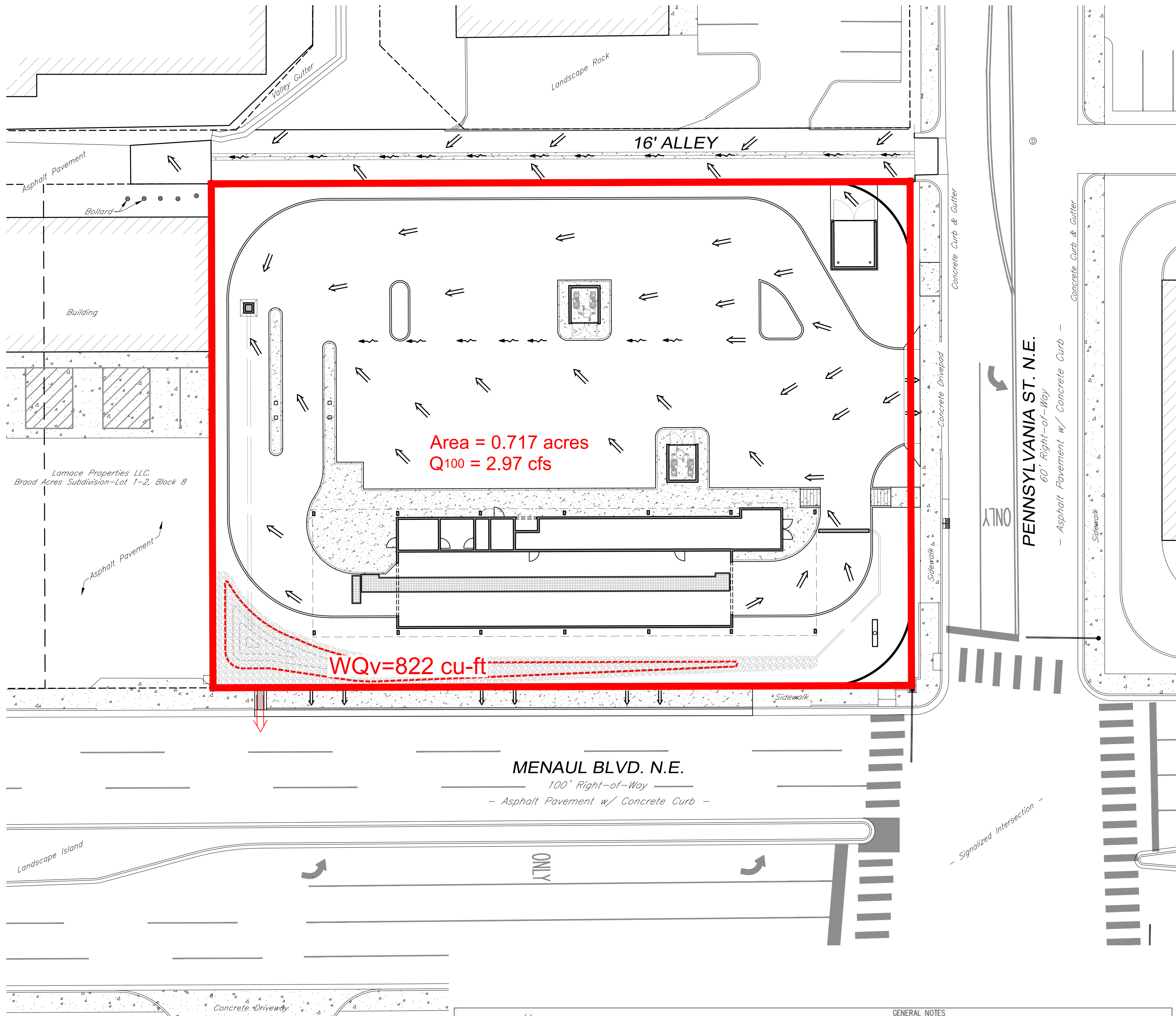
*Average End Area Method used to calculate storage volumes.

Curb Cut and Sidewalk Culvert Capacity:

Weir Equation: $Q = CxLxH^{3/2}$ where,

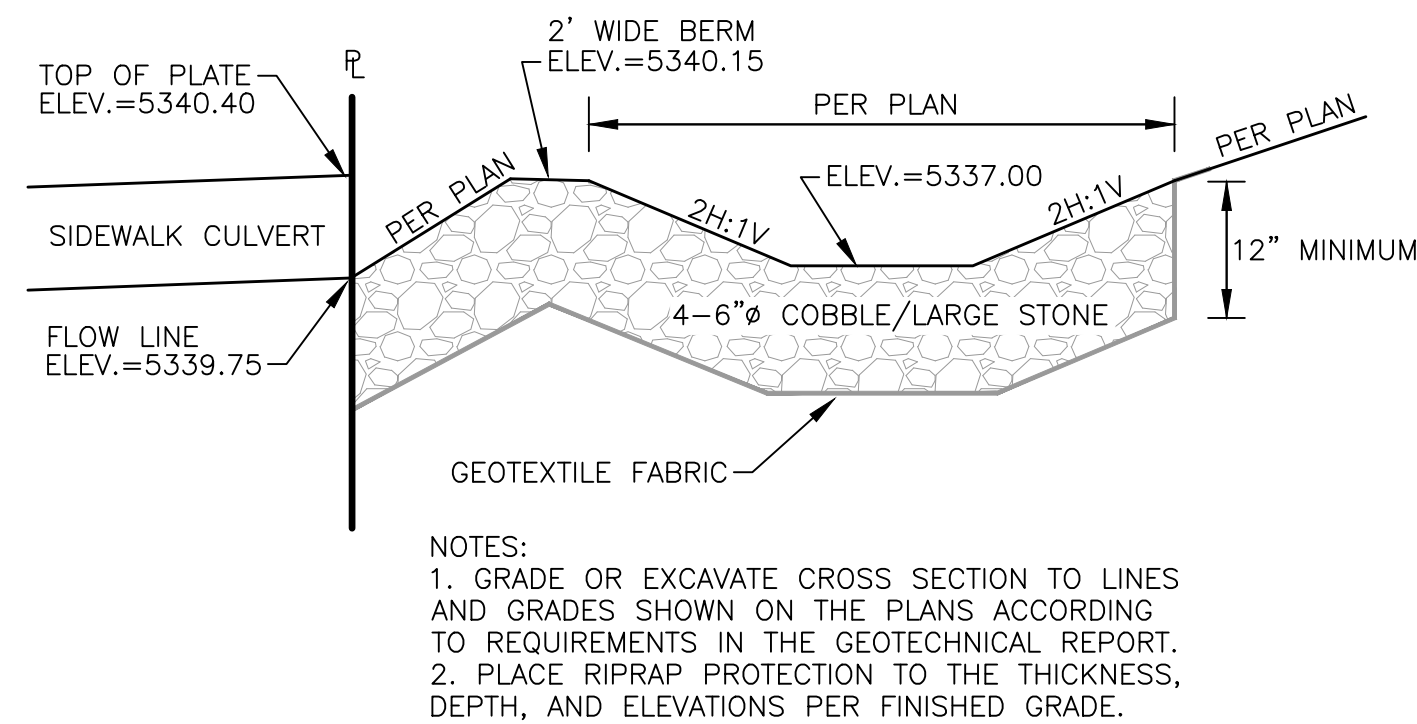
Q = discharge (cfs)
C = weir coefficient = 3.33
L = length of weir (ft)
H = head or depth (ft)

For the 24" wide Curb Cuts and Sidewalk Culverts with a max depth of 7";
Maximum Flow = 2.97 cfs (meets 100-year discharge)



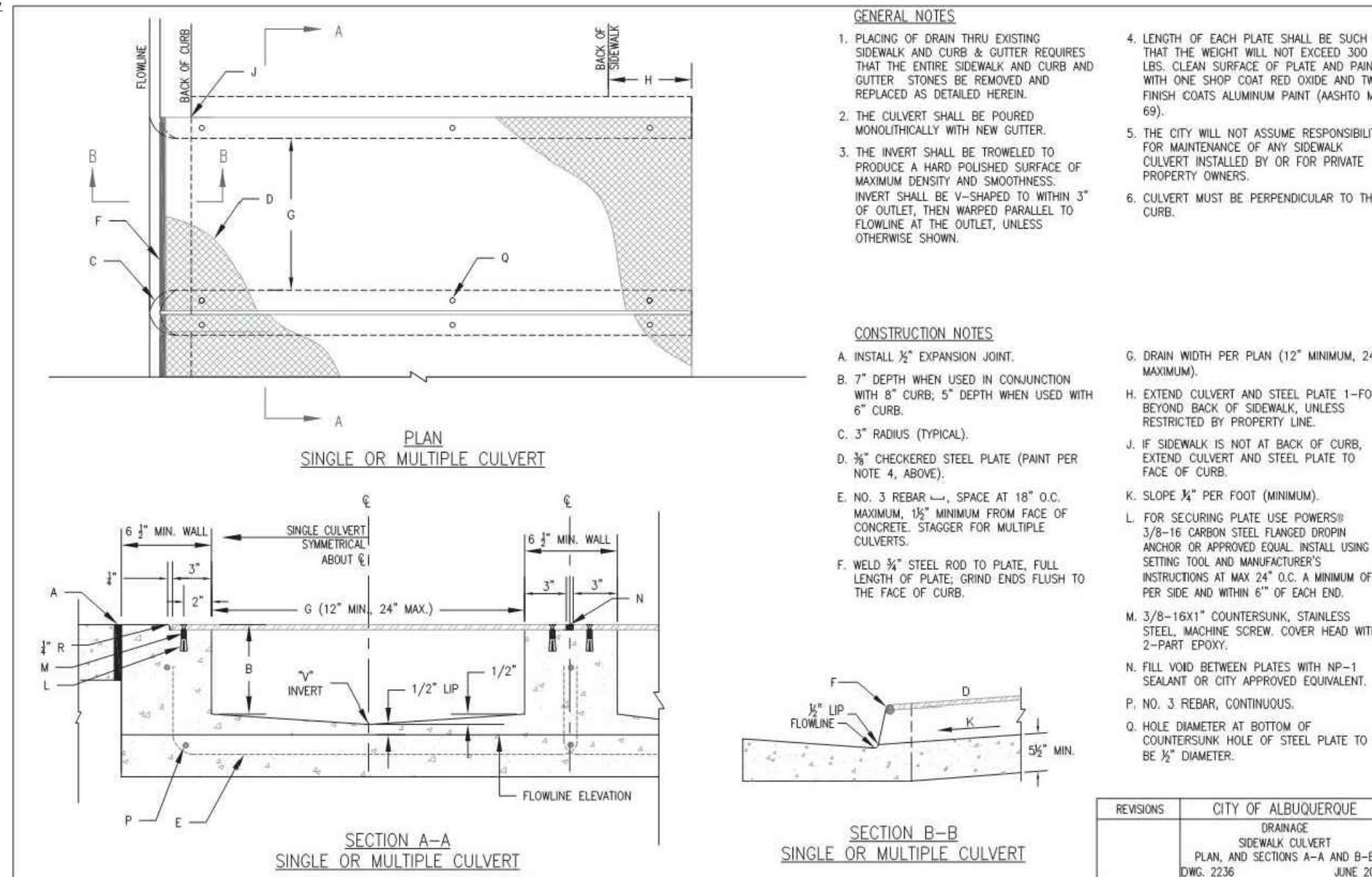
GENERAL GRADING, EARTHWORK & DRAINAGE NOTES

1. All spot elevations indicated in pavement areas are at bottom face of curb and/or finished pavement grade unless noted otherwise. All spot elevations indicated in grass or landscape areas are finished grade unless noted otherwise.
2. The Contractor shall be responsible for the removal and disposal of all vegetation and organic materials from the site that results from clearing & grubbing activities.
3. The Contractor shall be responsible for stripping and removal of all excess topsoil from the site. All topsoil that cannot be used on site shall be removed from the site at the Contractor's expense. The Contractor may dispose of excess topsoil by burying topsoil in landscape areas only at the direction of the Owner or the Owner's Representative.
4. The Contractor will be responsible for all safety requirements and for the protection of all existing and proposed utilities or structures during earthwork procedures.
5. The Contractor shall be responsible for the import of structural fill materials if suitable material is not available on site. The location and testing of suitable material shall be the Contractor's responsibility. The Contractor shall be responsible for the export and disposal of all excess or unsuitable materials.
6. The Contractor shall provide construction dewatering as necessary to complete construction as outlined in plans.
7. The Contractor shall exercise extreme care in establishing all grades and slopes in pavement areas, ramps and sidewalks in the vicinity of handicap parking and access areas and shall comply with Federal, State, and Local Codes.
8. In areas where sheet drainage flows from grass or landscape areas onto paved areas, the finished grade in grass or landscape areas shall be 1/2 inch above the top of curb or above the pavement in areas without curb. In areas where sheet drainage flows from pavement to grass or landscaped areas, the finished grade in grass or landscape areas shall be 1/2 inch below the pavement.
9. The Contractor shall provide positive drainage in all areas and away from all buildings.
10. All pavement shall be laid on a straight, even, and uniform grade with a minimum of 1:100 (1.0%) slope toward the collection points unless otherwise specified on plans. Cut or fill slopes in unpaved areas shall not exceed 3:1 (33.3%) maximum grade unless otherwise noted on plans.
11. ADA accessible areas shall not exceed the following slopes:
 - Ramps - 1:12 (8.3%) max.
 - Routes - 1:20 (5.0%) max.
 - Parking - 1:50 (2.0%) max.
 - Cross Slopes - 1:50 (2.0%) max.
12. The Contractor shall adjust tops/lids/grates of all cleanouts, manholes, inlets, valves, etc. to match final grade.
13. Following grading of subsoil to subgrade elevations, the Contractor shall provide 4" of topsoil (minimum) in all disturbed areas which are not to be paved. Final grades should be smoothly finished to surrounding areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading and should be free of subsoil, debris, and stones.
14. The Contractor shall be responsible for determining exact quantities of cut and/or fill for estimating and construction and should alert the Engineer of any excessive cut and/or fill, especially if additional cut and/or fill will be required due to poor existing soil conditions discovered during earthwork operations.
15. Refer to the Architectural and Structural Plans for information regarding any perimeter foundation drains.
16. The Contractor shall obtain a copy of the Geotechnical / Soils Report and become thoroughly familiar with site and subgrade information and fully implement recommendations given therein.



NOTES:
1. GRADE OR EXCAVATE CROSS SECTION TO LINES AND GRADES SHOWN ON THE PLANS ACCORDING TO REQUIREMENTS IN THE GEOTECHNICAL REPORT.
2. PLACE RIPRAP PROTECTION TO THE THICKNESS, DEPTH, AND ELEVATIONS PER FINISHED GRADE.

WQv AREA SECTION
NOT TO SCALE



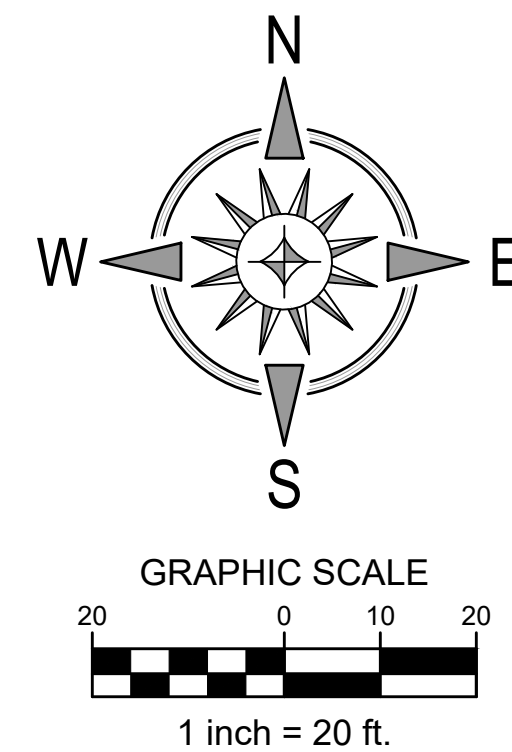
GENERAL NOTES

1. PLACING OF DRAIN THRU EXISTING SIDEWALK AND CURB & GUTTER REQUIRES THAT THE ENTIRE SIDEWALK AND CURB AND GUTTER STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
2. THE CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAXIMUM DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED PARALLEL TO FLOWLINE AT THE OUTLET, UNLESS OTHERWISE SHOWN.
4. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. CLEAN SURFACE OF PLATE AND PAINT WITH ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (ASHTO M 69).
5. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.
6. CULVERT MUST BE PERPENDICULAR TO THE CURB.

CONSTRUCTION NOTES

- A. INSTALL 1/2" EXPANSION JOINT.
- B. 7" DEPTH WHEN USED IN CONJUNCTION WITH 8" CURB, 5" DEPTH WHEN USED WITH 6" CURB.
- C. 3" RADIUS (TYPICAL).
- D. 3/4" CHECKERED STEEL PLATE (PAINT PER NOTE 4, ABOVE).
- E. NO. 3 REBAR --- SPACE AT 18" O.C. MAXIMUM. 1/4" MINIMUM FROM FACE OF CONCRETE. STAGGER FOR MULTIPLE CULVERTS.
- F. WELD 1/4" STEEL ROD TO PLATE. FILL LENGTH OF PLATE. GRIND ENDS FLUSH TO THE FACE OF CURB.
- G. DRAIN WIDTH PER PLAN (12" MINIMUM, 24" MAXIMUM).
- H. EXTEND CULVERT AND STEEL PLATE 1-FOOT BEYOND BACK OF SIDEWALK, UNLESS RESTRICTED BY PROPERTY LINE.
- I. IF SIDEWALK IS NOT AT BACK OF CURB, EXTEND CULVERT AND STEEL PLATE TO FACE OF CURB.
- J. SLOPE 1/4" PER FOOT (MINIMUM).
- K. FOR SECURING PLATE USE POWERDRIVEN 3/8-16 CARBON STEEL FLANGED DRIPPIN ANCHOR OR APPROVED EQUAL. INSTALL USING SETTING TOOL AND MANUFACTURER'S INSTRUCTIONS AT MAX 24" O.C. A MINIMUM OF 2 PER SIDE AND WITHIN 6" OF EACH END.
- L. FILL VOID BETWEEN PLATES WITH NP-1 SEALANT OR CITY APPROVED EQUIVALENT.
- M. 3/8-16X1" COUNTERSUNK, STAINLESS STEEL, MACHINE SCREW. COVER HEAD WITH 2-PART EPOXY.
- N. NO. 3 REBAR, CONTINUOUS.
- O. HOLE DIAMETER AT BOTTOM OF COUNTERSUNK. HOLE OF STEEL PLATE TO BE 1/2" DIAMETER.

REVISIONS	CITY OF ALBUQUERQUE
1	DRainage
2	SideWalk Culvert
3	Plan, and Sections A-A and B-B
4	DWG. 2236
5	JUNE 2019



Date	Description	Item
06/04/21	Rev 5 - Revised per DRE Comments.	1

SITE DEVELOPMENT PLANS FOR
CHAMPION XPRESS CAR WASH
NORTHWEST OF THE INTERSECTION OF
MENAU BOULEVARD N.E. & PENNSYLVANIA STREET N.E.
LOTS 3-6, BLOCK 8, BROAD ACRES SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Design: RJM Proj: 19-106
Draw: JMM Dwg: 19-106.dwg
Check: RJM Tab: C3.1-GP

Scale: 1" = 20'
Date: 02.05.2021

Sheet: GRADING & DRAINAGE NOTES AND DETAILS

Sheet No.: C-3.1

