

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 9, 2022

Scott Anderson, RA
Scott Anderson & Associates Architects
7604 Rio Penasco NW
Albuquerque, NM 87120

**Re: Façade Renovation
7100 Menaul Blvd. NE
Traffic Circulation Layout
Architect's Stamp 03-28-2022 (H19-D092)**

Dear Mr. Anderson,

The TCL submittal received 08-10-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

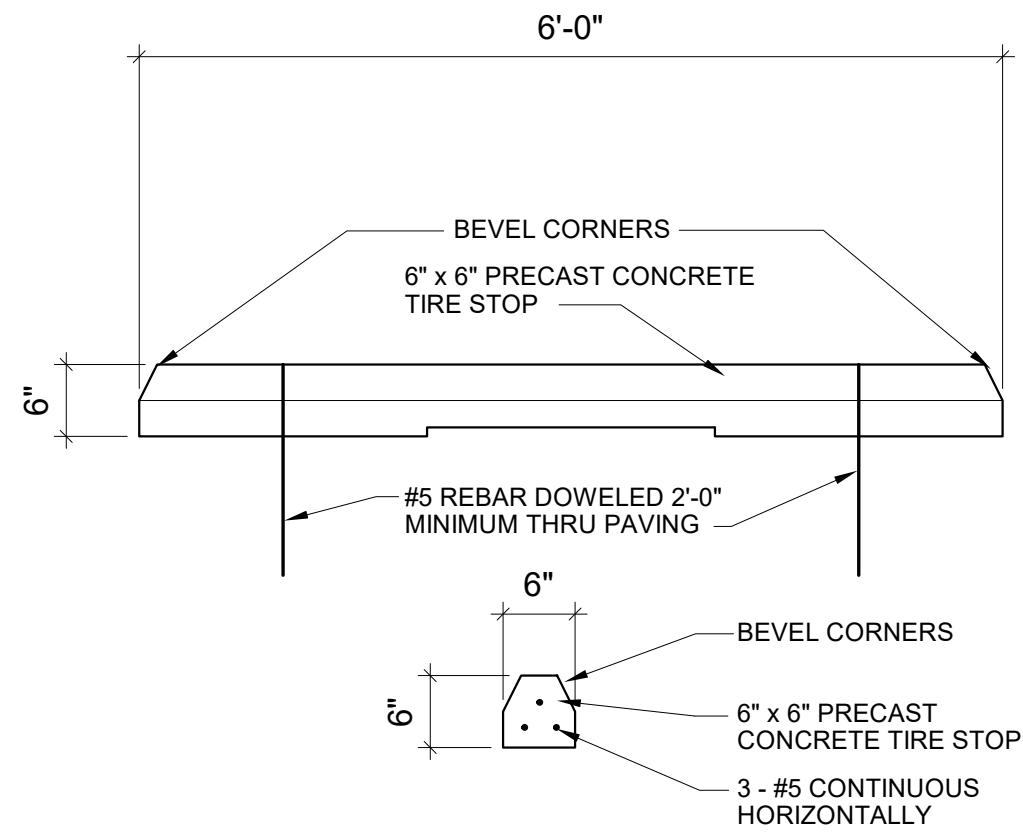
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

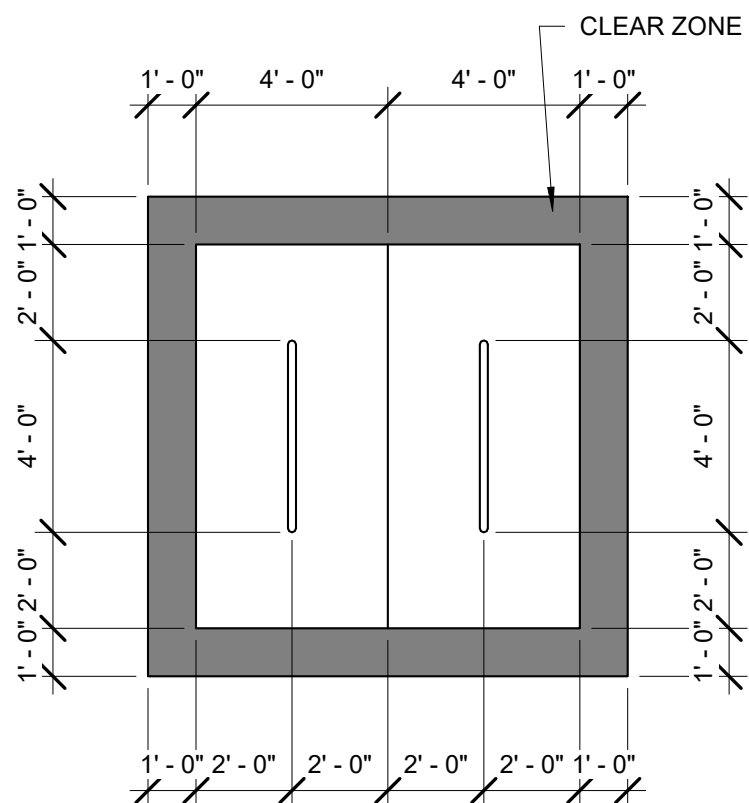
Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



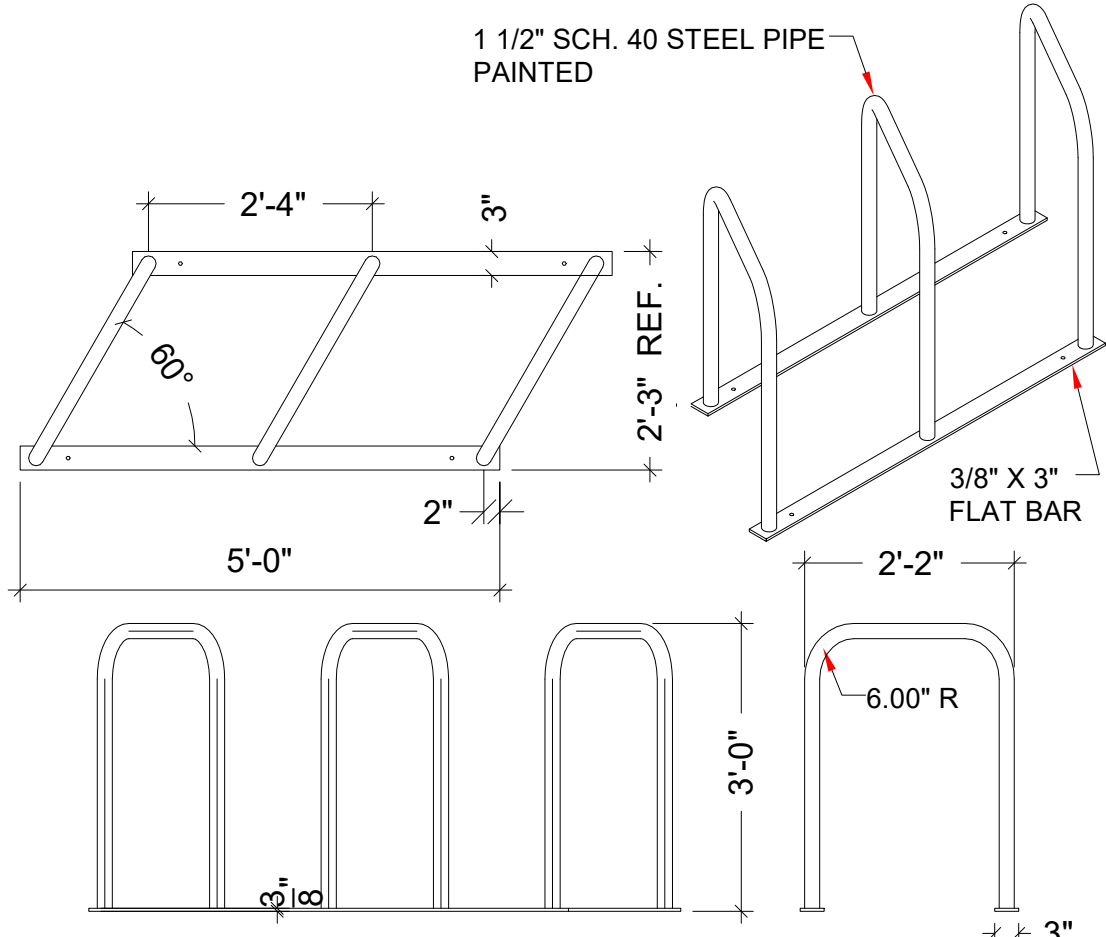
1 PARKING BUMPER DETAIL

3/4" = 1'-0"



2 BIKE RACK PLAN

1/4" = 1'-0"

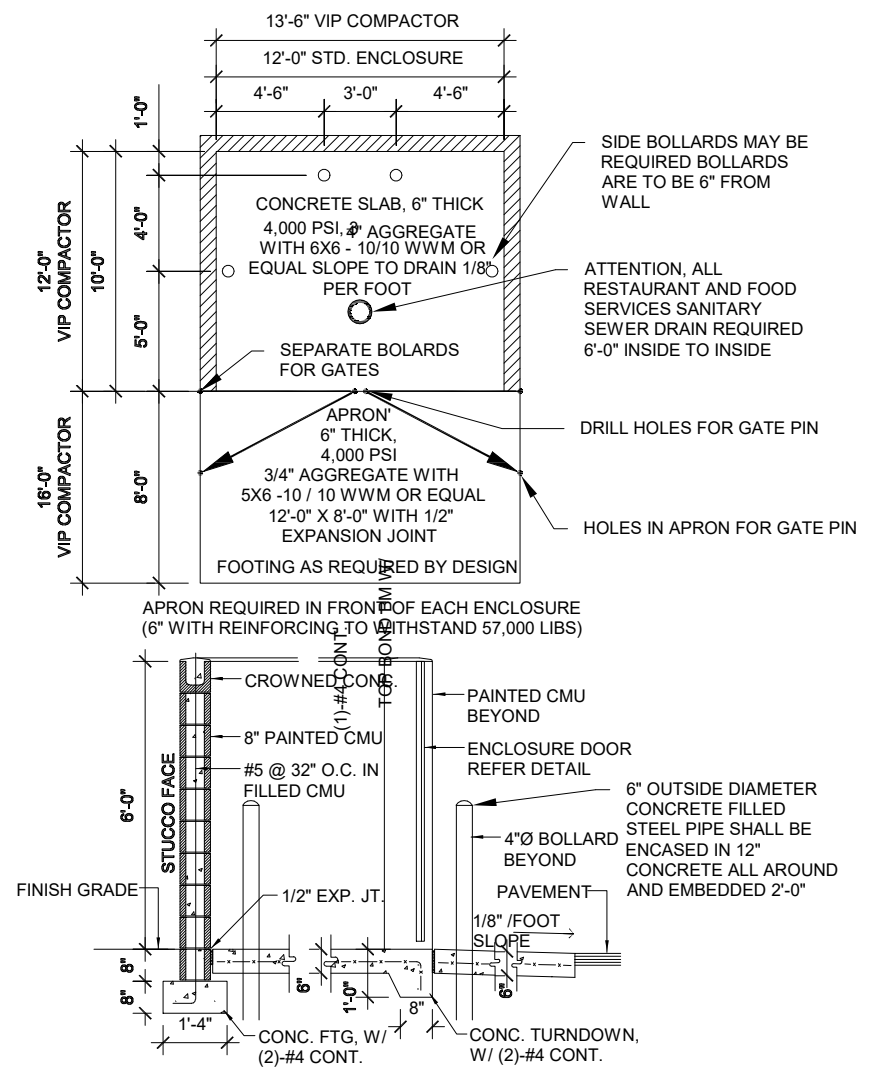


3 BIKE CORRAL

1/2" = 1'-0"

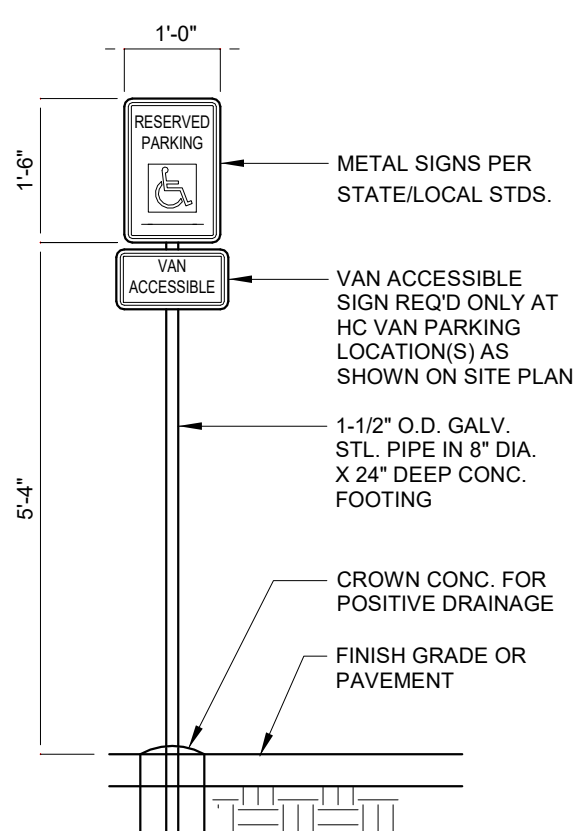
TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Ramirez 9/9/2022
Signed Date



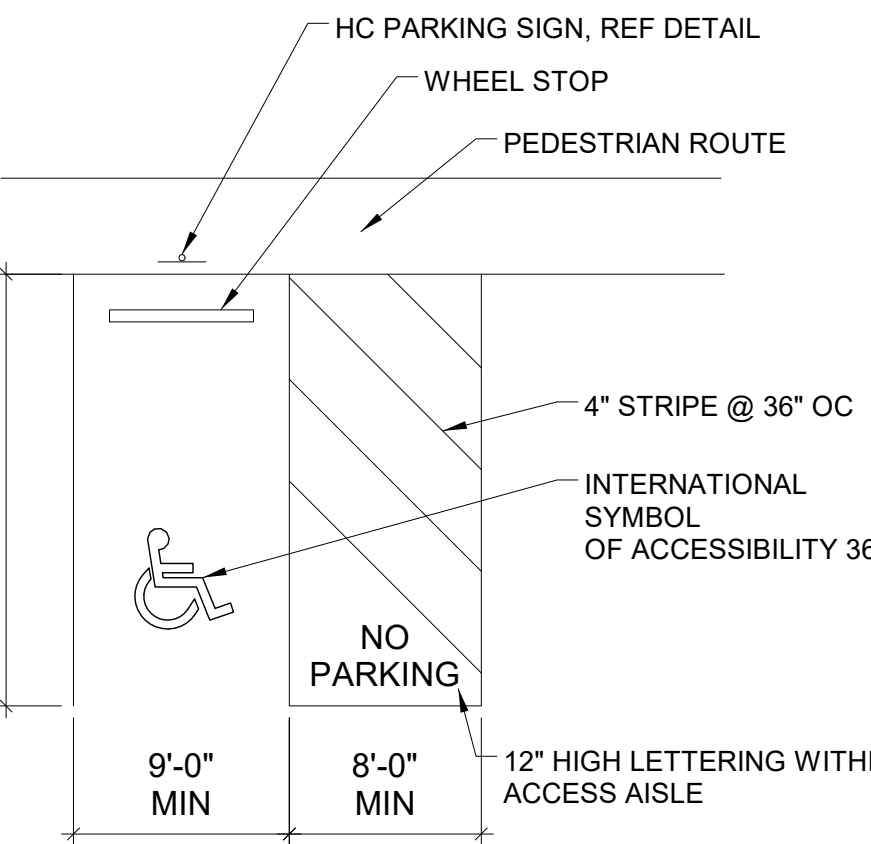
4 REFUSE ENCLOSURE

1/8" = 1'-0"



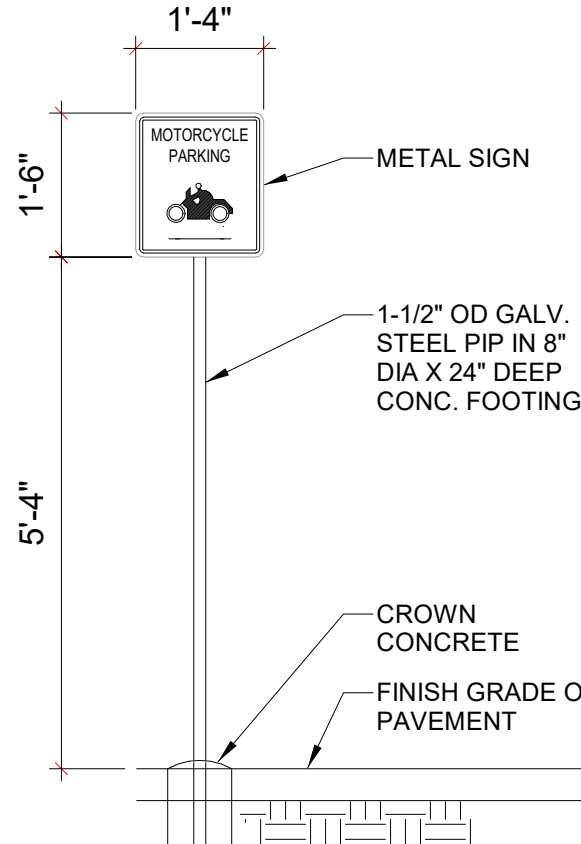
5 HC PARKING SIGN

1/2" = 1'-0"



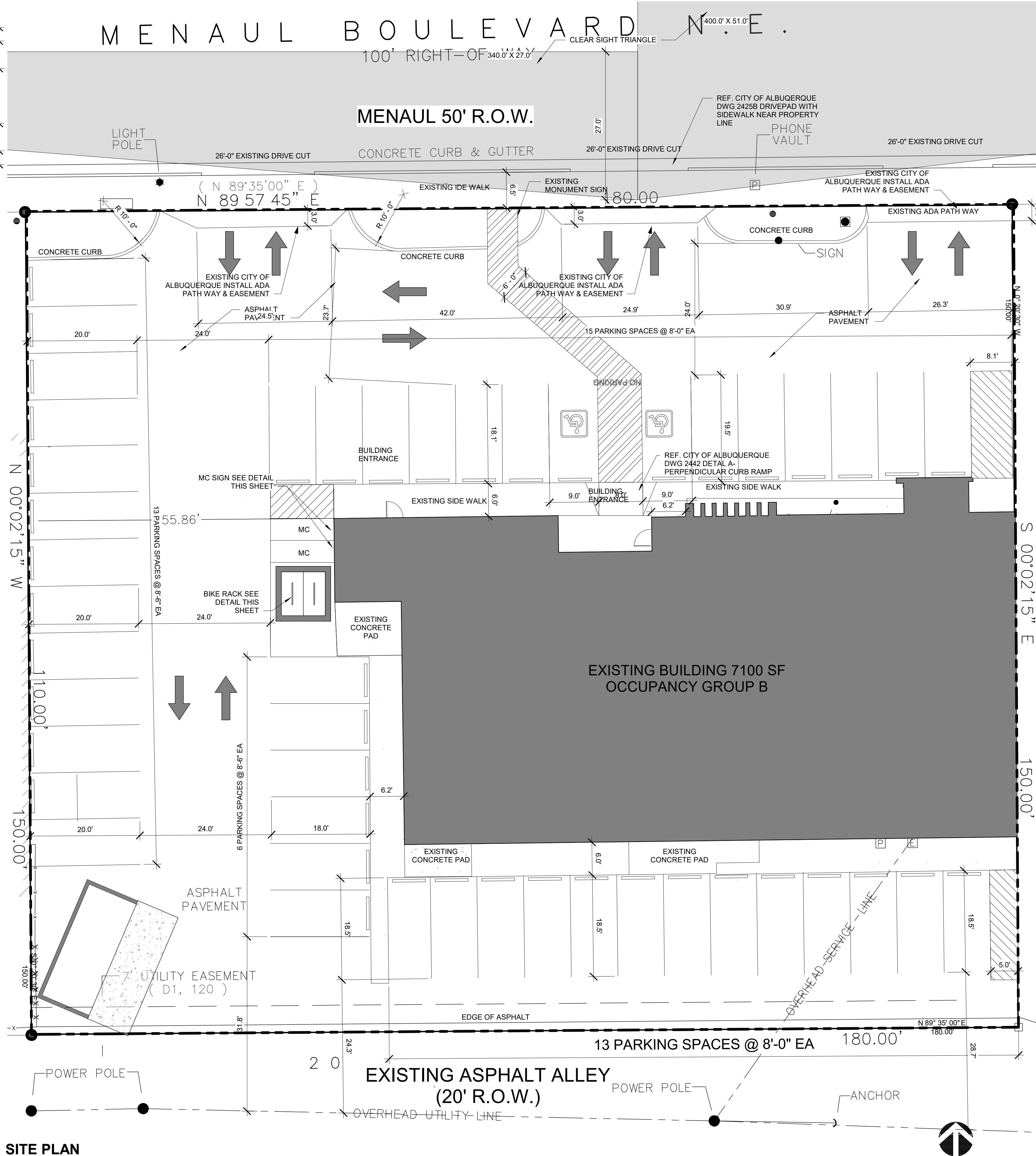
6 ADA PARKING

1/8" = 1'-0"



7 MC PARKING SIGN

1/2" = 1'-0"



SITE PLAN

1" = 10'-0"

SITE ANALYSIS DATA

ZONE ATLAS: H-19

ZONING: MX-M

PARKING (EXISTING):

OFFICE 5,554 X 0.0035 = 19 SPACES
EXISTING HC PARKING REQUIRED = 2
EXISTING HC PARKING PROVIDED = 2
6 SPACE BIKE RACK

SCOPE OF SITE WORK: FACADE REMODEL

UPC: 101905908625331425

LOT 003 015ZUNI ADDN REPLAT & SLY 40 FT VAC

MENAU BL

SCOPE OF WORK

NEW TRASH ENCLOSURE

FACADE REMODEL

NO CHANGE OF OCCUPANCY

NOTE:

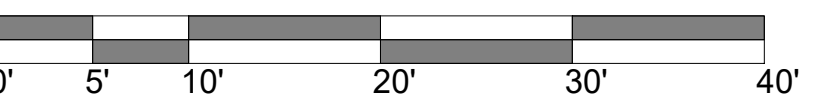
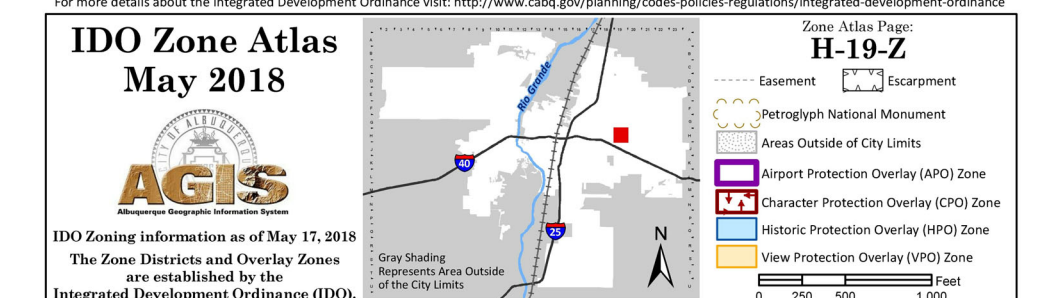
OCCUPANCY CLASSIFICATION
EXISTING GROUP B TO REMAIN
FACADE REMODEL ONLY (SHELL)

NOTE:

LANDSCAPING AND SIGNAGE WILL NOT
INTERFERE WITH CLEAR SIGHT REQUIREMENTS.
THEREFORE, SIGNS, WALLS, TREES, AND
SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS
MEASURED FROM THE GUTTER PAN) WILL NOT
BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

NOTE:

ALL BROKEN OR CRACKED SIDEWALK AND CURB
& GUTTER
SIDE WALK EASEMENT SHALL BE PROVIDED
PRIOR TO CERTIFICATE OF OCCUPANCY



FACADE RENOVATION
7100 MENAUL BLVD NE
ALBUQUERQUE, NM 87110

SITE PLAN

DESIGNED	A.Q.	PROJECT NO	20-032
DRAWN	A.Q.	SCALE	As indicated
CHECKED	S.C.A.	DRAWING NO	
REVIEWED	S.C.A.		
DATE	03/28/2022		
		A100	