



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Wyoming Boulevard Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: See Attached

City Address: 1600 Gibson Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts

Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015

Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler

Address: 15635 Alton Parkway, Irvine, CA 30349-2732

Phone#: 404-305-4407 Fax#: _____ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Kimanh Nguyen

Address: 195 South "C" Street 200, Turstin, CA 92780

Phone#: 714-832-1834 Fax#: _____ E-mail: kimanh@CRHO.com

Surveyor: Surv-Tek Inc Contact: Russ Hugg

Address: 9384 Valley View Drive

Phone#: 505-897-3366 Fax#: _____ E-mail: russhugg@survtek.com

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☒ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 03/18/2015 By: Troy Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

March 18, 2015
Merrick Project No. 65118374

Rudy Rael
City of Albuquerque
Development Review Services
600 2nd St NW, Suite 201
Albuquerque, NM 87102

Re: **Chick-fil-A**
2274 Wyoming Blvd. NE
Grading and Drainage Plan
Engineers Stamp Date 12/15/14 (H20-D003C)

Dear Mr. Rael:

Merrick & Company has reviewed the comments received on February 19, 2015 regarding the proposed Chick-fil-A located at 2274 Wyoming Blvd. NE. The following summarizes Merrick's response to the comments provided by the City of Albuquerque.

- Follow the Development Process Manual (DPM) Chapter 22 when submitting a plan for Grading Permit and Building Permit. This chapter can be found on our web site, www.cabq.gov/planning.

Response: The DPM has been followed for this submittal.

- Mention of the first flush per EPA standards is required. The amount required is .34" times the impervious area. We believe there is enough landscape area to accomplish this requirement.

Response: The first flush has been mentioned and retention ponds have been sized accordingly.

- Provide the vicinity map. Also provide the FIRMette or mention the flood zone and map page.

Response: The vicinity map and FIRMette have been provided.

- Provide the legal description on the G&D plan.

Response: The legal description on the G&D plan has been provided.

- Provide a basin map.

Response: A basin map has been provided.

- Show the roof flows.

Response: Roof flows are now shown on the developed drainage map.

- Depress all landscape areas which are no closer than 10 feet from the building.

Response: Landscape islands have not been depressed because bio-retention ponds have been provided to accommodate the first flush requirements.

- Remove the "not for construction" note, all plans submitted for Building Permit and Grading Permit must be a plan used for building purposes.

Response: The "not for construction" note has been removed from plans.

- The dumpster area must contain a drain connected to the SAS, with a grease trap.

Response: The trash enclosure contains a drain connected to the SAS.

We hope we have adequately addressed your comments. If you have any questions, or need further clarification concerning the resubmitted plans, please don't hesitate to give me a call at 303-353-3926.

Respectfully submitted,
MERRICK & COMPANY



Troy D Kelts, P.E.
Project Manager

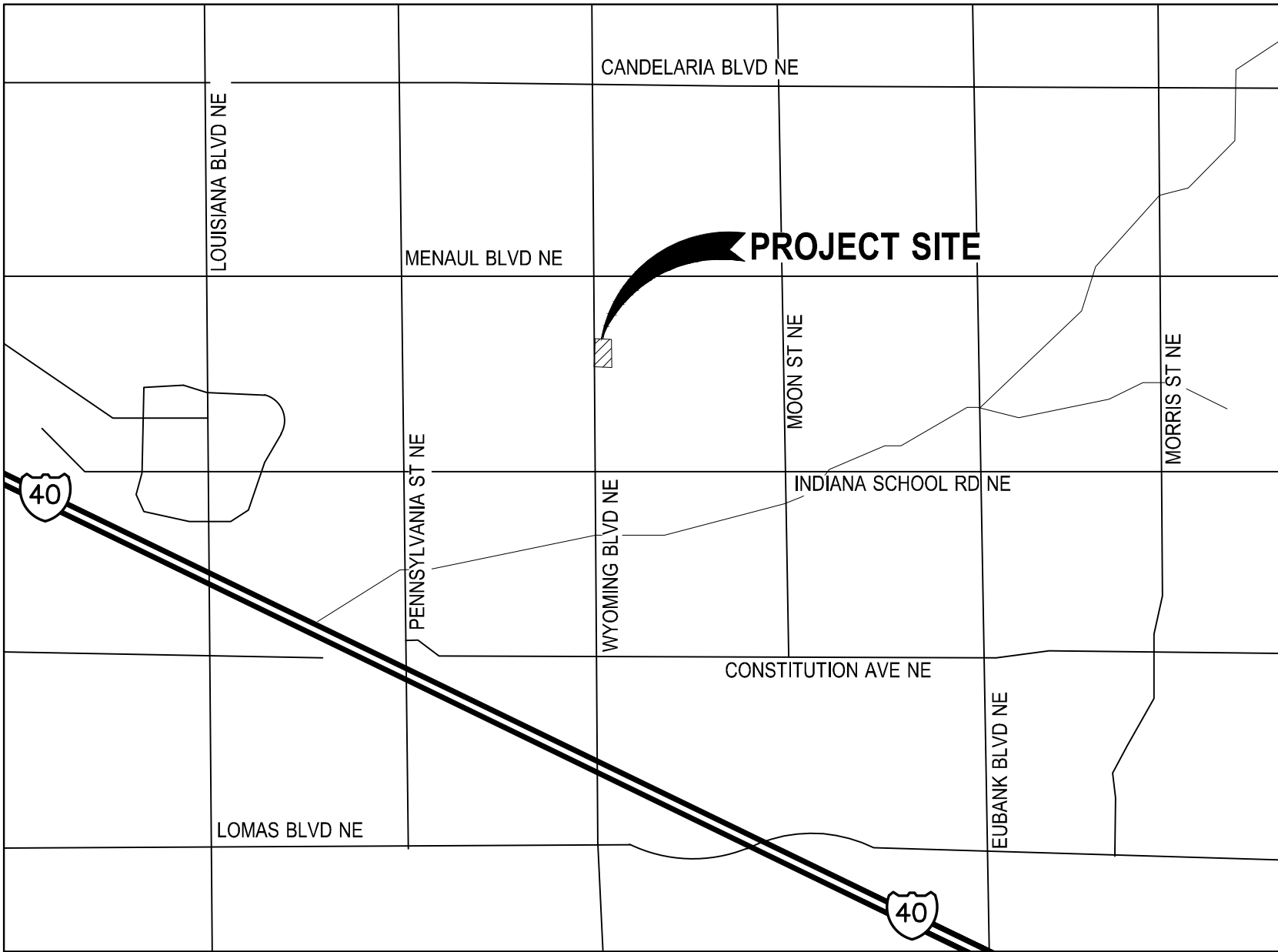
CHICK-FIL-A AT WYOMING BOULEVARD

PARCEL 3, THE WYOMING MALL
SITUATED WITHIN SECTION 8, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

2274 WYOMING BOULEVARD NE
ALBUQUERQUE, NM



UNIT # 03484



VICINITY MAP

NTS

LEGAL DESCRIPTION

PARCEL NUMBERED THREE (3), AMENDED SUMMARY PLAT OF THE WYOMING MALL, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 12, 1978, IN PLOT BOOK D8, PAGE 163 AND RE-RECORDED OCTOBER 18, 1978, IN PLOT BOOK D9, PAGE 11.

PROJECT CONTACTS

DEVELOPER

CHICK-FIL-A, INC.
15635 ALTON PKWY.,
IRVINE, CA 92618-2732
(949) 305-4407
CONTACT: MR. DON IKELER
EMAIL: DON.IKELER@CHICK-FIL-A.COM

CIVIL ENGINEER

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
(303) 751-0741
CONTACT: MR. TROY KELTS
EMAIL: TROY.KELTS@MERRICK.COM

LANDSCAPE ARCHITECT

NATURAL DESIGN SOLUTIONS, INC.
1470 MILLBROOK CT.
CASTLE ROCK, CO 80109
CONTACT: NEIL McLANE
(303) 663-1654

SITE ARCHITECT

C.R.H.O. ARCHITECTS
195 SOUTH "C" STREET 200
TURSTIN, CA 92780
(714) 832-1834
CONTACT: KIMANH NGUYEN
EMAIL: KIMANH@CRHO.COM

PLANNING DEPARTMENT

CITY OF ALBUQUERQUE ZONING ENFORCEMENT
600 2ND STREET N.W., ALBUQUERQUE, NM 87102
CONTACT: MR. DAVID KILPATRICK
(505) 924-3838
EMAIL: DAKILPATRICK@CABQ.GOV

SURVEY

SURV-TEK, INC.
9384 VALLEY VIEW DRIVE N.W. ALBUQUERQUE, NM 87114
CONTACT: MR. RUSS P. HUGG
505-897-3366

ELECTRIC

PNM
421 EDITH BLVD NE, ALBUQUERQUE, NM 87107
CONTACT: MR. MICHAEL MOYER
(505) 241-3697
EMAIL: MICHAEL.MOYER@PNM.COM

TELEPHONE/ CABLE/ INTERNET

QWEST
400 TIJERAS AVE NW, ALBUQUERQUE, NM 87102
CONTACT: MR. RICHARD REDMAN
(505) 245-6098
EMAIL: RICHARD.REDMAN@QWEST.COM

ROAD/ R.O.W. DESIGN

CITY OF ALBUQUERQUE DIVISION OF BUILDING SERVICES
600 2ND STREET NW, ALBUQUERQUE, NM 87102
CONTACT: MR. TONY LLOYD
(505) 924-3924
EMAIL: TLLOYD@CABQ.GOV

SANITARY SEWER / WATER

ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
600 2ND STREET, ROOM 200, ALBUQUERQUE, NM 87102
CONTACT: MR. ALLAN PORTER
(505) 924-3989
EMAIL: APORTER@ABCWUA.ORG

STORM DRAINAGE

CITY OF ALBUQUERQUE DIVISION OF BUILDING SERVICES
600 2ND STREET NW, ALBUQUERQUE, NM 87102
CONTACT: MR. CURTIS CHERNE
(505) 924-3695
EMAIL: CCHERNE@CABQ.GOV

GAS

NEW MEXICO GAS COMPANY
1109 RIO RANCHO BLVD, SE, ALBUQUERQUE, NM 87124
CONTACT: MR. JOE HERRERA
(505) 891-6995
EMAIL: JOE.HERRERA@NMGCO.COM

BASIS OF BEARINGS

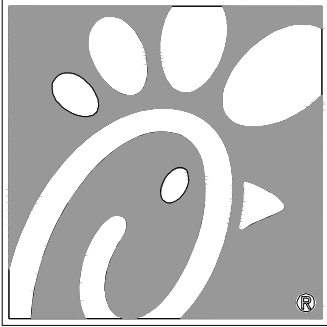
BEARING ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE - NAD83.

BENCHMARK

VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK
14-H20", ELEVATION = 5415.798' (NAVD 1988)

SHEET INDEX

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PS-1.0	UTILITY PLAN
C-3.0	GRADING
C-3.2	DRAINAGE PLAN
C-3.3	STORM SEWER PLAN & PROFILE
C-3.4	EROSION CONTROL PLAN
C-4.0	PRIVATE CHICK-FIL-A STANDARD DETAILS
C-4.1	PRIVATE CHICK-FIL-A STANDARD DETAILS
C-4.2	PRIVATE CHICK-FIL-A STANDARD DETAILS
C-5.0	CIVIL DETAILS
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L-3.1	LANDSCAPE SPECIFICATIONS
IR-1.0	IRRIGATION PLAN
IR-2.0	IRRIGATION DETAILS
IR-3.0	IRRIGATION SPECIFICATIONS



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark	Date	By
1	02/09/2015	

Mark	Date	By
△		

Mark	Date	By
△		

Seal



STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

COVER

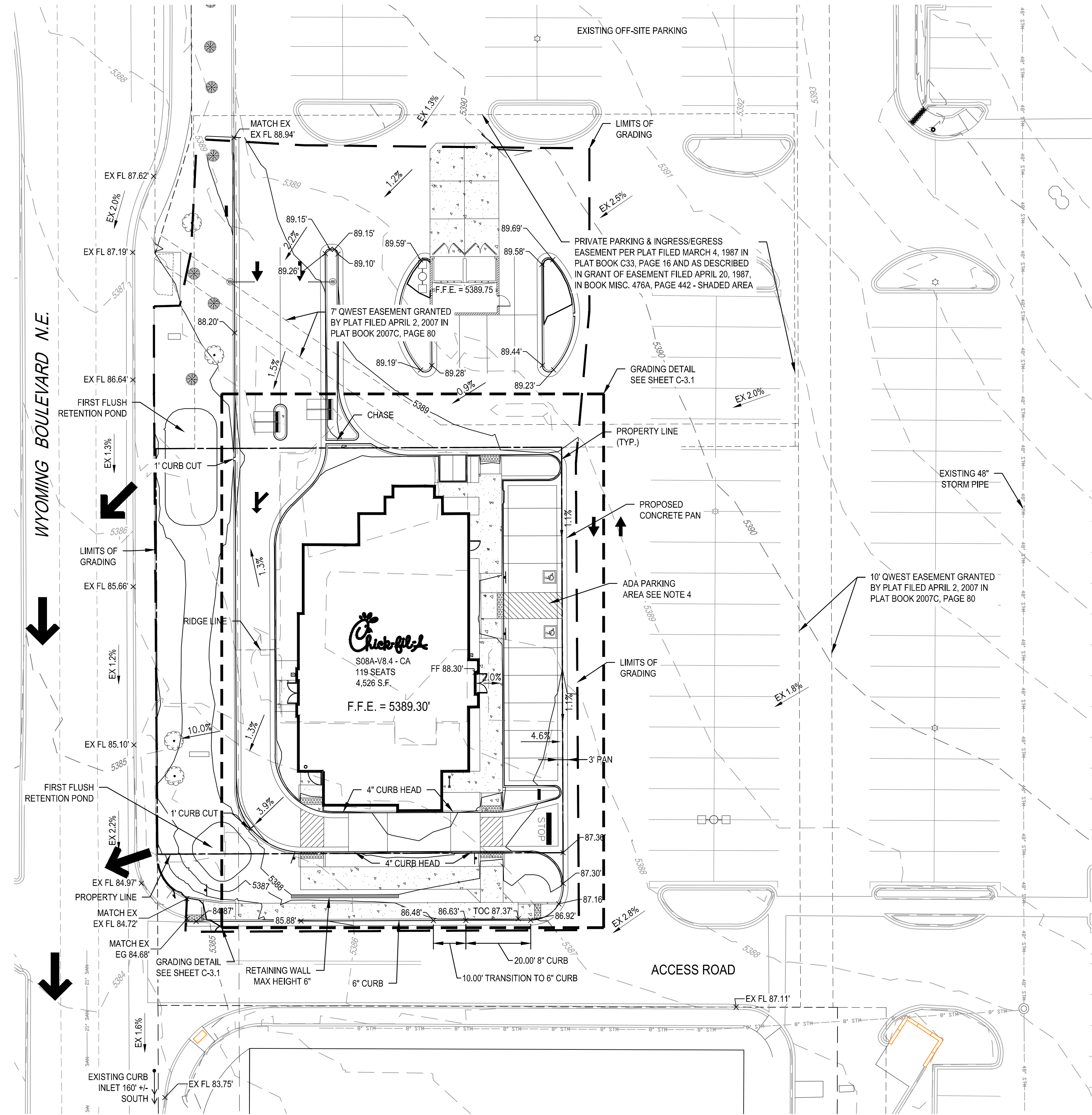
VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

Sheet

C-0.0





LEGEND:

	LIMITS OF GRADING
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
FL 69.41' x	FLOWLINE SPOT ELEVATION
FF 70.50' x	FINISHED FLOOR SPOT ELEVATION
FG 70.39' x	FINISHED GRADE SPOT ELEVATION
TC 70.50' x	TOP OF CURB SPOT ELEVATION
EG 69.57' x	EXISTING GRADE SPOT ELEVATION
EX FL 70.18' x	EXISTING FLOWLINE SPOT ELEVATION
	PROPOSED SLOPE ARROWS
	EXISTING SLOPE ARROWS
	EMERGENCY OVERFLOW PATHWAY

NOTES

1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
2. ALL ELEVATIONS SHOWN ARE 53XX.XX'
3. ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
4. ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
5. REFER TO PS-1.0 - UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
6. CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
7. ALL CURB TO BE 6" UNLESS SPECIFIED OTHERWISE
8. TRANSITION FROM 4" CURB HEAD TO 6" CURB HEAD IN THIS AREA
9. REFER TO DN-1.0 FOR DEVELOPED DRAINAGE MAP

DRAINAGE NARRATIVE DESCRIPTION

THE SITE IS CURRENTLY A BANK WITH LANDSCAPE ISLANDS SEPARATING WYOMING BLVD FROM THE BUILDING. THE SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST TOWARDS WYOMING BLVD. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 3%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS OVER THE SIDEWALK IN THE SOUTHWEST CORNER INTO WYOMING BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE. AN EXISTING INLET IS LOCATED IN WYOMING BLVD APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. THE PROPOSED SITE WILL FLOW FROM THE NORTHEAST TO THE SOUTHWEST. THE SITE AREA LOCATED NORTH OF THE BUILDING WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE LOCATED WITHIN THE DRIVE-THRU. THE CURB CHASE WILL DIRECT RUNOFF INTO THE NORTHERN RETENTION POND. THE NORTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE NORTHERN SIDE OF THE PROPERTY. THIS DOES NOT INCLUDE THE OFFSITE AREA THAT WILL DRAIN THROUGH THE PROPOSED SITE. THE POND IS SIZED TO RETAIN 345 CUBIC FEET (THE FIRST 0.34" FROM 0.28 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE SOUTHERN PORTION OF THE SITE WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE. THE CURB CHASE WILL DIRECT RUNOFF INTO THE SOUTHERN RETENTION POND. THE SOUTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE SOUTHERN SIDE OF THE PROPERTY. THE POND IS SIZED TO RETAIN 115 CUBIC FEET (THE FIRST 0.34" FROM 0.092 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE EASTERN PORTION OF THE SITE WILL SHEET FLOW TOWARDS A PAN, WHERE IT WILL THEN FLOW INTO THE SHARED ACCESS DRIVE LOCATED SOUTH OF THE BUILDING. ALL DEVELOPED RUNOFF THAT ENTERS WYOMING BOULEVARD WILL FLOW TO AN EXISTING INLET LOCATED APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark	Date	By
1	02/09/2015	

Mark Date By
△

Mark Date By
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Seal

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303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

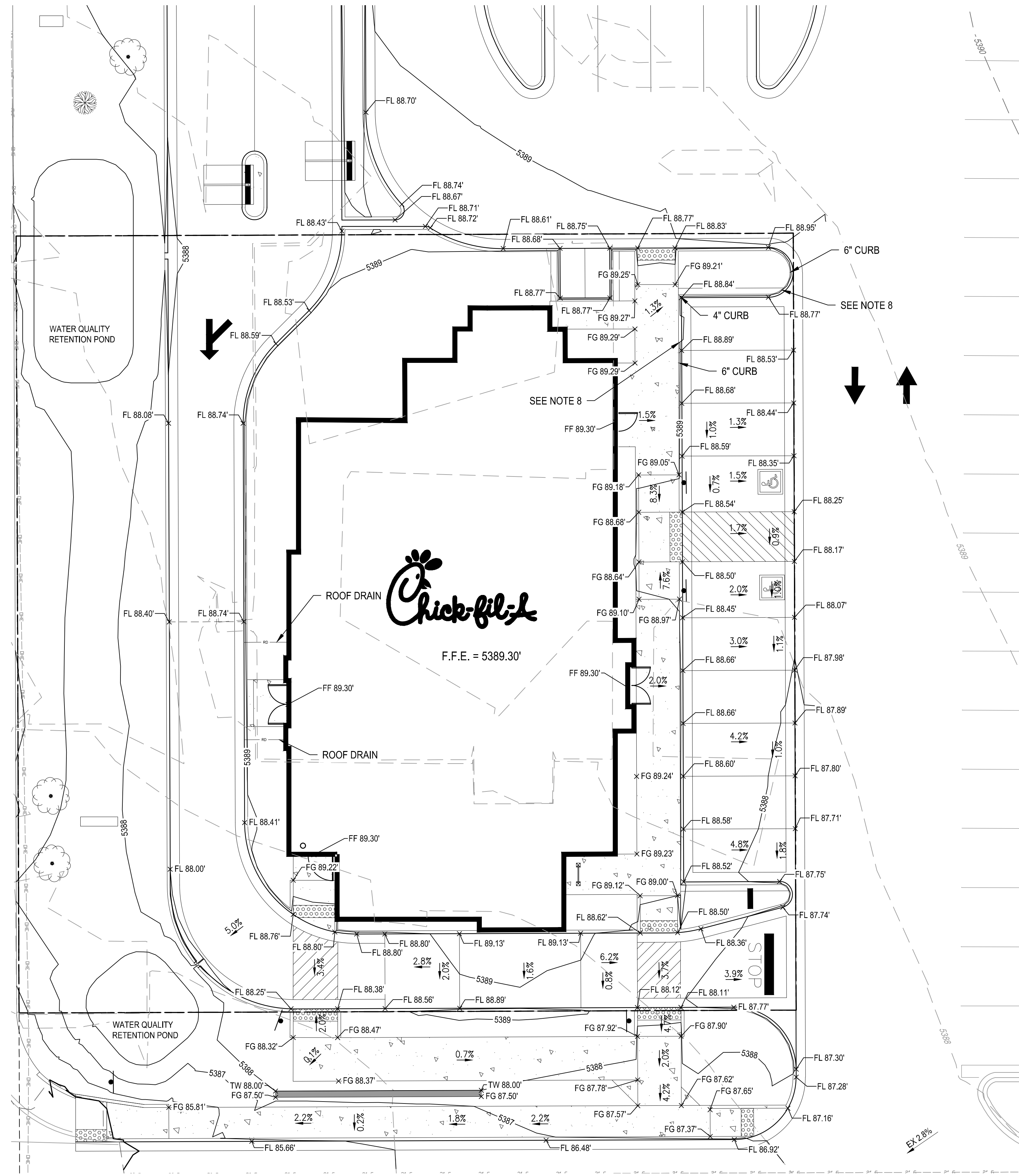
GRADING PLAN

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
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Drawn By : JD
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Sheet

C-3.0

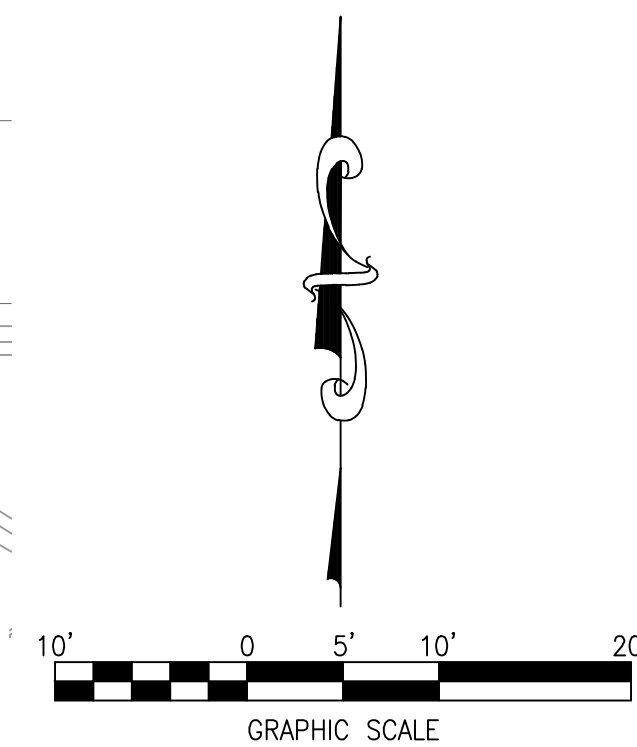


LEGEND:

	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	FLOWLINE SPOT ELEVATION
	FINISHED FLOOR SPOT ELEVATION
	FINISHED GRADE SPOT ELEVATION
	TOP OF CURB SPOT ELEVATION
	EXISTING GRADE SPOT ELEVATION
	EXISTING FLOWLINE SPOT ELEVATION
	PROPOSED SLOPE ARROWS
	EXISTING SLOPE ARROWS
	EMERGENCY OVERFLOW PATHWAY

NOTES

1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
2. ALL ELEVATIONS SHOWN ARE 53XX.XX'
3. ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
4. ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
5. REFER TO SHEET 4 - UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
6. CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
7. ALL CURB TO BE 6" UNLESS SPECIFIED OTHERWISE
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Chick-fil-A

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Atlanta, Georgia
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Revisions:	Mark	Date	By
	1	02/09/2015	

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GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

GRADING
DETAIL

VERSION: H-V2
ISSUE DATE: 11-2014

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Store : 03484

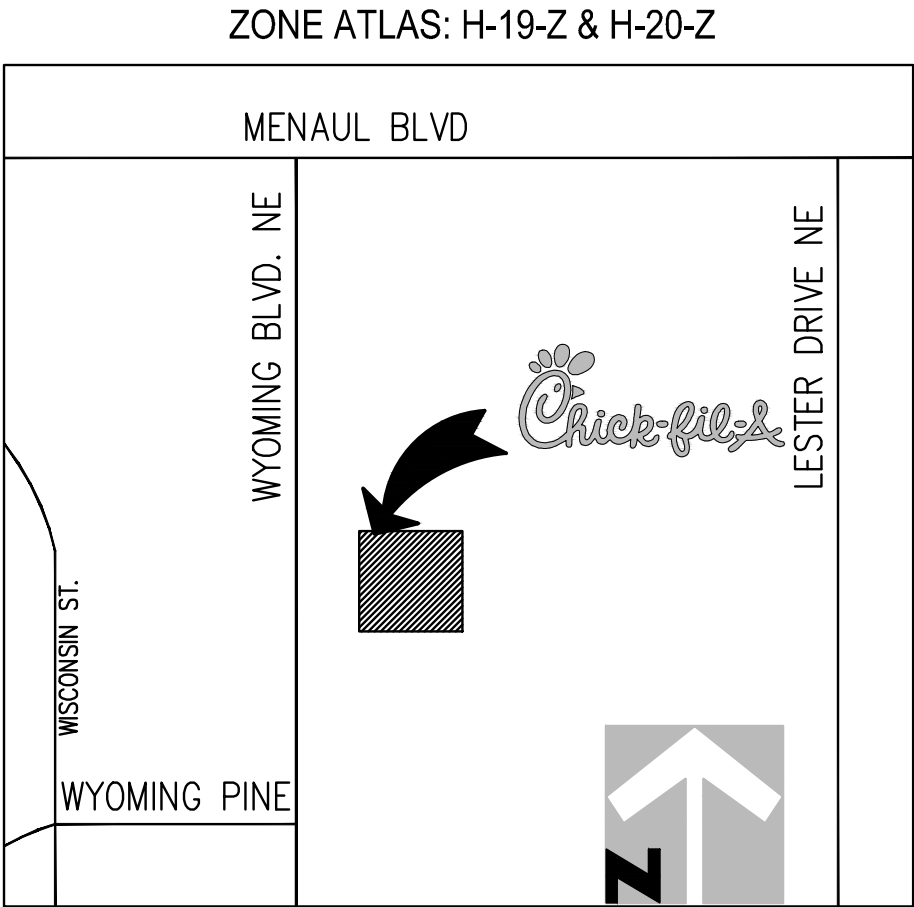
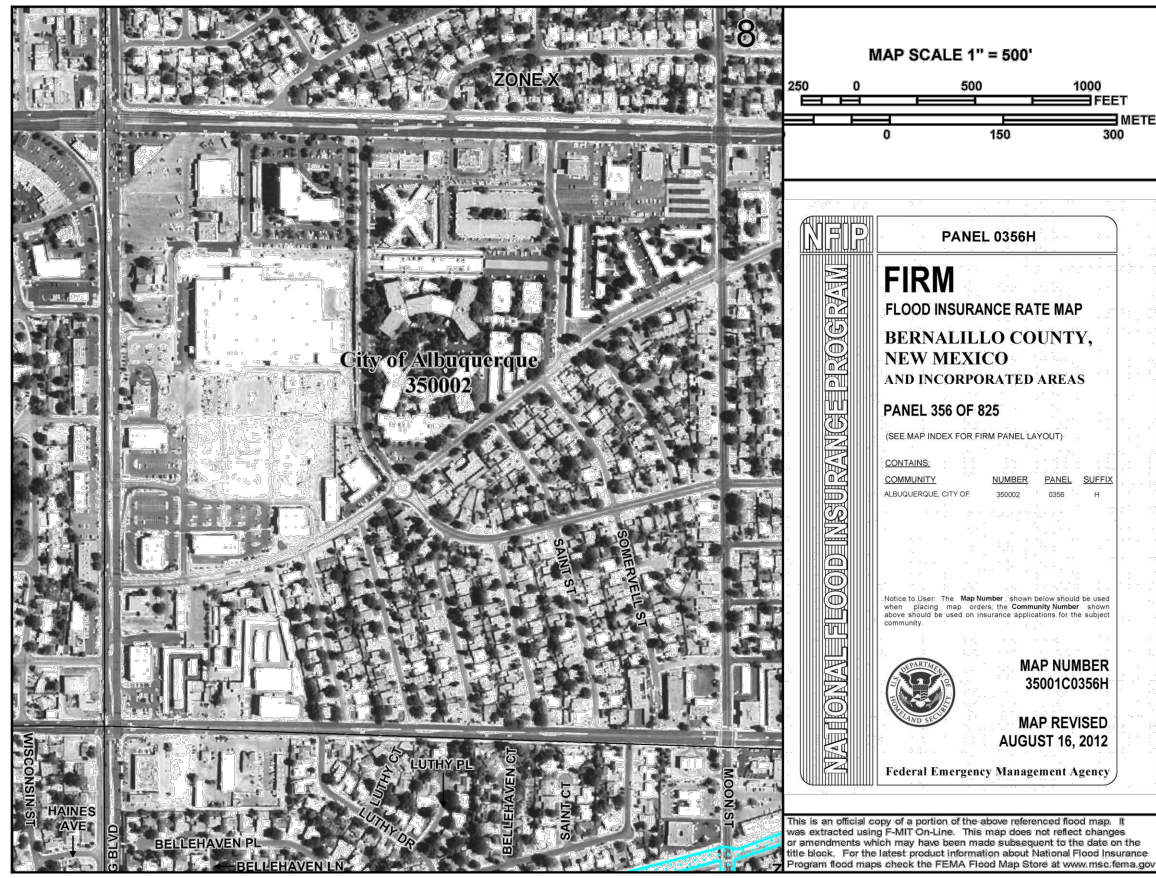
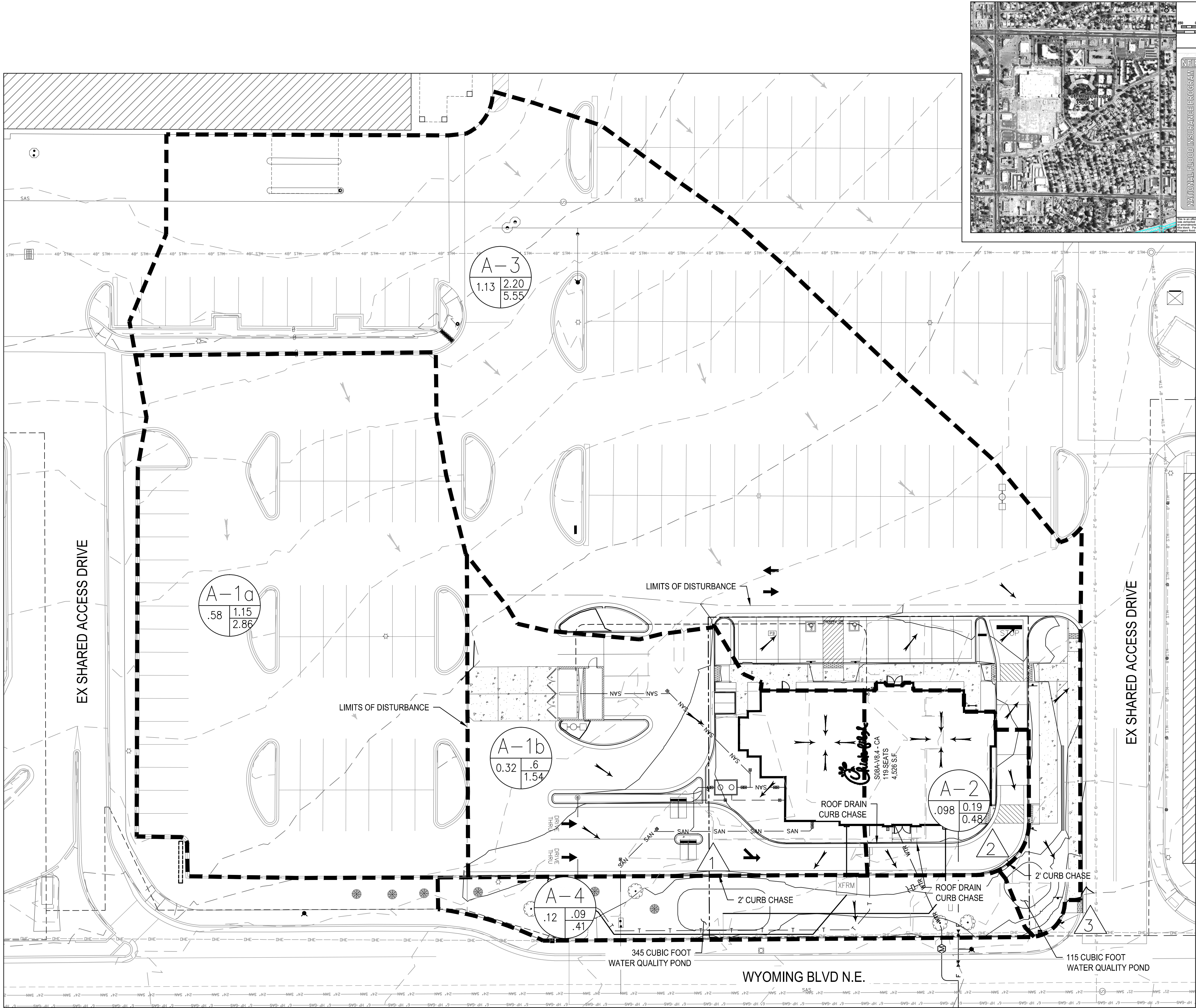
Date : 03/18/15

Drawn By : JD

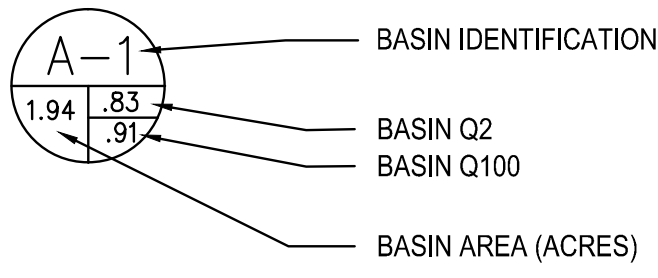
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Sheet

C-3.1



- LEGEND:**
- 5555 PROPOSED MAJOR CONTOUR
 - 5555 PROPOSED MINOR CONTOUR
 - 5555 - EXISTING MAJOR CONTOUR
 - 5555 - EXISTING MINOR CONTOUR
 - FLOW ARROWS
 - OFFSITE FLOW ARROWS
 - PROPERTY LINE
 - - - DRAINAGE BASIN BOUNDARY LINE
 - △1 DESIGN POINT



Land Treatment (ac)				
Basin	A	B	C	D
A-1a	0	0	0.03	0.55
A-1b	0	0	0.04	0.28
A-2	0	0	0.006	0.092
A-3	0	0	0.08	1.05
A-4	0	0	0.12	0

Developed Runoff Summary Table					
	A-1a	A-1b	A-2	A-3	A-4
100 YR PEAK RUNOFF (cfs)	2.86	1.54	0.48	5.55	0.41
10 YR PEAK RUNOFF (cfs)	1.92	1.03	0.32	3.72	0.24
2 YEAR PEAK RUNOFF (cfs)	1.15	0.60	0.19	2.20	0.09

DRAINAGE NARRATIVE DESCRIPTION
THE SITE IS CURRENTLY A BANK WITH LANDSCAPE ISLANDS SEPARATING WYOMING BLVD FROM THE BUILDING. THE SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST TOWARDS WYOMING BLVD. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 3%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS OVER THE SIDEWALK IN THE SOUTHWEST CORNER INTO WYOMING BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE. AN EXISTING INLET IS LOCATED IN WYOMING BLVD APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. THE PROPOSED SITE WILL FLOW FROM THE NORTHEAST TO THE SOUTHWEST. THE SITE AREA LOCATED NORTH OF THE BUILDING WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE LOCATED WITHIN THE DRIVE-THRU. THE CURB CHASE WILL DIRECT RUNOFF INTO THE NORTHERN RETENTION POND. THE NORTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE NORTHERN SIDE OF THE PROPERTY. THIS DOES NOT INCLUDE THE OFFSITE AREA THAT WILL DRAIN THROUGH THE PROPOSED SITE. THE POND IS SIZED TO RETAIN 345 CUBIC FEET (THE FIRST 0.34" FROM 0.28 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE SOUTHERN PORTION OF THE SITE WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE. THE CURB CHASE WILL DIRECT RUNOFF INTO THE SOUTHERN RETENTION POND. THE SOUTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE SOUTHERN SIDE OF THE PROPERTY. THE POND IS SIZED TO RETAIN 115 CUBIC FEET (THE FIRST 0.34" FROM 0.092 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE EASTERN PORTION OF THE SITE WILL SHEET FLOW TOWARDS A PAN, WHERE IT WILL THEN FLOW INTO THE SHARED ACCESS DRIVE LOCATED SOUTH OF THE BUILDING. ALL DEVELOPED RUNOFF THAT ENTERS WYOMING BOULEVARD WILL FLOW TO AN EXISTING INLET LOCATED APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.

- SHEET REFERENCES**
- REFER TO SHEET PS-1.0 FOR UTILITY LOCATION AND CONNECTION DETAILS.
 - REFER TO SHEET C-3.0 & C-3.1 FOR SITE GRADING DETAILS.
 - REFER TO SHEET C-3.2 FOR EROSION CONTROL PLANS.

LEGAL DESCRIPTION
PARCEL NUMBERED THREE (3), AMENDED SUMMARY PLAT OF THE WYOMING MALL, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 12, 1978, IN PLOT BOOK D8, PAGE 163 AND RE-RECORDED OCTOBER 18, 1978, IN PLOT BOOK D9, PAGE 11.



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Revisions:
Mark Date By
△1 02/09/2015

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Seal

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303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

DRAINAGE MAP

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
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Drawn By : JD
Checked By: TDK

Sheet
DN-1.0