

LEGEND:

| | |
|----------------|----------------------------------|
| FL 69.41' x | LIMITS OF GRADING |
| FF 70.50' x | PROPOSED MAJOR CONTOUR |
| FG 70.39' x | PROPOSED MINOR CONTOUR |
| TC 70.50' x | EXISTING MAJOR CONTOUR |
| EG 69.57' x | EXISTING MINOR CONTOUR |
| EX FL 70.18' x | FLOWLINE SPOT ELEVATION |
| 1.1% | FINISHED FLOOR SPOT ELEVATION |
| EX 0.5% | FINISHED GRADE SPOT ELEVATION |
| | TOP OF CURB SPOT ELEVATION |
| | EXISTING GRADE SPOT ELEVATION |
| | EXISTING FLOWLINE SPOT ELEVATION |
| | PROPOSED SLOPE ARROWS |
| | EXISTING SLOPE ARROWS |
| | EMERGENCY OVERFLOW PATHWAY |

- NOTES**
- REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
 - ALL ELEVATIONS SHOWN ARE 53XX.XX'
 - ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
 - ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
 - REFER TO PS-1.0 - UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
 - CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
 - ALL CURB TO BE 6" UNLESS SPECIFIED OTHERWISE
 - TRANSITION FROM 4" CURB HEAD TO 6" CURB HEAD IN THIS AREA
 - REFER TO DN-1.0 FOR DEVELOPED DRAINAGE MAP

DRAINAGE NARRATIVE DESCRIPTION

THE SITE IS CURRENTLY A BANK WITH LANDSCAPE ISLANDS SEPARATING WYOMING BLVD FROM THE BUILDING. THE SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST TOWARDS WYOMING BLVD. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 3%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS OVER THE SIDEWALK IN THE SOUTHWEST CORNER INTO WYOMING BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE. AN EXISTING INLET IS LOCATED IN WYOMING BLVD APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

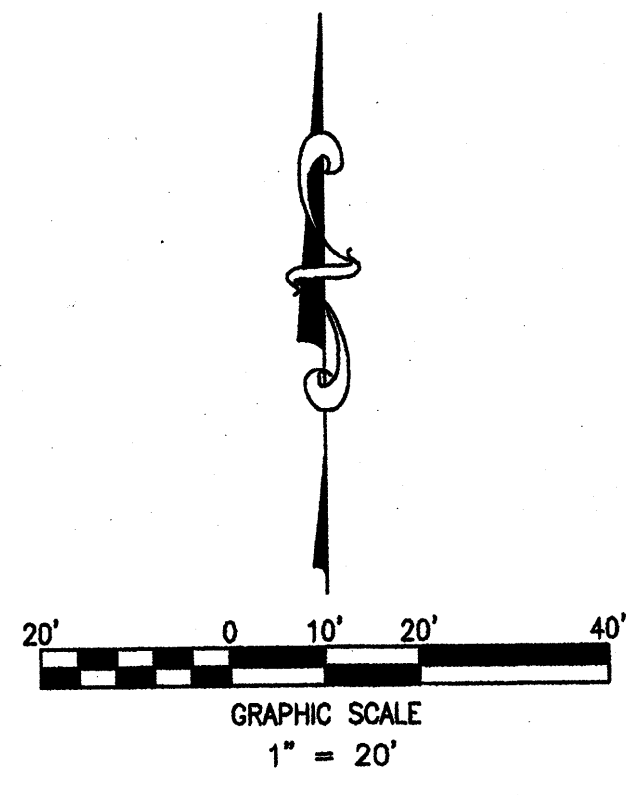
THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. THE PROPOSED SITE WILL FLOW FROM THE NORTHEAST TO THE SOUTHWEST. THE SITE AREA LOCATED NORTH OF THE BUILDING WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE LOCATED WITHIN THE DRIVE-THRU. THE CURB CHASE WILL DIRECT RUNOFF INTO THE NORTHERN RETENTION POND. THE NORTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE NORTHERN SIDE OF THE PROPERTY. THIS DOES NOT INCLUDE THE OFFSITE AREA THAT WILL DRAIN THROUGH THE PROPOSED SITE. THE POND IS SIZED TO RETAIN 346 CUBIC FEET (THE FIRST 0.34" FROM 0.28 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE SOUTHERN PORTION OF THE SITE WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE. THE CURB CHASE WILL DIRECT RUNOFF INTO THE SOUTHERN RETENTION POND. THE SOUTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE SOUTHERN SIDE OF THE PROPERTY. THE POND IS SIZED TO RETAIN 115 CUBIC FEET (THE FIRST 0.34" FROM 0.082 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE EASTERN PORTION OF THE SITE WILL SHEET FLOW TOWARDS A PAN, WHERE IT WILL THEN FLOW INTO THE SHARED ACCESS DRIVE LOCATED SOUTH OF THE BUILDING. ALL DEVELOPED RUNOFF THAT ENTERS WYOMING BOULEVARD WILL FLOW TO AN EXISTING INLET LOCATED APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.

SURVEYOR'S CERTIFICATE

I, Andrew S. Medina, a duly qualified Licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision that the "as-built" information shown on these drawings was added by me or under my supervision; and that this "as-built" information is true and correct to the best of my knowledge and belief. I am not responsible for any errors or omissions in concepts, calculations, engineering, or intent of the drawings.

Andrew S. Medina, NPS 12649



SANDIA LAND SURVEYING LLC
 15 CASA TIENENOS PLANTAS
 N.M. 87043
 505-259-8130

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Revisions:

| Mark | Date | By |
|------|------------|-------------|
| 2 | 04/01/2015 | OWNER REV |
| 3 | 05/01/2015 | AGENCY REV. |
| 4 | 06/05/2015 | WASTE REV. |

For and on Behalf of
Merrick & Company

MERRICK & COMPANY
 5970 GREENWOOD PLAZA BLVD
 GREENWOOD VILLAGE, CO 80111
 303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

GRADING PLAN

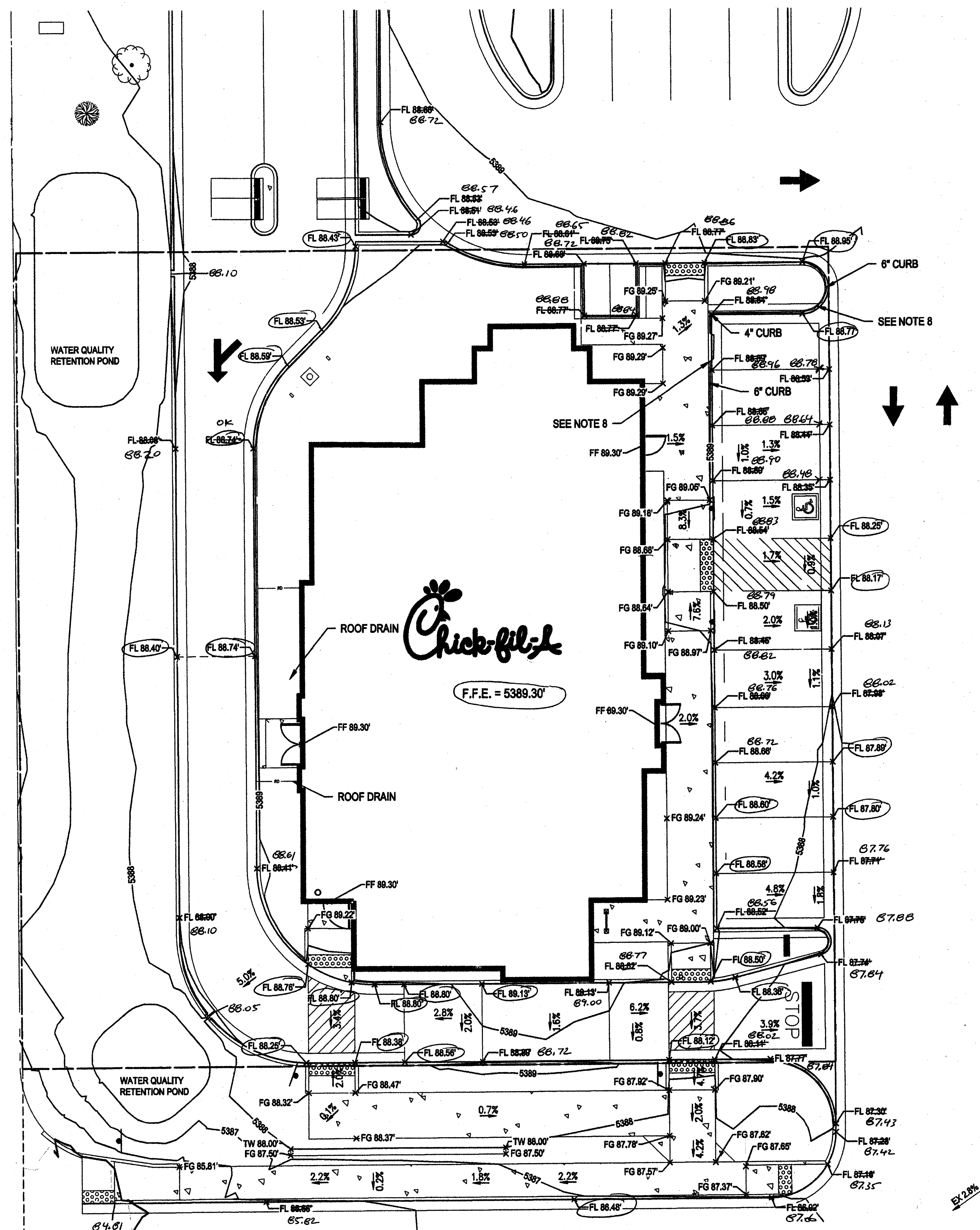
VERSION: H-V2
 ISSUE DATE: 11-2014

Job No. : 65118374
 Store : 03484
 Date : 03/18/15
 Drawn By : JD
 Checked By : TDK

Sheet

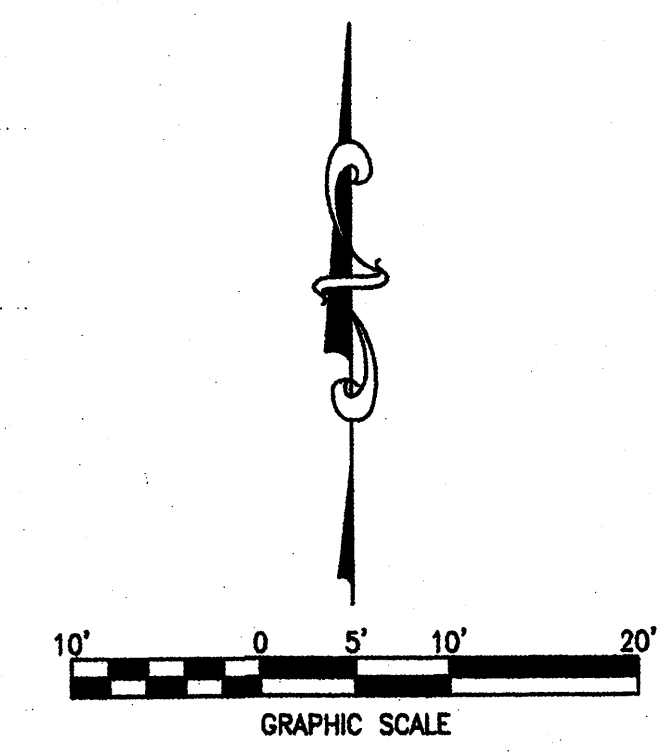
C-3.0

Survey Record Document



- LEGEND:**
- 5470 — PROPOSED MAJOR CONTOUR
 - 5480 — PROPOSED MINOR CONTOUR
 - 5470 — EXISTING MAJOR CONTOUR
 - 5470 — EXISTING MINOR CONTOUR
 - FL 68.41' x FLOWLINE SPOT ELEVATION
 - FF 70.50' x FINISHED FLOOR SPOT ELEVATION
 - FG 70.39' x FINISHED GRADE SPOT ELEVATION
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 - 1.1% PROPOSED SLOPE ARROWS
 - 0.5% EXISTING SLOPE ARROWS
 - ← EMERGENCY OVERFLOW PATHWAY

- NOTES**
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Seal

For and on Behalf of
Merrick & Company

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-781-0741

STORE
WYOMING BOULEVARD FSU
SOBH-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

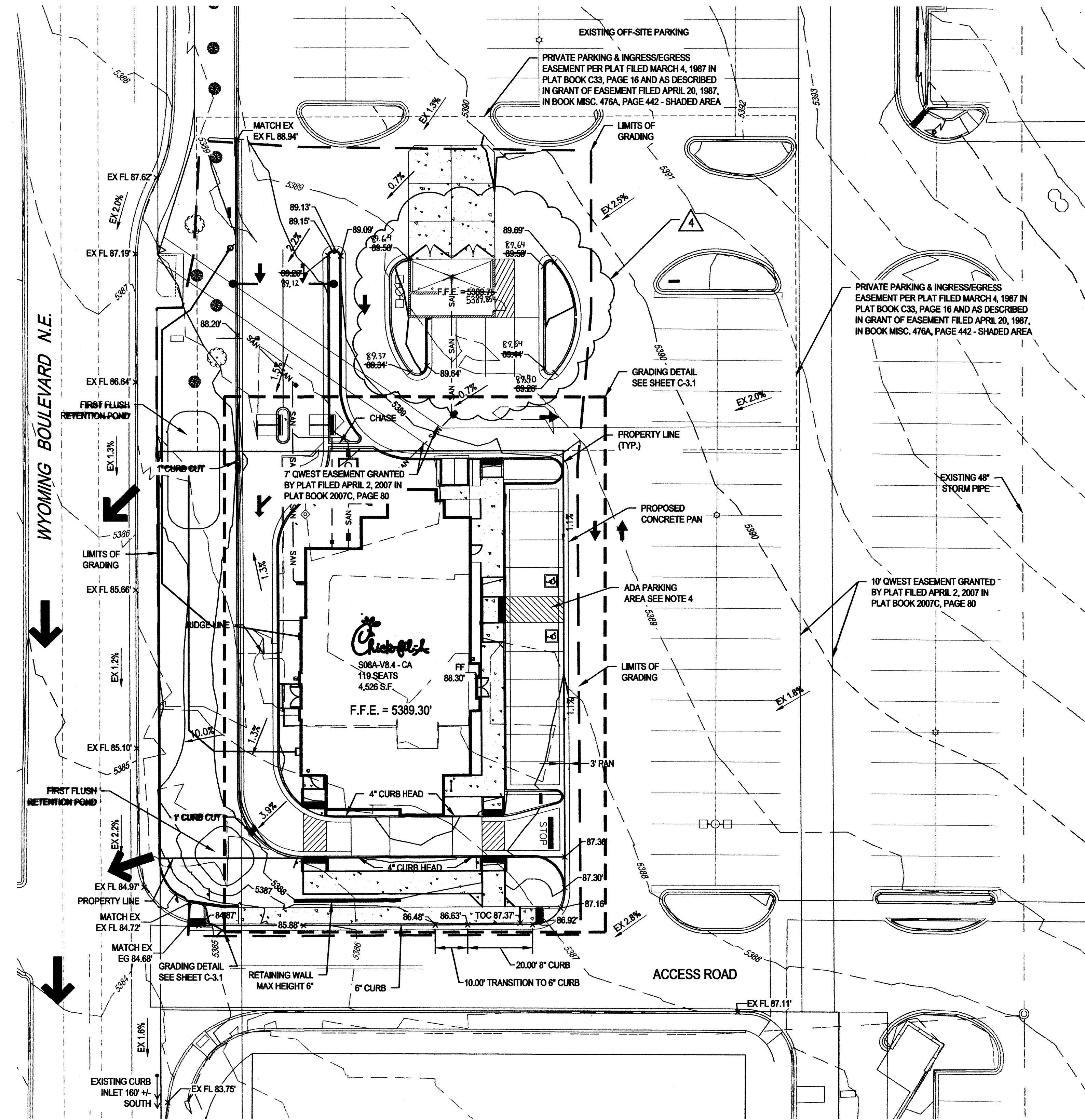
SHEET TITLE
**GRADING
DETAIL**

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

Sheet
C-3.1

Survey Record Document



LEGEND:

| | |
|----------------|----------------------------------|
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| --- | EXISTING MAJOR CONTOUR |
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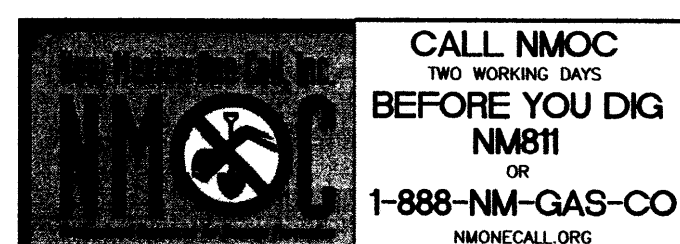
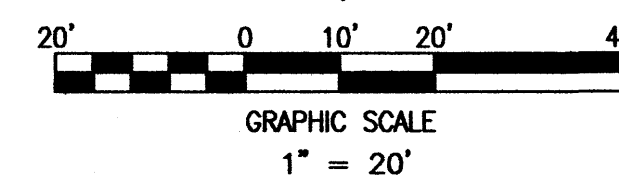
THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

I, TROY D. KELTS, NMPE 22102, OF FIRM, MERRICK & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT. THE APPROVED PLAN DATE MARCH 18TH, 2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANDREW S. MEDINA, NMPS 12849 OF THE FIRM SANDIA LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 9TH, 2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENTS ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

TROY D. KELTS
NEW MEXICO
22102
PROFESSIONAL SURVEYOR
12/9/15
DATE



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

| Mark | Date | By |
|------|------------|-------------|
| 2 | 04/01/2015 | OWNER REV |
| 3 | 05/01/2015 | AGENCY REV. |
| 4 | 06/05/2015 | WASTE REV. |

Seal

TROY D. KELTS
NEW MEXICO
22102
PROFESSIONAL SURVEYOR
06/23/15
For and on Behalf of
Merrick & Company

MERRICK & COMPANY
9970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

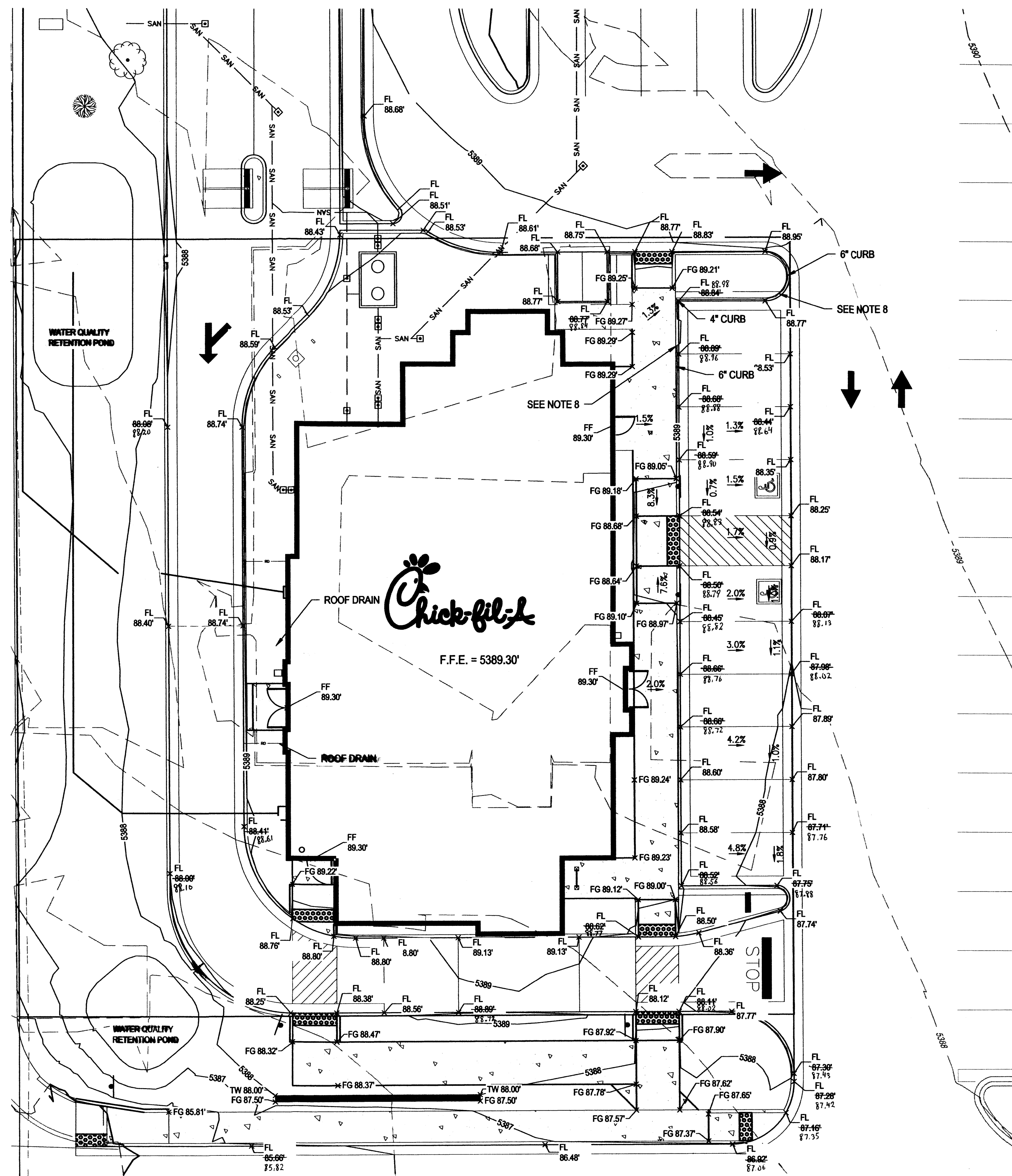
SHEET TITLE

GRADING PLAN

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By : TDK
Sheet

C-3.0

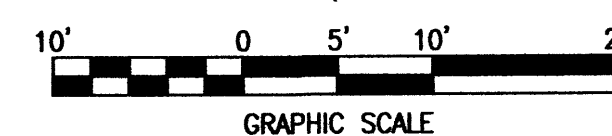


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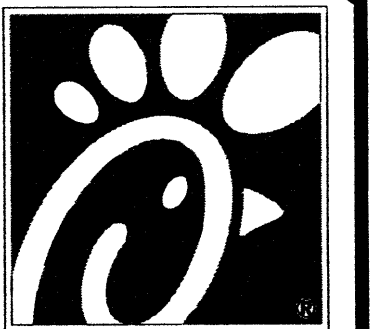
| | |
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| — 5470 — | PROPOSED MAJOR CONTOUR |
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NOTES

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RECORD DOCUMENTS



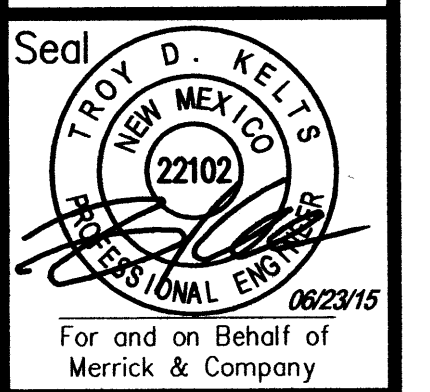
Chick-fil-A

5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
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2 04/01/2015
OWNER REV

Mark Date By
3 05/01/2015
AGENCY REV.

Mark Date By
4 06/05/2015
WASTE REV.



For and on Behalf of
Merrick & Company

MERRICK & COMPANY
5070 GREENWOOD PLAZA, BLDG. 80111
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
508H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

GRADING
DETAIL

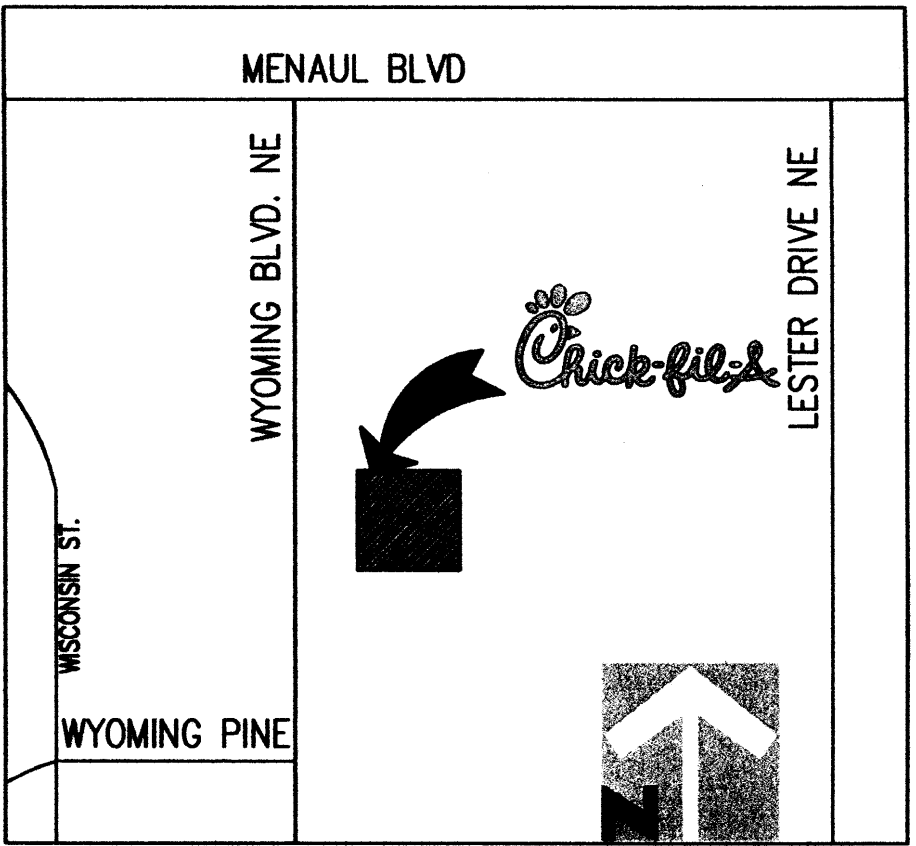
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Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

Sheet

C-3.1





LEGEND:

- 5555 PROPOSED MAJOR CONTOUR
- 5555 PROPOSED MINOR CONTOUR
- 5555 EXISTING MAJOR CONTOUR
- 5555 EXISTING MINOR CONTOUR
- FLOW ARROWS
- OFFSITE FLOW ARROWS
- PROPERTY LINE
- DRAINAGE BASIN BOUNDARY LINE
- DESIGN POINT

- A-1 BASIN IDENTIFICATION
- A-1 BASIN Q2
- A-1 BASIN Q100
- A-1 BASIN AREA (ACRES)

| Basin | Land Treatment (ac) | | | |
|-------|---------------------|---|-------|-------|
| | A | B | C | D |
| A-1a | 0 | 0 | 0.03 | 0.55 |
| A-1b | 0 | 0 | 0.04 | 0.28 |
| A-2 | 0 | 0 | 0.006 | 0.092 |
| A-3 | 0 | 0 | 0.08 | 1.05 |
| A-4 | 0 | 0 | 0.12 | 0 |

| Developed Runoff Summary Table | | | | | |
|--------------------------------|------|------|------|------|------|
| | A-1a | A-1b | A-2 | A-3 | A-4 |
| 100 YR PEAK RUNOFF (cfs) | 2.86 | 1.54 | 0.48 | 5.55 | 0.41 |
| 10 YR PEAK RUNOFF (cfs) | 1.92 | 1.03 | 0.32 | 3.72 | 0.24 |
| 2 YEAR PEAK RUNOFF (cfs) | 1.15 | 0.60 | 0.19 | 2.20 | 0.09 |

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- SHEET REFERENCES**
- REFER TO SHEET PS-1.0 FOR UTILITY LOCATION AND CONNECTION DETAILS.
 - REFER TO SHEET C-3.0 & C-3.1 FOR SITE GRADING DETAILS.
 - REFER TO SHEET C-3.2 FOR EROSION CONTROL PLANS.

LEGAL DESCRIPTION
PARCEL NUMBERED THREE (3), AMENDED SUMMARY PLAT OF THE WYOMING MALL, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 12, 1978, IN PLOT BOOK D8, PAGE 163 AND RE-RECORDED OCTOBER 18, 1978, IN PLOT BOOK D9, PAGE 11.



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Seal
TROY D. KELTS
NEW MEXICO
22102
PROFESSIONAL ENGINEER
06/23/15
For and on Behalf of
Merrick & Company

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S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

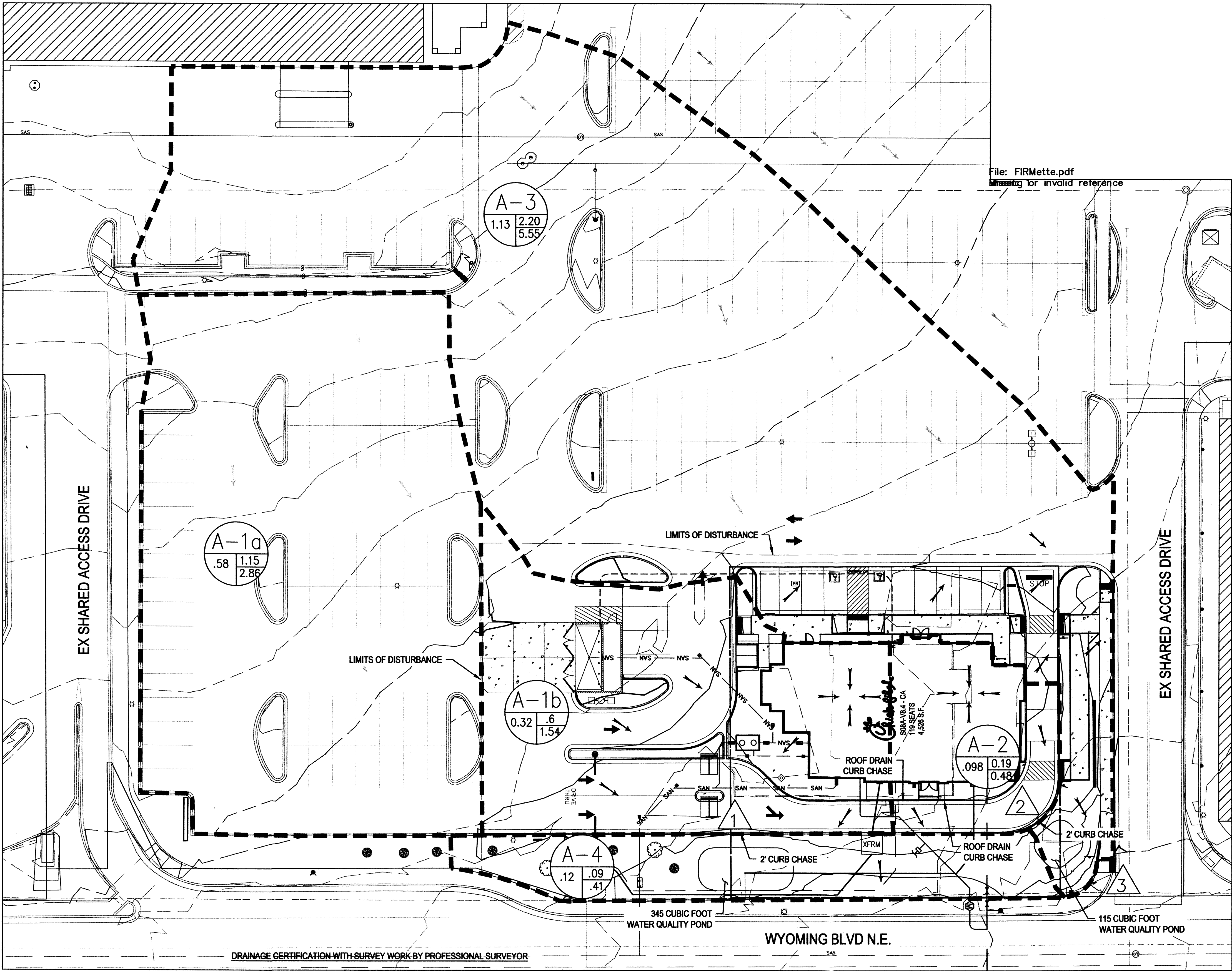
SHEET TITLE

DRAINAGE MAP

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

Sheet
DN-1.0

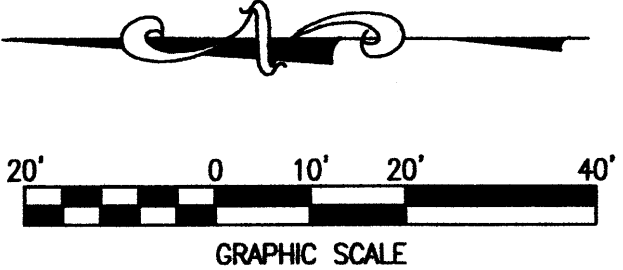


I, TROY D. KELTS, NMPE 22102, OF FIRM, MERRICK & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATE MARCH 18TH, 2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANDREW S. MEDINA, NMPS 12649 OF THE FIRM SANDIA LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 9TH 2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENTS ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

TROY D. KELTS
NEW MEXICO
22102
PROFESSIONAL ENGINEER
12/9/15
DATE

RECORD DOCUMENTS



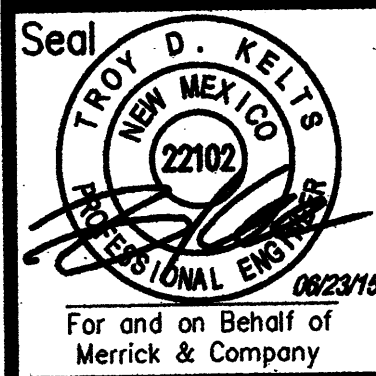


5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By
2 04/01/2015
OWNER REV

Mark Date By
3 05/05/2015
AGENCY REV.

Mark Date By
4 06/05/2015
WASTE REV.



MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

GRADING PLAN

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
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Sheet
C-3.0

| LEGEND: | |
|----------------|----------------------------------|
| --- | LIMITS OF GRADING |
| --- | PROPOSED MAJOR CONTOUR |
| --- | PROPOSED MINOR CONTOUR |
| --- | EXISTING MAJOR CONTOUR |
| --- | EXISTING MINOR CONTOUR |
| FL 69.41' x | FLOWLINE SPOT ELEVATION |
| FF 70.50' x | FINISHED FLOOR SPOT ELEVATION |
| FG 70.39' x | FINISHED GRADE SPOT ELEVATION |
| TC 70.50' x | TOP OF CURB SPOT ELEVATION |
| EG 69.57' x | EXISTING GRADE SPOT ELEVATION |
| EX FL 70.18' x | EXISTING FLOWLINE SPOT ELEVATION |
| 1.1% | PROPOSED SLOPE ARROWS |
| EX 0.5% | EXISTING SLOPE ARROWS |
| ← | EMERGENCY OVERFLOW PATHWAY |

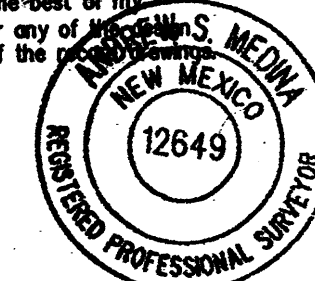
- NOTES
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 7. ALL CURB TO BE 6" UNLESS SPECIFIED OTHERWISE
 8. TRANSITION FROM 4" CURB HEAD TO 6" CURB HEAD IN THIS AREA
 9. REFER TO DN-1.0 FOR DEVELOPED DRAINAGE MAP

DRAINAGE NARRATIVE DESCRIPTION
THE SITE IS CURRENTLY A BANK WITH LANDSCAPE ISLANDS SEPARATING WYOMING BLVD FROM THE BUILDING. THE SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST TOWARDS WYOMING BLVD. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 3%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS OVER THE SIDEWALK IN THE SOUTHWEST CORNER INTO WYOMING BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE. AN EXISTING INLET IS LOCATED IN WYOMING BLVD APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

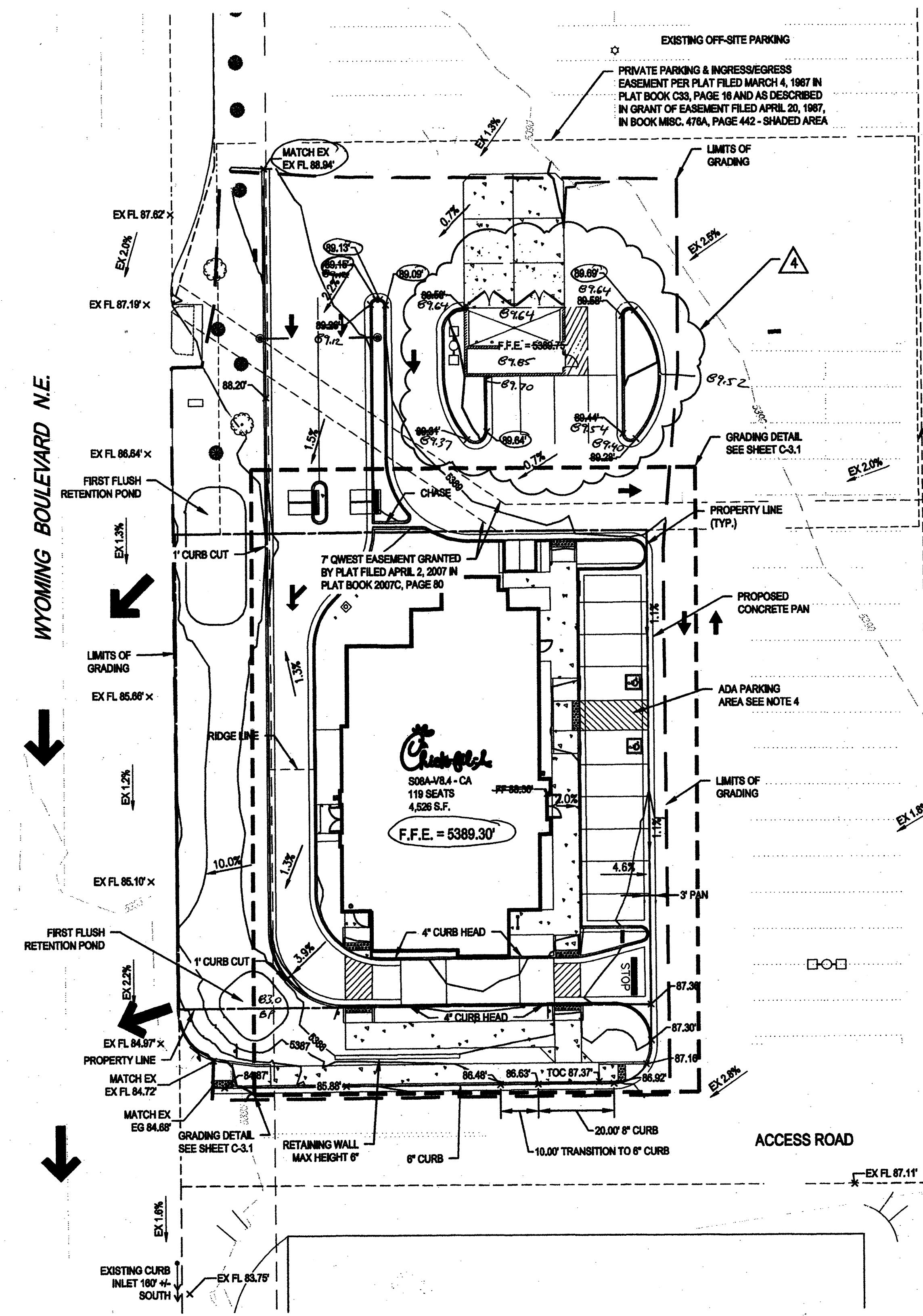
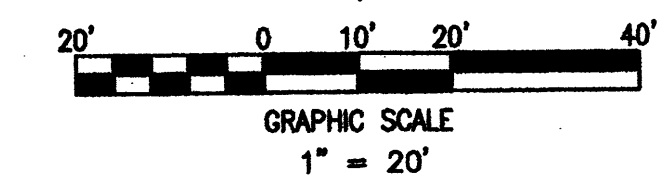
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THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.

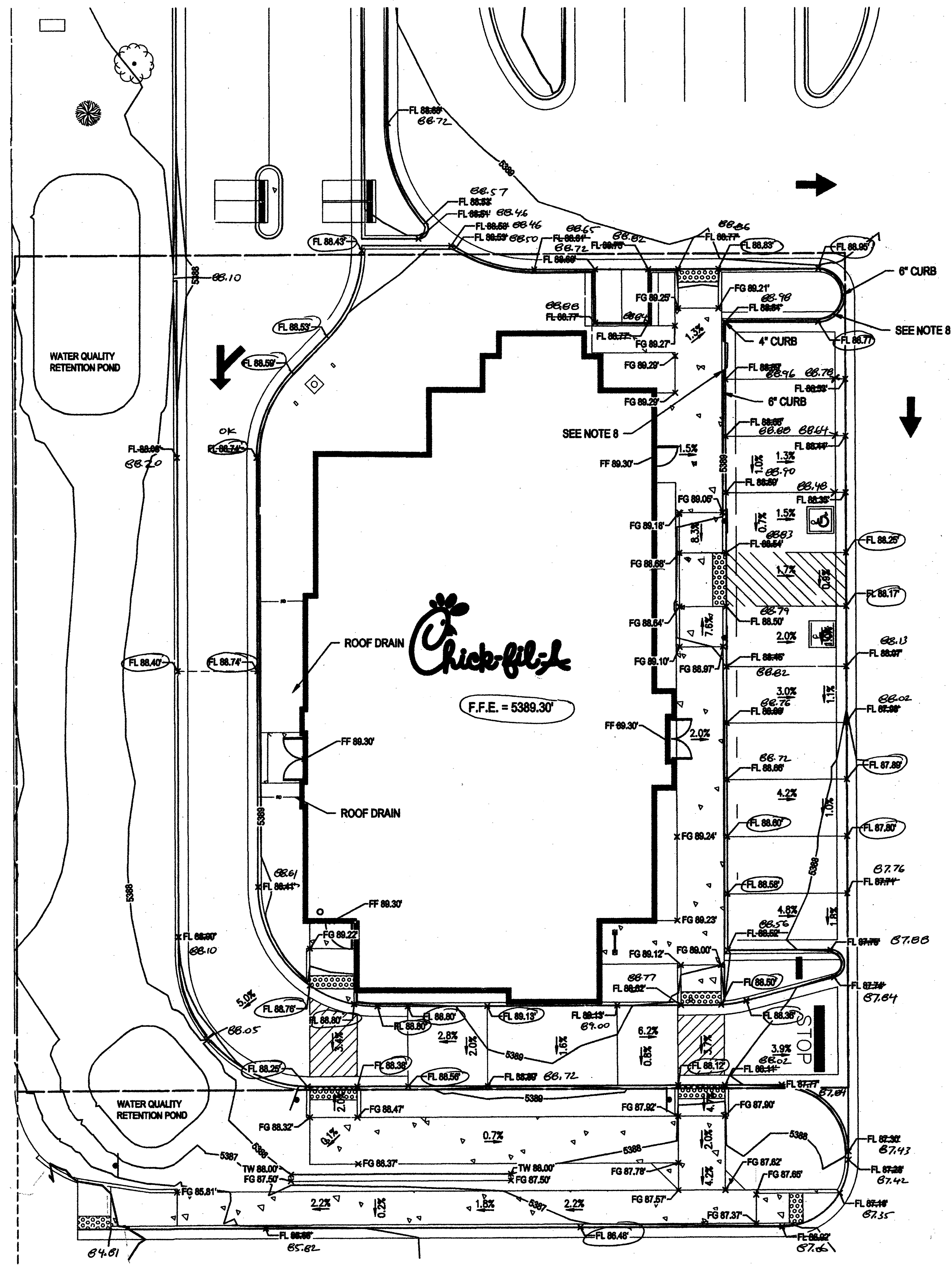
SURVEYOR'S CERTIFICATE
I, Andrew S. Medina, a duly qualified Licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision that the "as built" information shown on these drawings was added by me of under my supervision; and that this "as-built" information is true and correct to the best of my knowledge and belief. I am not responsible for any of the drawings, concepts, calculations, engineering, or intent of the drawings.



SANDIA LAND SURVEYING LLC
15 CASA TIENENOS PLANTAS
N.M. 87043
505-259-8130



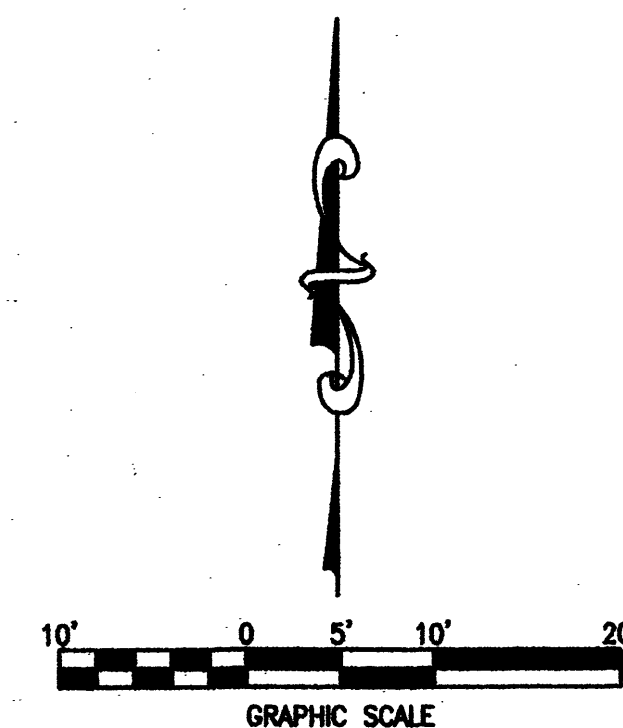
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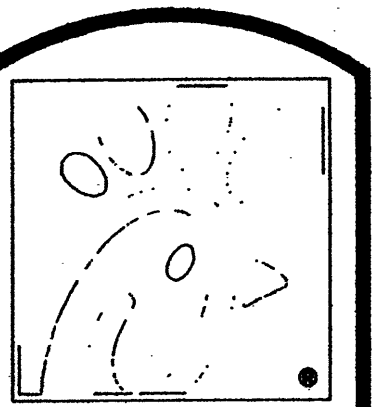
LEGEND:

| | |
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| | PROPOSED MINOR CONTOUR |
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| EX FL 70.18' x | EXISTING FLOWLINE SPOT ELEVATION |
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 Mark Date By
 2 04/01/2015
 OWNER REV

Mark Date By
 3 05/01/2015
 AGENCY REV

Mark Date By
 4 06/05/2015
 WASTE REV

Seal
 TROY D. KELLS
 NEW MEXICO
 22102
 PROFESSIONAL ENGINEER
 082315
 For and on Behalf of
 Merrick & Company

MERRICK & COMPANY
 5970 GREENWOOD PLAZA BLVD
 GREENWOOD VILLAGE, CO 80111
 303-751-0741

STORE
 WYOMING BOULEVARD FSU
 SOBH-A-WC

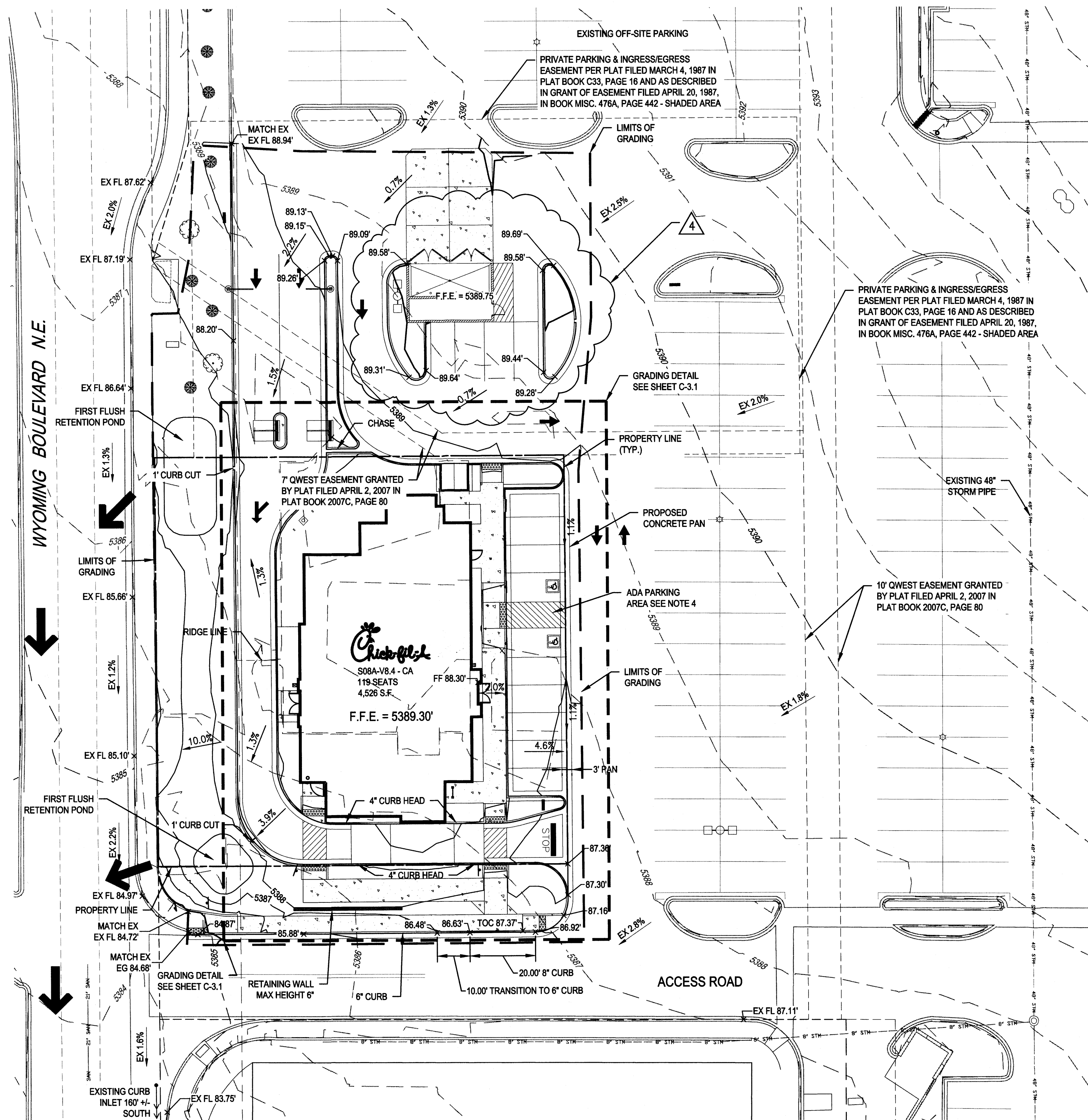
2274 WYOMING BLVD. NE
 ALBUQUERQUE, NM

SHEET TITLE
 GRADING
 DETAIL

VERSION: H-V2
 ISSUE DATE: 11-2014

Job No. : 65118374
 Store : 03484
 Date : 03/18/15
 Drawn By : JD
 Checked By: TDK

Sheet
C-3.1



LEGEND:

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Revisions:

| Mark | Date | By |
|------|------------|-------------|
| 2 | 04/01/2015 | OWNER REV |
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Seal
TROY D. KELTS
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PROFESSIONAL ENGINEER
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5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
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STORE
WYOMING BOULEVARD FSU
508A-A-WC

2274 WYOMING BLVD. NE
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SHEET TITLE

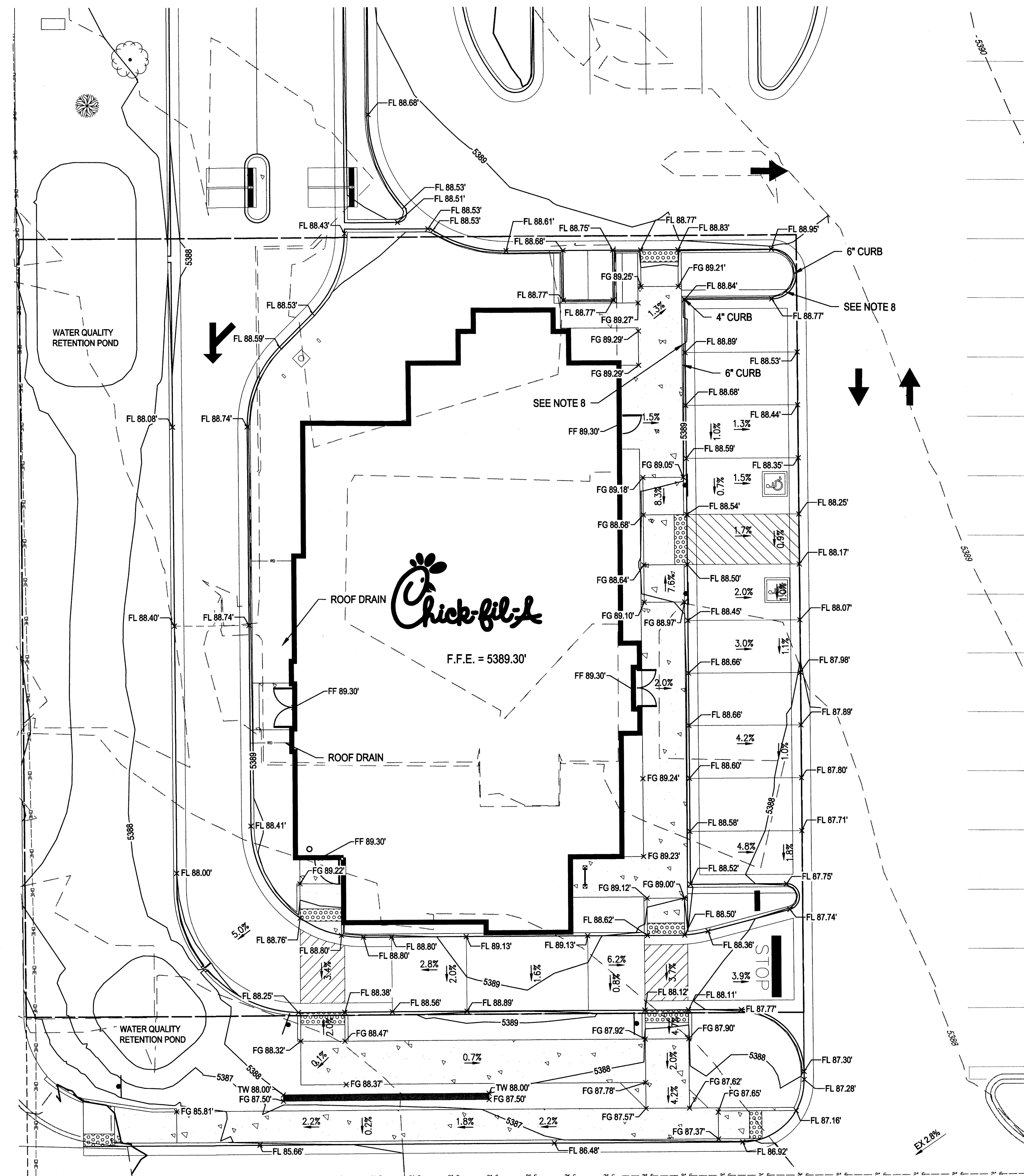
GRADING PLAN

VERSION: H-V2
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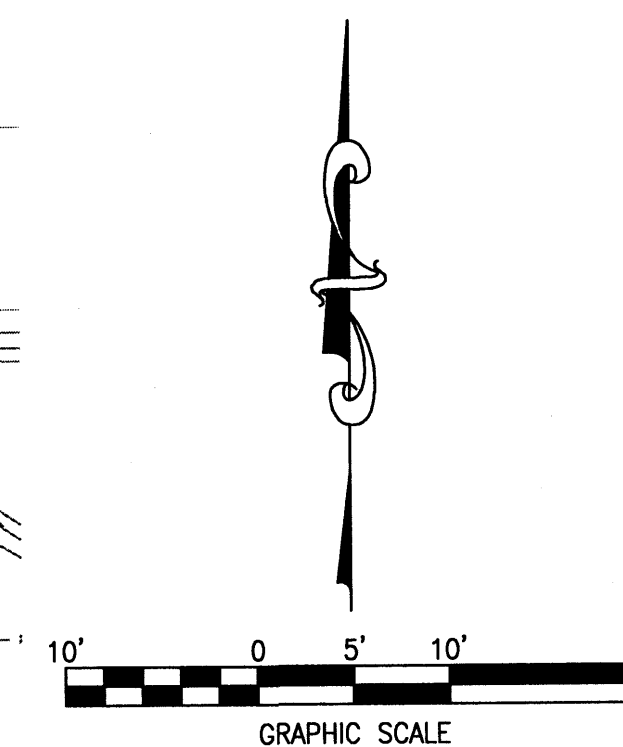


LEGEND:

| | |
|----------------|----------------------------------|
| — 5470 — | PROPOSED MAJOR CONTOUR |
| — 5469 — | PROPOSED MINOR CONTOUR |
| — 5470 - - - | EXISTING MAJOR CONTOUR |
| — 5469 - - - | EXISTING MINOR CONTOUR |
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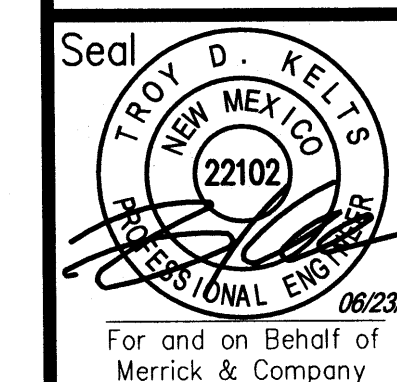


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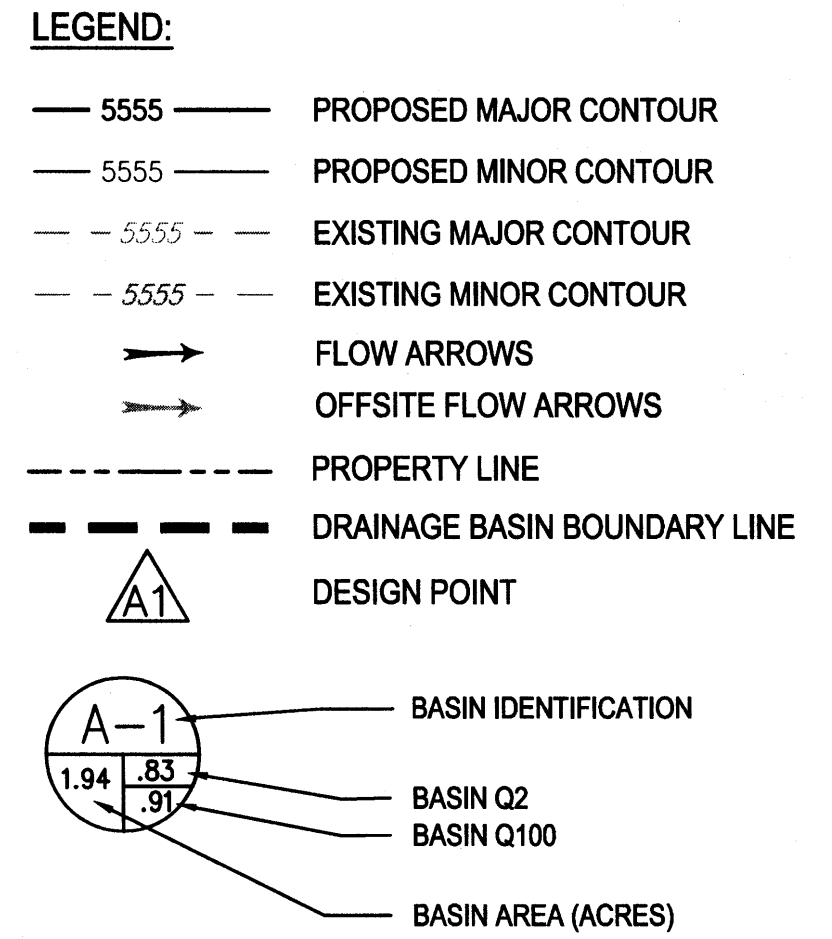
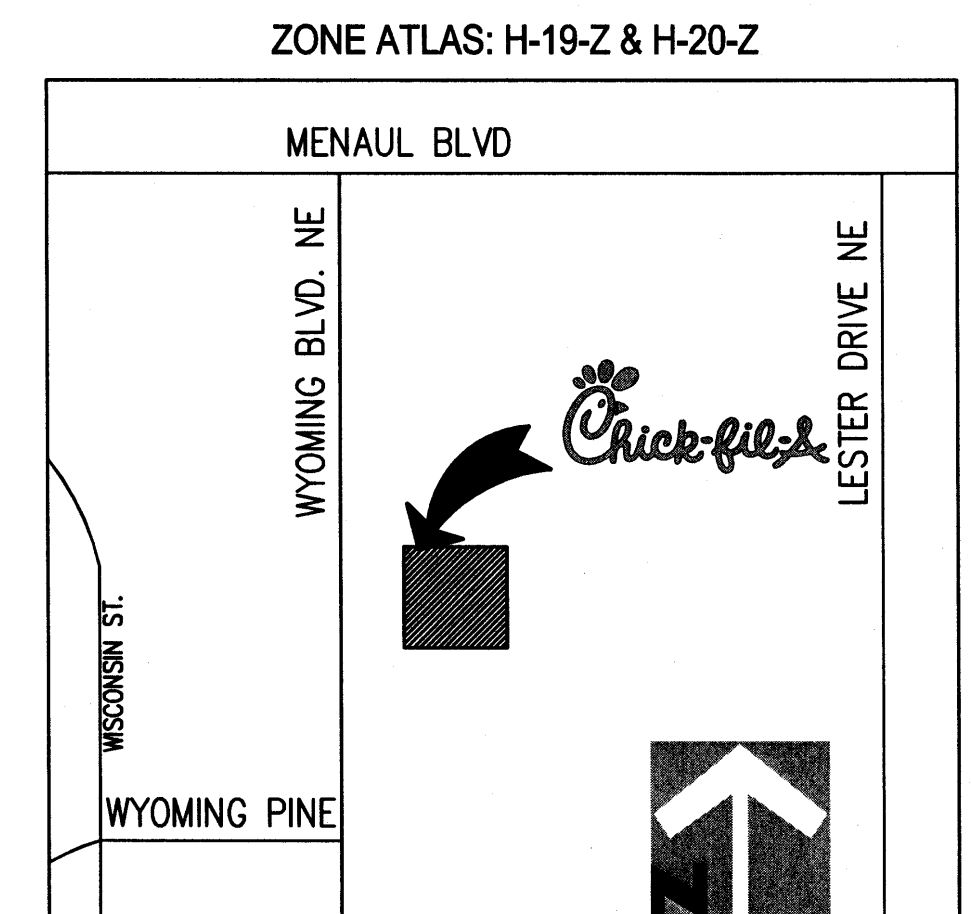
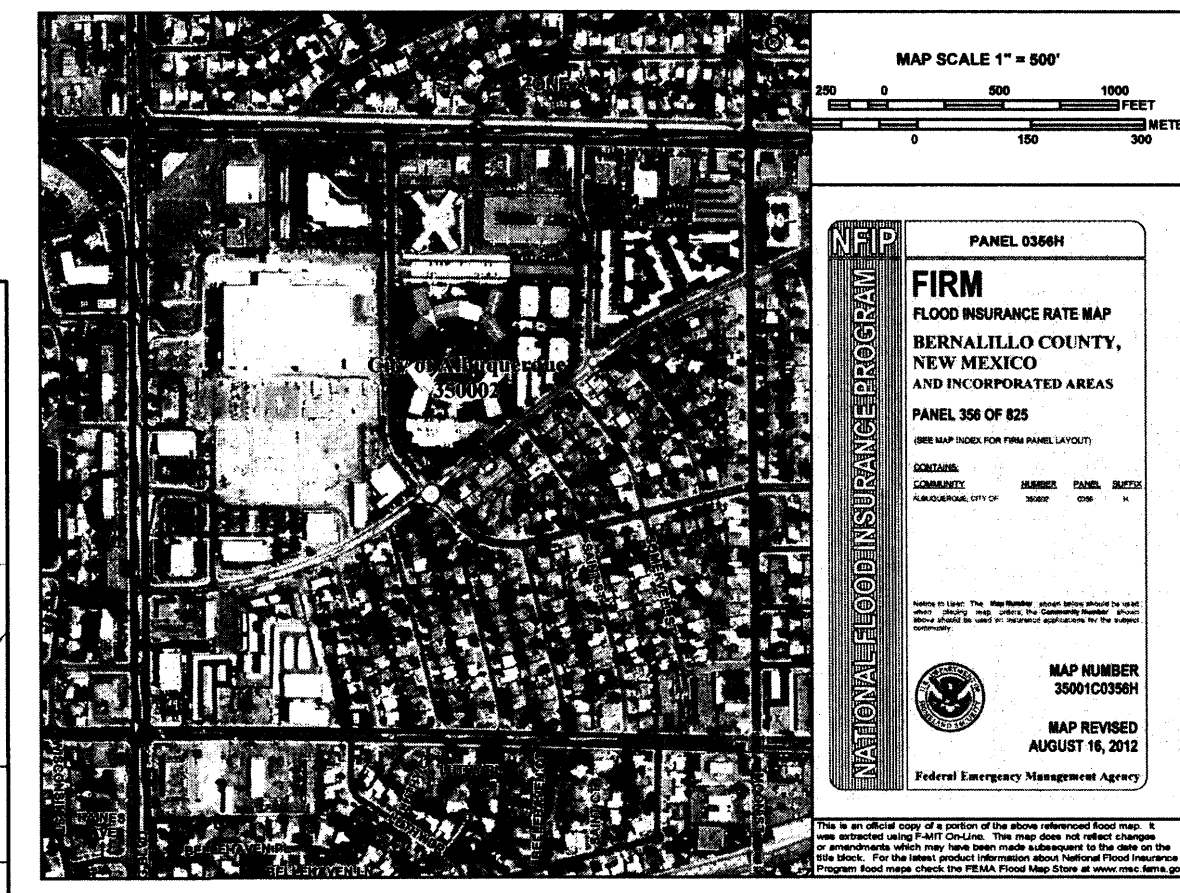
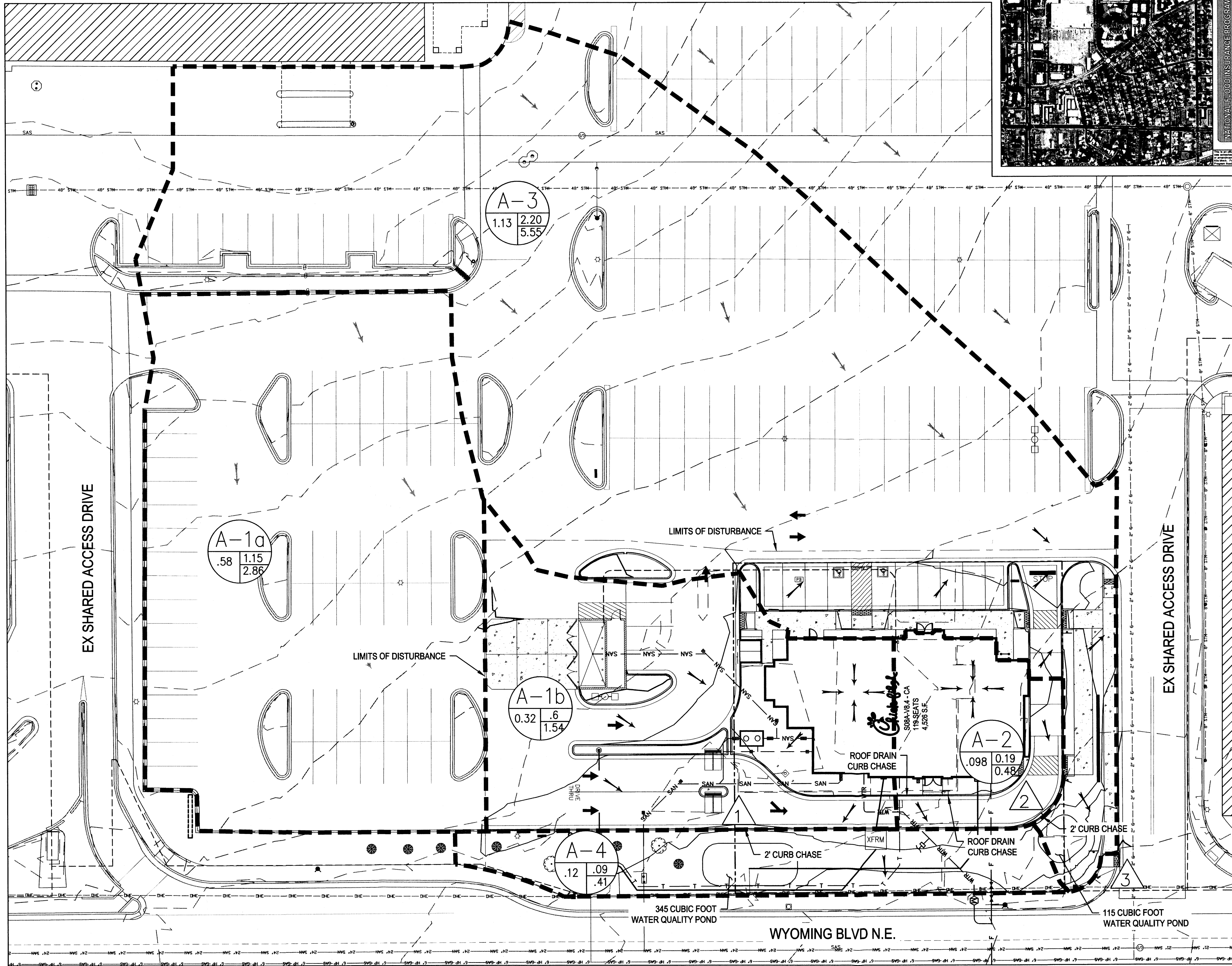
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C-3.1



| Basin | Land Treatment (ac) | | | |
|-------|---------------------|---|-------|-------|
| | A | B | C | D |
| A-1a | 0 | 0 | 0.03 | 0.55 |
| A-1b | 0 | 0 | 0.04 | 0.28 |
| A-2 | 0 | 0 | 0.006 | 0.092 |
| A-3 | 0 | 0 | 0.08 | 1.05 |
| A-4 | 0 | 0 | 0.12 | 0 |

| Developed Runoff Summary Table | | | | | |
|--------------------------------|------|------|------|------|------|
| | A-1a | A-1b | A-2 | A-3 | A-4 |
| 100 YR PEAK RUNOFF (cfs) | 2.86 | 1.54 | 0.48 | 5.55 | 0.41 |
| 10 YR PEAK RUNOFF (cfs) | 1.92 | 1.03 | 0.32 | 3.72 | 0.24 |
| 2 YEAR PEAK RUNOFF (cfs) | 1.15 | 0.60 | 0.19 | 2.20 | 0.09 |

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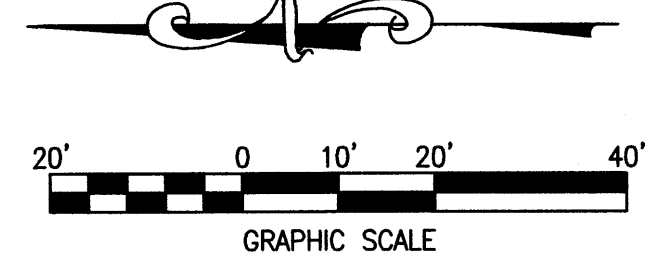
THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.

- SHEET REFERENCES**
1. REFER TO SHEET PS-1.0 FOR UTILITY LOCATION AND CONNECTION DETAILS.
 2. REFER TO SHEET C-3.0 & C-3.1 FOR SITE GRADING DETAILS.
 3. REFER TO SHEET C-3.2 FOR EROSION CONTROL PLANS.

LEGAL DESCRIPTION

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Revisions:

| Mark | Date | By |
|------|------------|-------------|
| 2 | 04/01/2015 | OWNER REV |
| 3 | 05/01/2015 | AGENCY REV. |
| 4 | 06/05/2015 | WASTE REV. |

Seal
TROY D. KELTS
NEW MEXICO
22102
PROFESSIONAL ENGINEER
06/23/15
For and on Behalf of
Merrick & Company

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

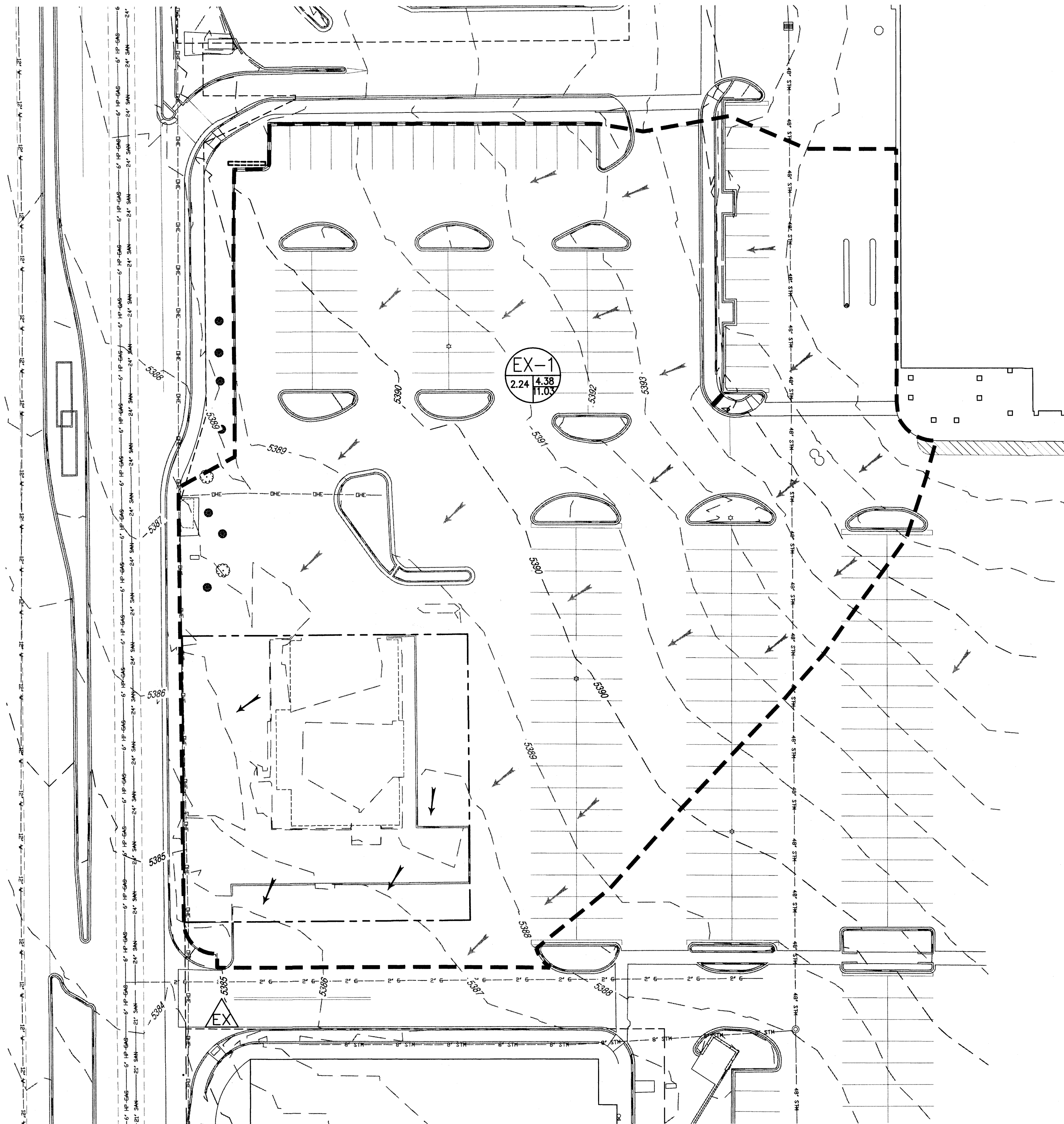
2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE
DRAINAGE MAP

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By : TDK

Sheet
DN-1.0



LEGEND:

- 5555 — PROPOSED MAJOR CONTOUR
- 5555 — PROPOSED MINOR CONTOUR
- - - 5555 - - - EXISTING MAJOR CONTOUR
- - - 5555 - - - EXISTING MINOR CONTOUR
- FLOW ARROWS
- OFFSITE FLOW ARROWS
- PROPERTY LINE
- - - DRAINAGE BASIN BOUNDARY LINE
- △ DESIGN POINT

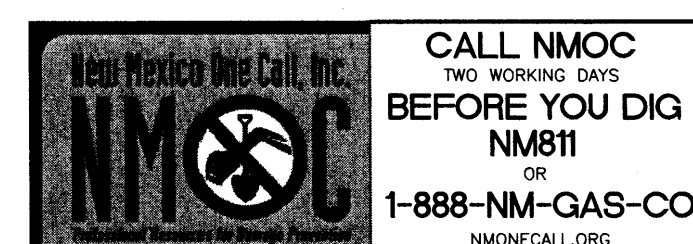
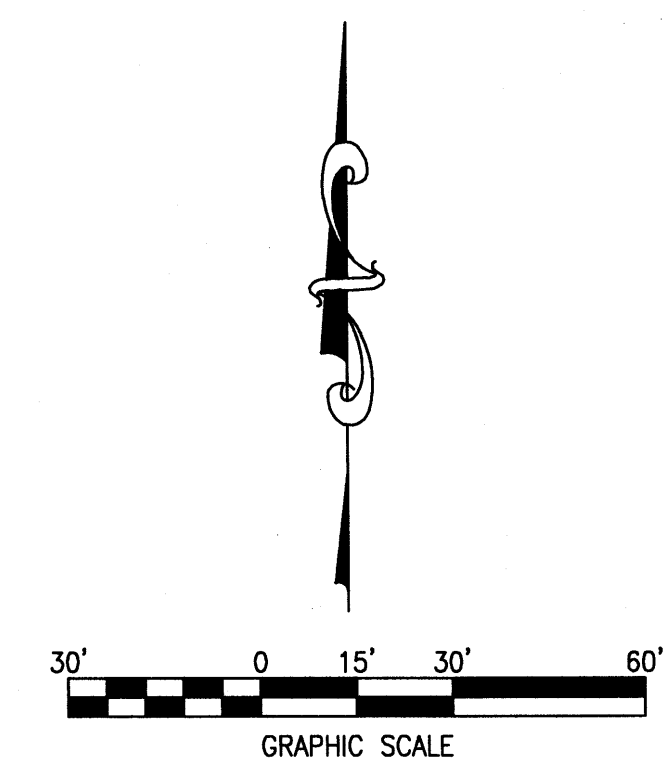
- A-1 ○ BASIN IDENTIFICATION
- 1.94 .83 .91 ○ BASIN Q2
- BASIN Q100
- BASIN AREA (ACRES)

NOTES

1. SEE SHEET C1.0 FOR GENERAL NOTES AND LEGEND

| Basin | Land Treatment (ac) | | | |
|-------|---------------------|---|------|------|
| | A | B | C | D |
| EX-1 | 0 | 0 | 0.17 | 2.08 |

| Existing Runoff Summary Table | |
|-------------------------------|-------|
| | BASIN |
| | EX-1 |
| 100 YR PEAK RUNOFF (cfs) | 11.03 |
| 10 YR PEAK RUNOFF (cfs) | 7.39 |
| 2 YEAR PEAK RUNOFF (cfs) | 4.38 |

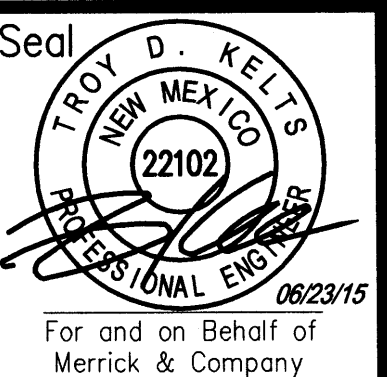


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Revisions:
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2 04/01/2015
OWNER REV

Mark Date By
3 05/01/2015
AGENCY REV.

Mark Date By
4 06/05/2015
WASTE REV.



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303-751-0741

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2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE
**EXISTING
DRAINAGE MAP**

VERSION: H-V2
ISSUE DATE: 11-2014

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Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

Sheet
EXDN-1.0

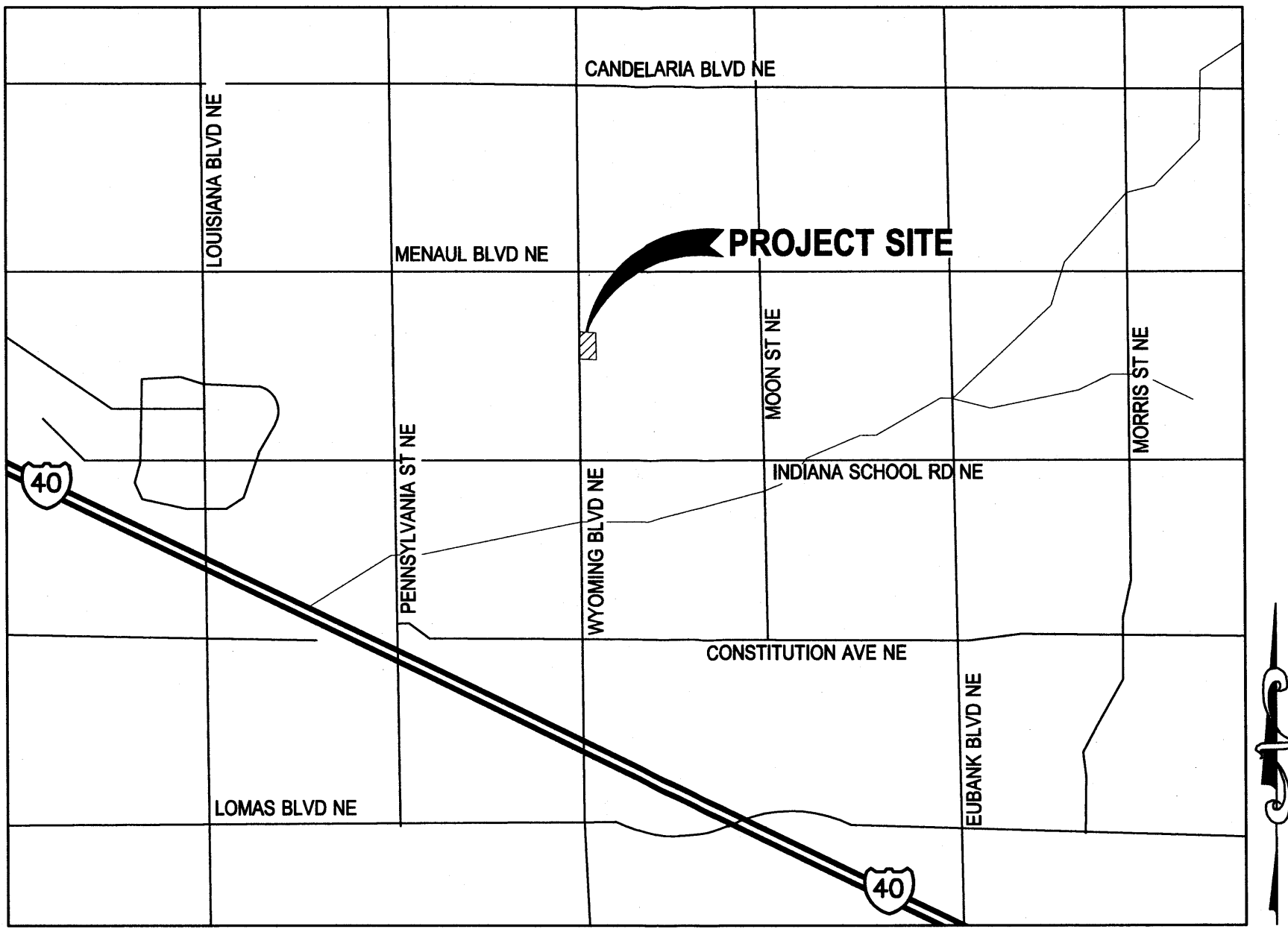
CHICK-FIL-A AT WYOMING BOULEVARD

PARCEL 3, THE WYOMING MALL
SITUATED WITHIN SECTION 8, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

2274 WYOMING BOULEVARD NE
ALBUQUERQUE, NM



UNIT # 03484



VICINITY MAP
NTS

LEGAL DESCRIPTION

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PROJECT CONTACTS

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ELECTRIC
PNM
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SANITARY SEWER / WATER
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NEW MEXICO GAS COMPANY
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CONTACT: MR. JOE HERRERA
(505) 891-6995
EMAIL: JOE.HERRERA@NMGCO.COM

BASIS OF BEARINGS

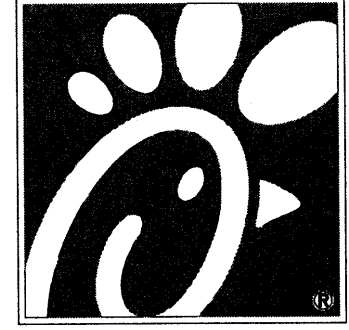
BEARING ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE - NAD83.

BENCHMARK

VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK
14-H20, ELEVATION = 5415.798' (NAVD 1988)

SHEET INDEX

| | |
|--------|--------------------------------------|
| C-0.0 | COVER SHEET |
| C-1.0 | GENERAL NOTES |
| C-1.1 | DEMOLITION PLAN |
| C-2.0 | SITE PLAN |
| C-2.1 | HORIZONTAL CONTROL PLAN |
| PS-1.0 | UTILITY PLAN |
| C-3.0 | GRADING |
| C-3.2 | DRAINAGE PLAN |
| C-3.3 | STORM SEWER PLAN & PROFILE |
| C-3.4 | EROSION CONTROL PLAN |
| C-4.0 | PRIVATE CHICK-FIL-A STANDARD DETAILS |
| C-4.1 | PRIVATE CHICK-FIL-A STANDARD DETAILS |
| C-4.2 | PRIVATE CHICK-FIL-A STANDARD DETAILS |
| C-5.0 | CIVIL DETAILS |
| C-5.1 | CIVIL DETAILS |
| C-5.2 | EROSION CONTROL DETAILS |
| C-5.3 | EROSION CONTROL DETAILS |
| L-1.0 | LANDSCAPE PLAN |
| L-2.0 | LANDSCAPE DETAILS |
| L-3.0 | LANDSCAPE SPECIFICATIONS |
| L-3.1 | LANDSCAPE SPECIFICATIONS |
| IR-1.0 | IRRIGATION PLAN |
| IR-2.0 | IRRIGATION DETAILS |
| IR-3.0 | IRRIGATION SPECIFICATIONS |



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ALBUQUERQUE, NM

SHEET TITLE

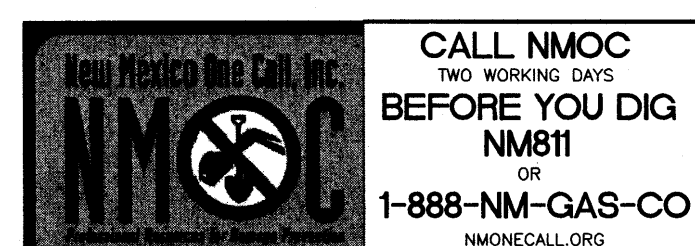
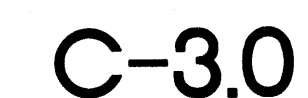
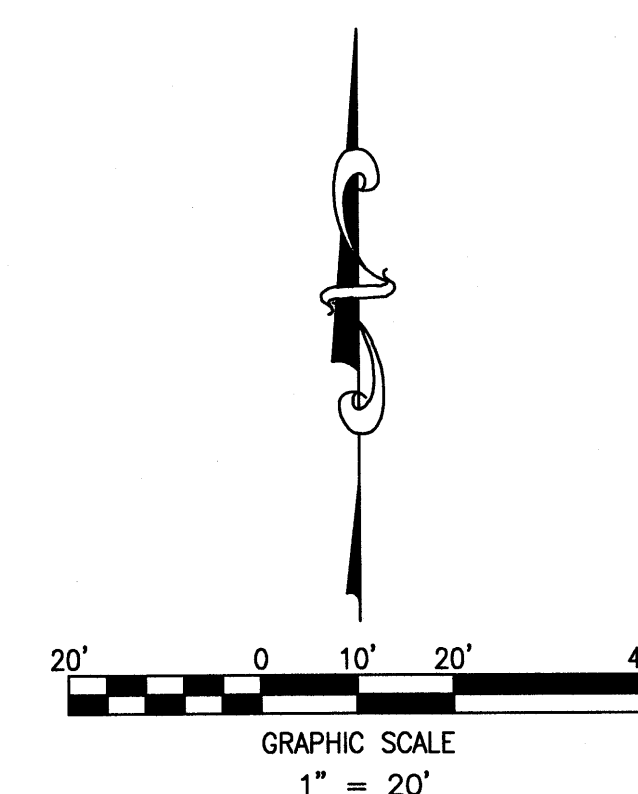
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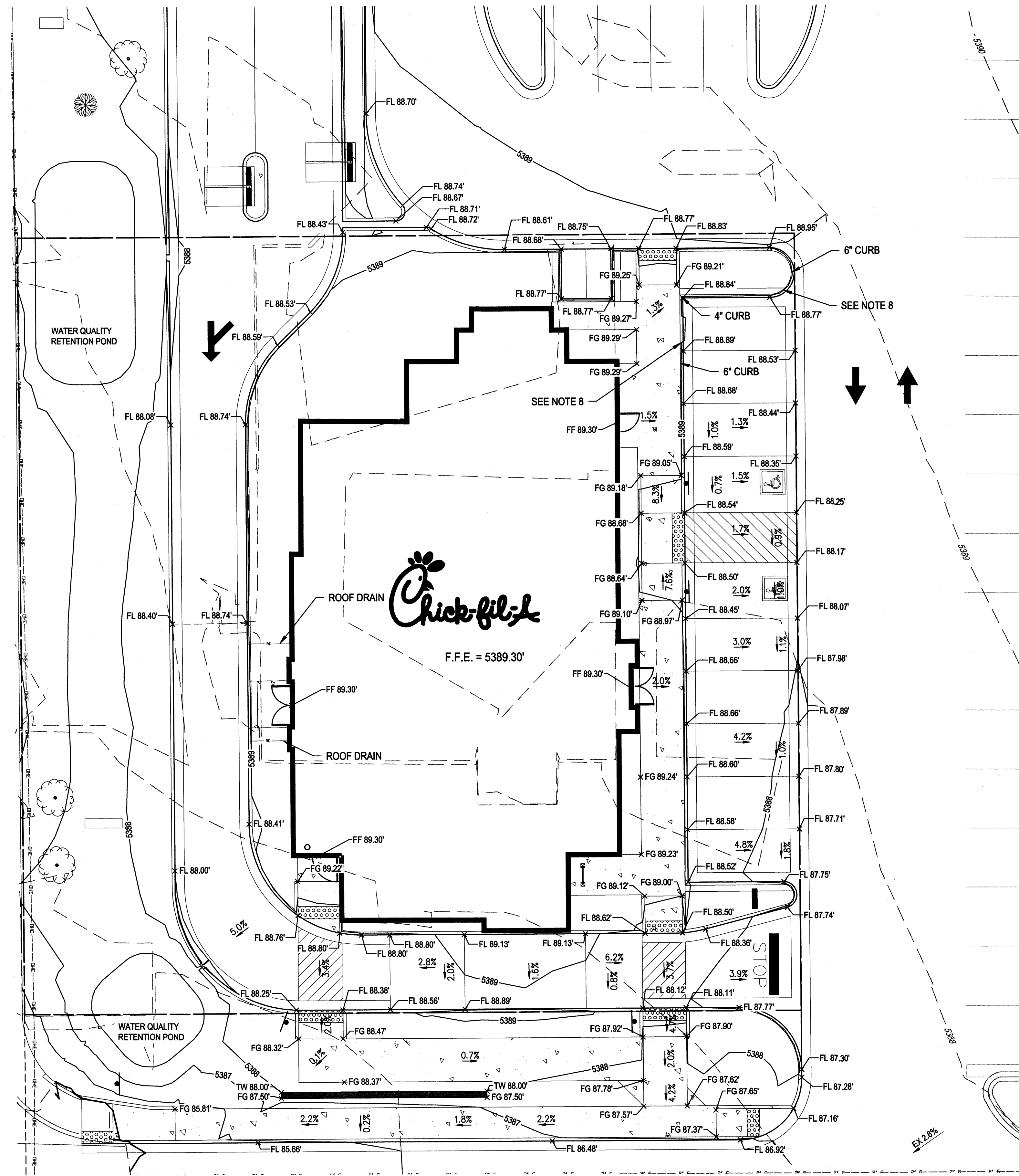
VERSION: H-V2
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Job No. : 65118374
Store : 03484
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Sheet
C-0.0





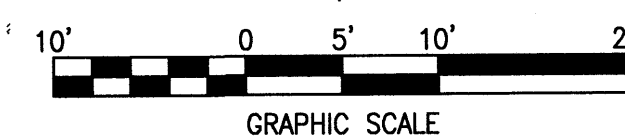


LEGEND:

| | |
|------------------|----------------------------------|
| — 5470 — | PROPOSED MAJOR CONTOUR |
| — 5469 — | PROPOSED MINOR CONTOUR |
| - - - 5470 - - - | EXISTING MAJOR CONTOUR |
| - - - 5469 - - - | EXISTING MINOR CONTOUR |
| FL 69.41' x | FLOWLINE SPOT ELEVATION |
| FF 70.50' x | FINISHED FLOOR SPOT ELEVATION |
| FG 70.39' x | FINISHED GRADE SPOT ELEVATION |
| TC 70.50' x | TOP OF CURB SPOT ELEVATION |
| EG 69.57' x | EXISTING GRADE SPOT ELEVATION |
| EX FL 70.18' x | EXISTING FLOWLINE SPOT ELEVATION |
| 1.1% | PROPOSED SLOPE ARROWS |
| EX 0.5% | EXISTING SLOPE ARROWS |
| ← | EMERGENCY OVERFLOW PATHWAY |

NOTES

1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
2. ALL ELEVATIONS SHOWN ARE 53XX.XX'
3. ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
4. ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
5. REFER TO SHEET 4 - UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
6. CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
7. ALL CURB TO BE 6" UNLESS SPECIFIED OTHERWISE
8. TRANSITION FROM 4" CURB HEAD TO 6" CURB HEAD IN THIS AREA



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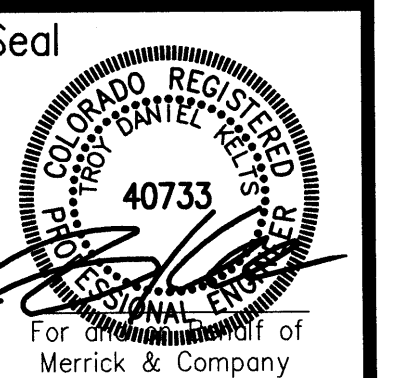
Chick-fil-A

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1 02/09/2015

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2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

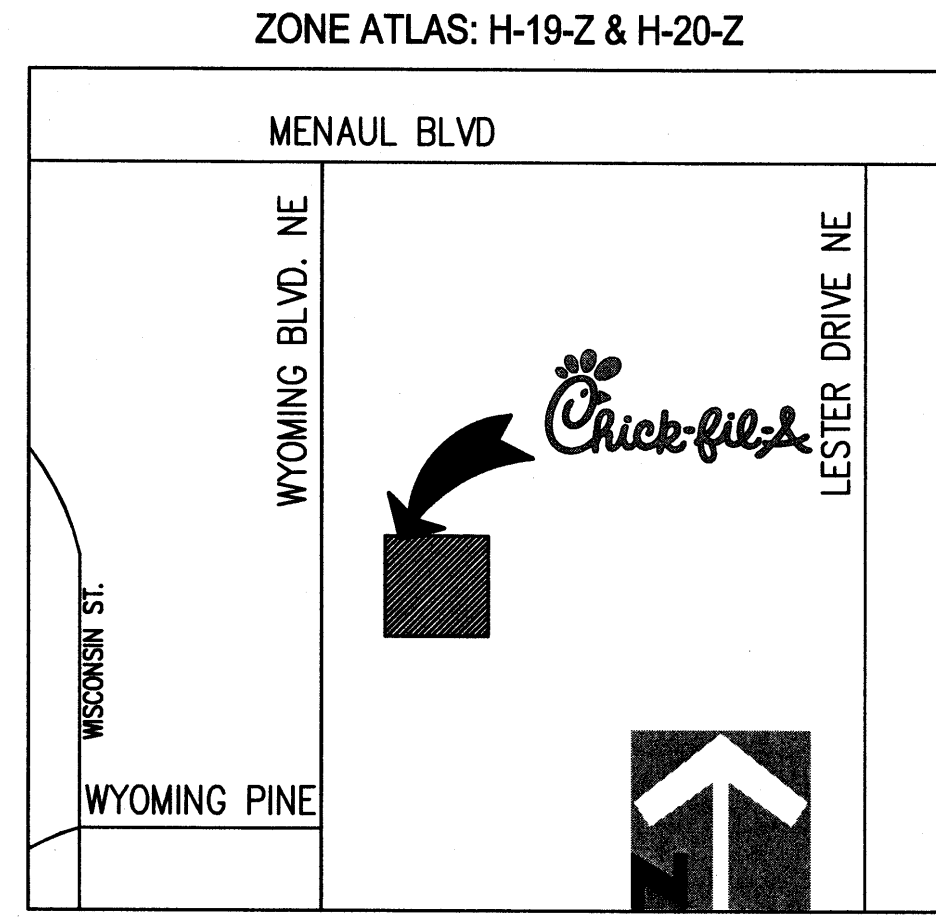
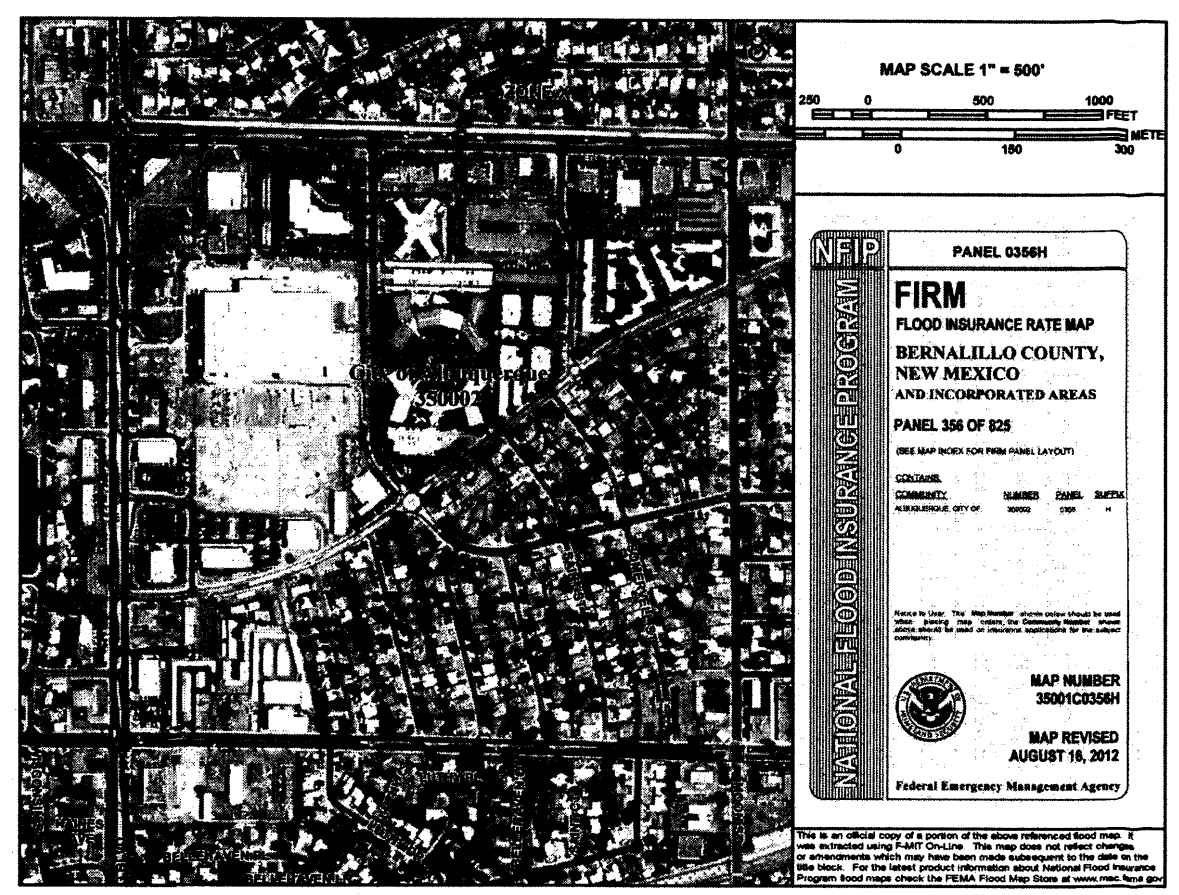
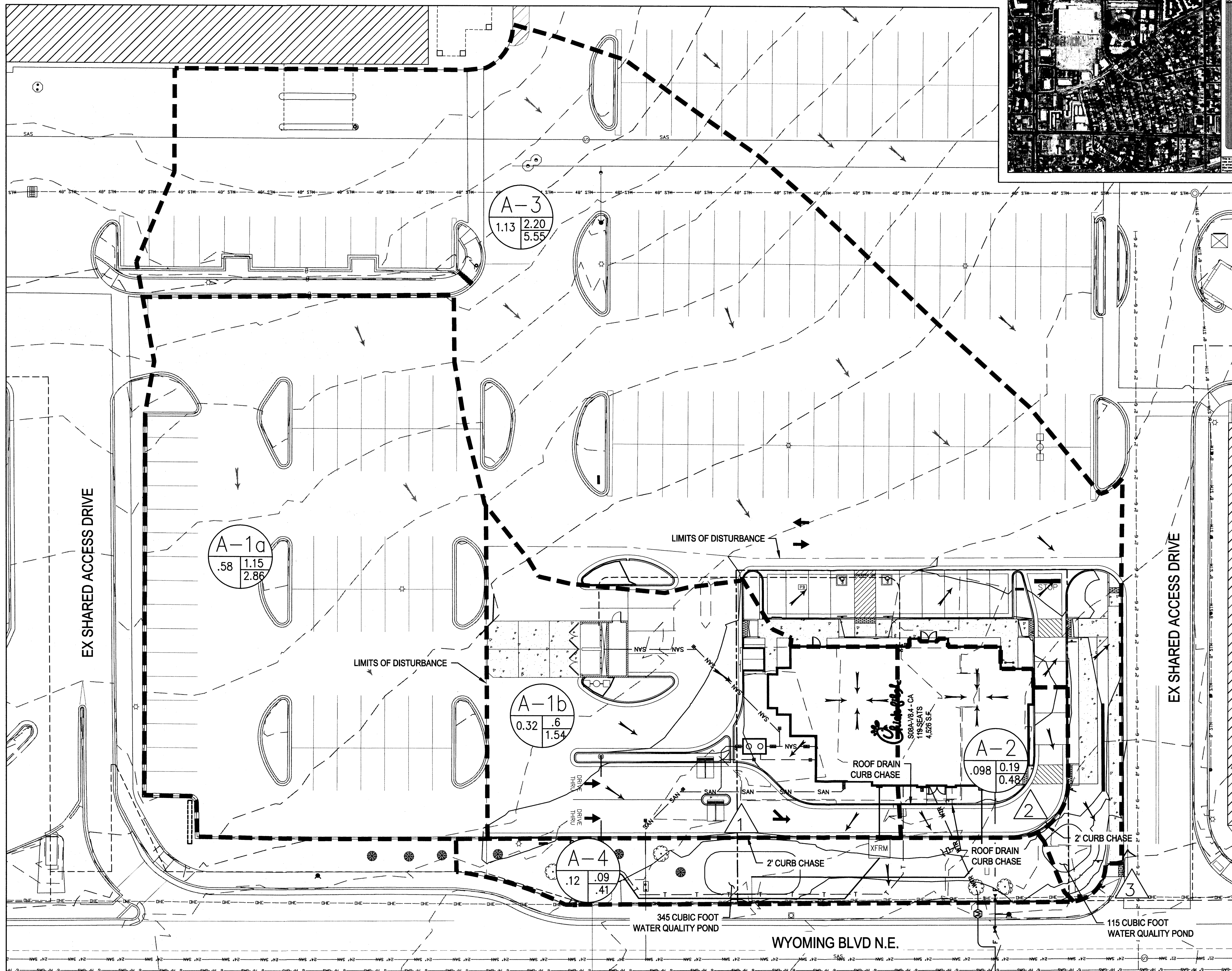
SHEET TITLE

GRADING
DETAIL

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By: TDK

Sheet
C-3.1



LEGEND:

- 5555 PROPOSED MAJOR CONTOUR
- 5555 PROPOSED MINOR CONTOUR
- 5555 - EXISTING MAJOR CONTOUR
- 5555 - EXISTING MINOR CONTOUR
- FLOW ARROWS
- OFFSITE FLOW ARROWS
- - - PROPERTY LINE
- - - DRAINAGE BASIN BOUNDARY LINE
- A1 DESIGN POINT

Basin Identification:

- A-1 BASIN Q2
- A-1 BASIN Q100
- A-1 BASIN AREA (ACRES)

| Land Treatment (ac) | | | | |
|---------------------|---|---|-------|-------|
| Basin | A | B | C | D |
| A-1a | 0 | 0 | 0.03 | 0.55 |
| A-1b | 0 | 0 | 0.04 | 0.28 |
| A-2 | 0 | 0 | 0.006 | 0.092 |
| A-3 | 0 | 0 | 0.08 | 1.05 |
| A-4 | 0 | 0 | 0.12 | 0 |

| Developed Runoff Summary Table | | | | | |
|--------------------------------|------|------|------|------|------|
| | A-1a | A-1b | A-2 | A-3 | A-4 |
| 100 YR PEAK RUNOFF (cfs) | 2.86 | 1.54 | 0.48 | 5.55 | 0.41 |
| 10 YR PEAK RUNOFF (cfs) | 1.92 | 1.03 | 0.32 | 3.72 | 0.24 |
| 2 YEAR PEAK RUNOFF (cfs) | 1.15 | 0.60 | 0.19 | 2.20 | 0.09 |

DRAINAGE NARRATIVE DESCRIPTION
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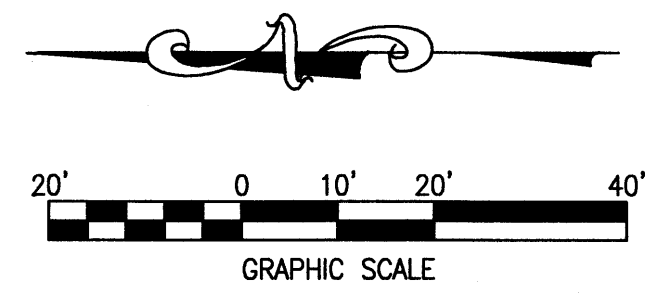
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 2. REFER TO SHEET C-3.0 & C-3.1 FOR SITE GRADING DETAILS.
 3. REFER TO SHEET C-3.2 FOR EROSION CONTROL PLANS.

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| Mark | Date | By |
|------|------------|----|
| A1 | 02/09/2015 | |

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| A1 | | |
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Mark Date By

| | | |
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| A1 | | |
|----|--|--|

Seal

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303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

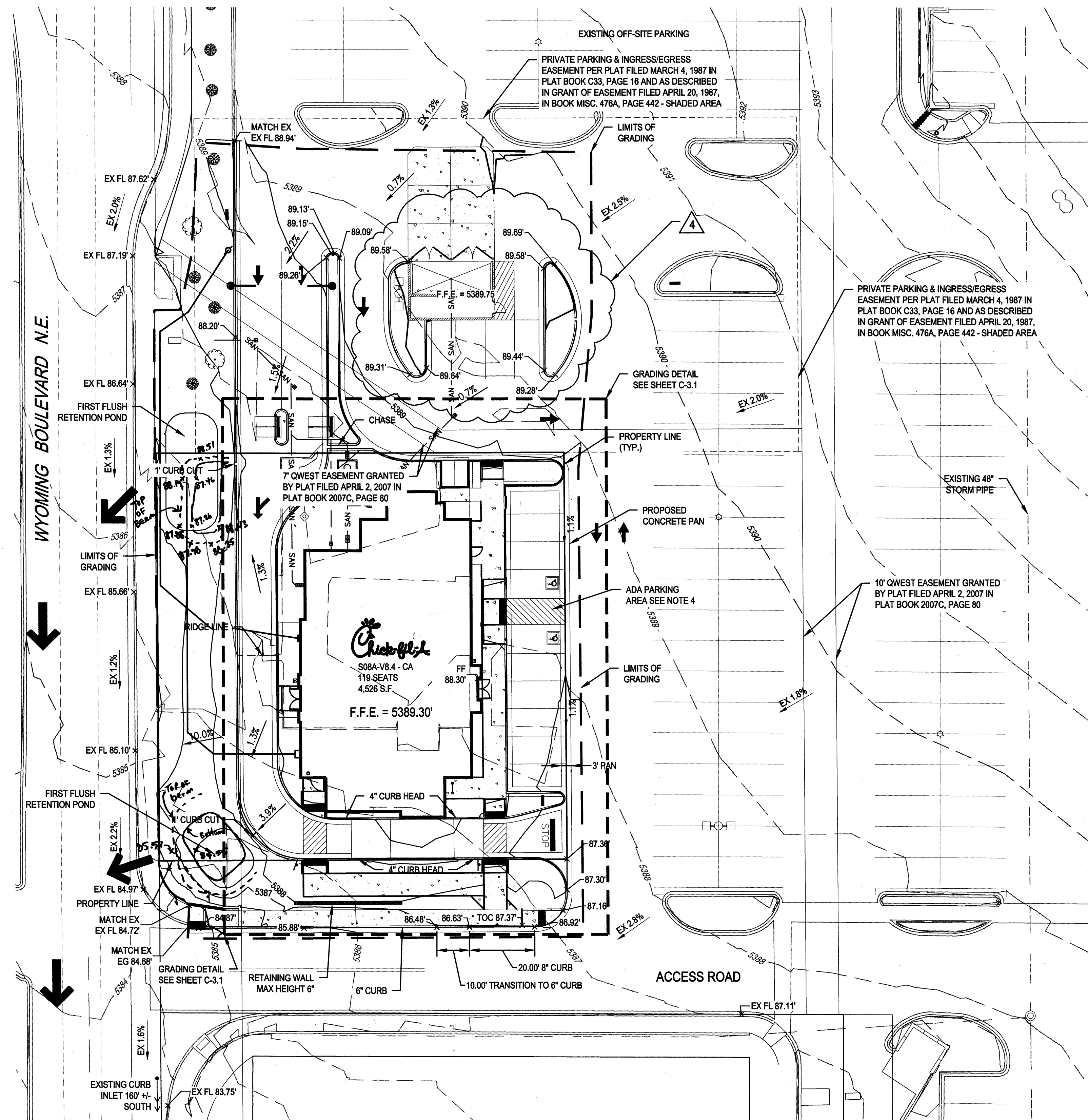
DRAINAGE MAP

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 12/15/14
Drawn By : JD
Checked By : TDK

Sheet

DN-1.0



LEGEND:

| | |
|----------------|----------------------------------|
| --- | LIMITS OF GRADING |
| --- | PROPOSED MAJOR CONTOUR |
| --- | PROPOSED MINOR CONTOUR |
| --- | EXISTING MAJOR CONTOUR |
| --- | EXISTING MINOR CONTOUR |
| FL 69.41' x | FLOWLINE SPOT ELEVATION |
| FF 70.50' x | FINISHED FLOOR SPOT ELEVATION |
| FG 70.39' x | FINISHED GRADE SPOT ELEVATION |
| TC 70.50' x | TOP OF CURB SPOT ELEVATION |
| EG 69.57' x | EXISTING GRADE SPOT ELEVATION |
| EX FL 70.18' x | EXISTING FLOWLINE SPOT ELEVATION |
| 1.1% | PROPOSED SLOPE ARROWS |
| EX 0.5% | EXISTING SLOPE ARROWS |
| ← | EMERGENCY OVERFLOW PATHWAY |

- NOTES**
1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
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 3. ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
 4. ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
 5. REFER TO PS-1.0 - UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
 6. CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
 7. ALL CURB TO BE 6" UNLESS SPECIFIED OTHERWISE
 8. TRANSITION FROM 4" CURB HEAD TO 6" CURB HEAD IN THIS AREA
 9. REFER TO DN-1.0 FOR DEVELOPED DRAINAGE MAP

DRAINAGE NARRATIVE DESCRIPTION

THE SITE IS CURRENTLY A BANK WITH LANDSCAPE ISLANDS SEPARATING WYOMING BLVD FROM THE BUILDING. THE SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST TOWARDS WYOMING BLVD. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 3%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS OVER THE SIDEWALK IN THE SOUTHWEST CORNER INTO WYOMING BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE. AN EXISTING INLET IS LOCATED IN WYOMING BLVD APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. THE PROPOSED SITE WILL FLOW FROM THE NORTHEAST TO THE SOUTHWEST. THE SITE AREA LOCATED NORTH OF THE BUILDING WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE LOCATED WITHIN THE DRIVE-THRU. THE CURB CHASE WILL DIRECT RUNOFF INTO THE NORTHERN RETENTION POND. THE NORTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE NORTHERN SIDE OF THE PROPERTY. THIS DOES NOT INCLUDE THE OFF-SITE AREA THAT WILL DRAIN THROUGH THE PROPOSED SITE. THE POND IS SIZED TO RETAIN 345 CUBIC FEET (THE FIRST 0.34" FROM 0.28 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE SOUTHERN PORTION OF THE SITE WILL SHEET FLOW AND FLOW ALONG CURB AND GUTTER, UNTIL IT ENTERS A CURB CHASE. THE CURB CHASE WILL DIRECT RUNOFF INTO THE SOUTHERN RETENTION POND. THE SOUTHERN RETENTION POND IS SIZED TO RETAIN THE FIRST FLUSH (INITIAL 0.34" OF RAINFALL) FROM THE IMPERVIOUS AREA ON THE SOUTHERN SIDE OF THE PROPERTY. THE POND IS SIZED TO RETAIN 115 CUBIC FEET (THE FIRST 0.34" FROM 0.092 ACRES OF IMPERVIOUS AREA). DEVELOPED RUNOFF IN EXCESS OF THIS AMOUNT WILL FLOW ACROSS THE RETENTION POND INTO WYOMING BOULEVARD. THE EASTERN PORTION OF THE SITE WILL SHEET FLOW TOWARDS A PAN, WHERE IT WILL THEN FLOW INTO THE SHARED ACCESS DRIVE LOCATED SOUTH OF THE BUILDING. ALL DEVELOPED RUNOFF THAT ENTERS WYOMING BOULEVARD WILL FLOW TO AN EXISTING INLET LOCATED APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

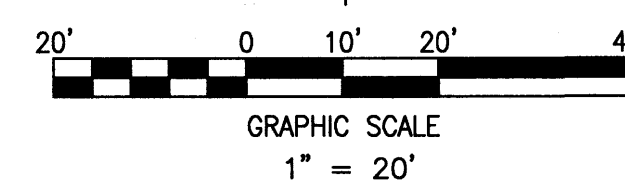
I, TROY D. KELTS, NMPE 22102, OF FIRM, MERRICK & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATE MARCH 18TH, 2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANDREW S. MEDINA, NMPS 12649 OF THE FIRM SANDIA LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/22/2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENTS ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

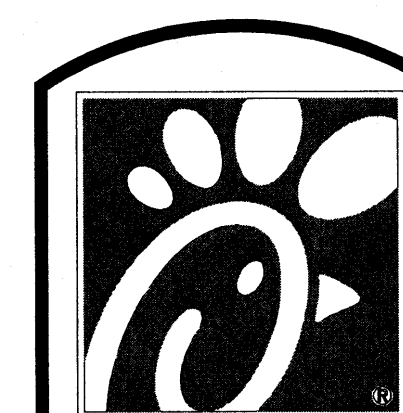
TROY D. KELTS
12/22/15
DATE

TROY D. KELTS
NEW MEXICO
22102
PROFESSIONAL ENGINEER

RECEIVED
DEC 22 2015
LAND DEVELOPMENT SECTION



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Atlanta, Georgia
30349-2998

Revisions:
Mark Date By
2 04/01/2015
OWNER REV

Mark Date By
3 05/01/2015
AGENCY REV.

Mark Date By
4 06/05/2015
WASTE REV.

Seal
TROY D. KELTS
NEW MEXICO
22102
PROFESSIONAL ENGINEER
08/23/15
For and on Behalf of
Merrick & Company

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

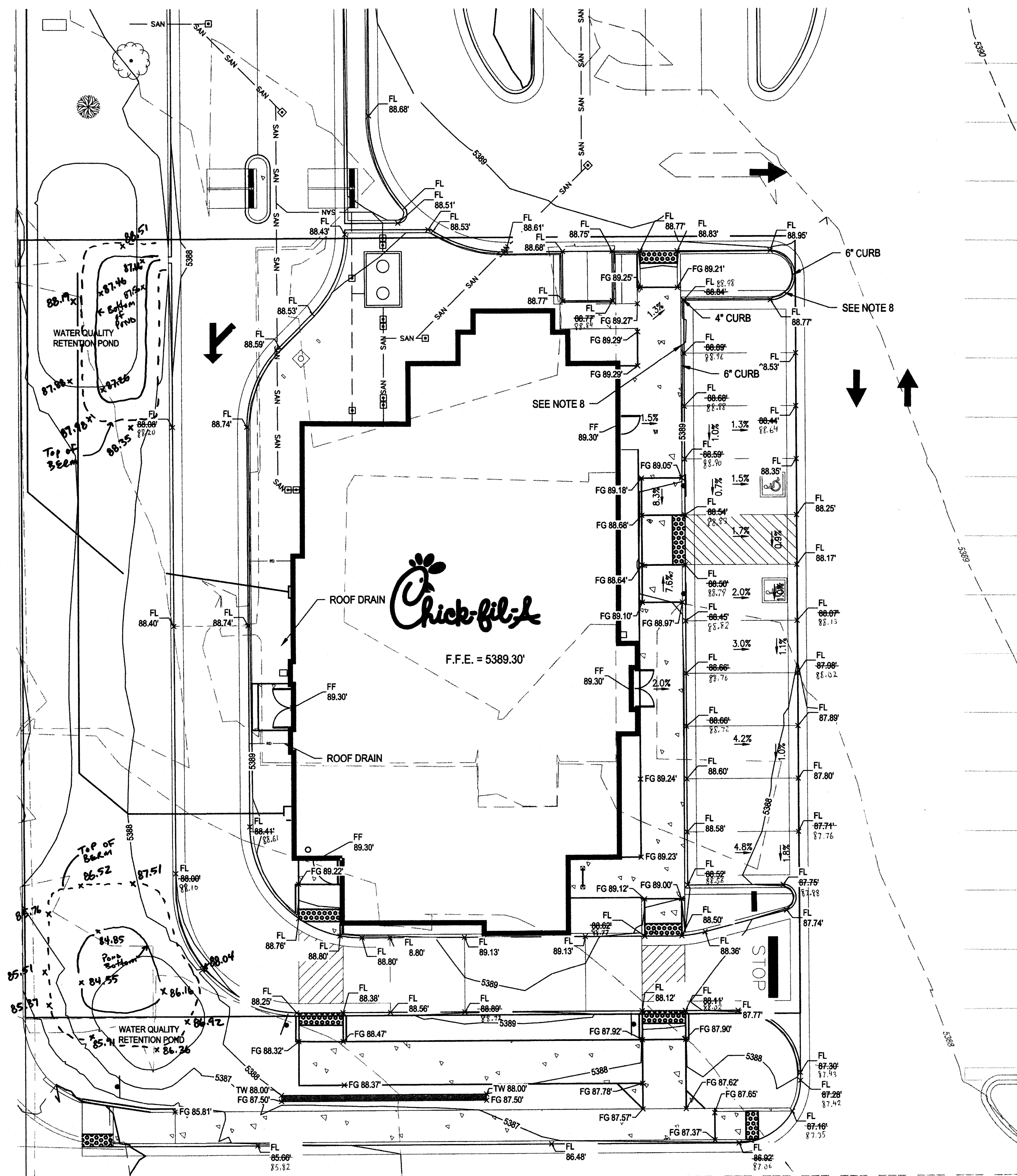
GRADING PLAN

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By : TDK

Sheet
C-3.0

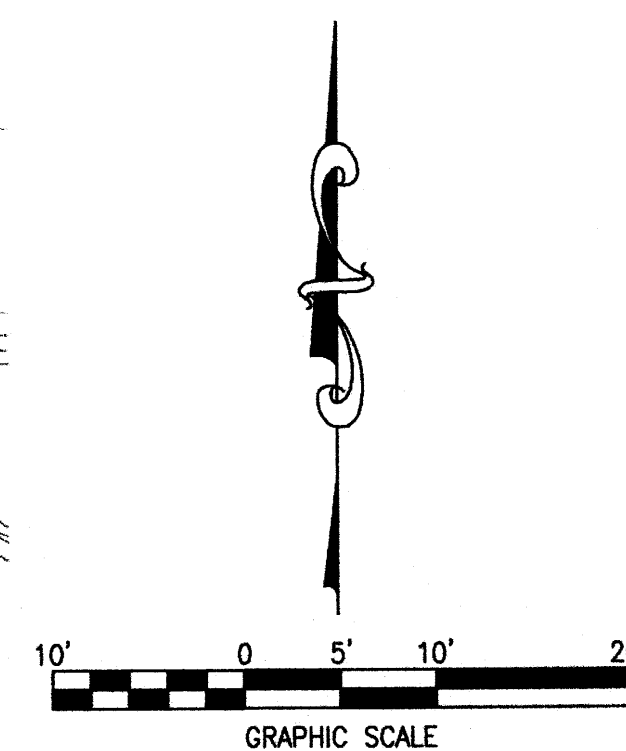
RECORD DOCUMENTS




LEGEND:

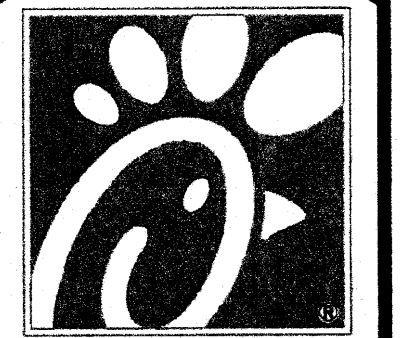
| | |
|----------------|----------------------------------|
| — 5470 — | PROPOSED MAJOR CONTOUR |
| — 5468 — | PROPOSED MINOR CONTOUR |
| — 5470 — | EXISTING MAJOR CONTOUR |
| — 5468 — | EXISTING MINOR CONTOUR |
| FL 69.41' x | FLOWLINE SPOT ELEVATION |
| FF 70.50' x | FINISHED FLOOR SPOT ELEVATION |
| FG 70.39' x | FINISHED GRADE SPOT ELEVATION |
| TC 70.50' x | TOP OF CURB SPOT ELEVATION |
| EG 69.57' x | EXISTING GRADE SPOT ELEVATION |
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RECORD DOCUMENTS


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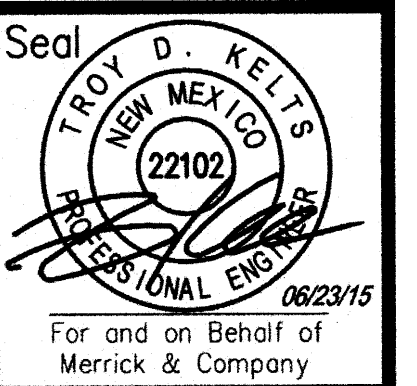
5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

| Mark | Date | By |
|------|------------|-----------|
| 2 | 04/01/2015 | OWNER REV |

| Mark | Date | By |
|------|------------|------------|
| 3 | 05/01/2015 | AGENCY REV |

| Mark | Date | By |
|------|------------|-----------|
| 4 | 06/05/2015 | WASTE REV |




MERRICK & COMPANY
 5970 GREENWOOD PLAZA BLVD
 GREENWOOD VILLAGE, CO 80111
 303-751-0741

STORE
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

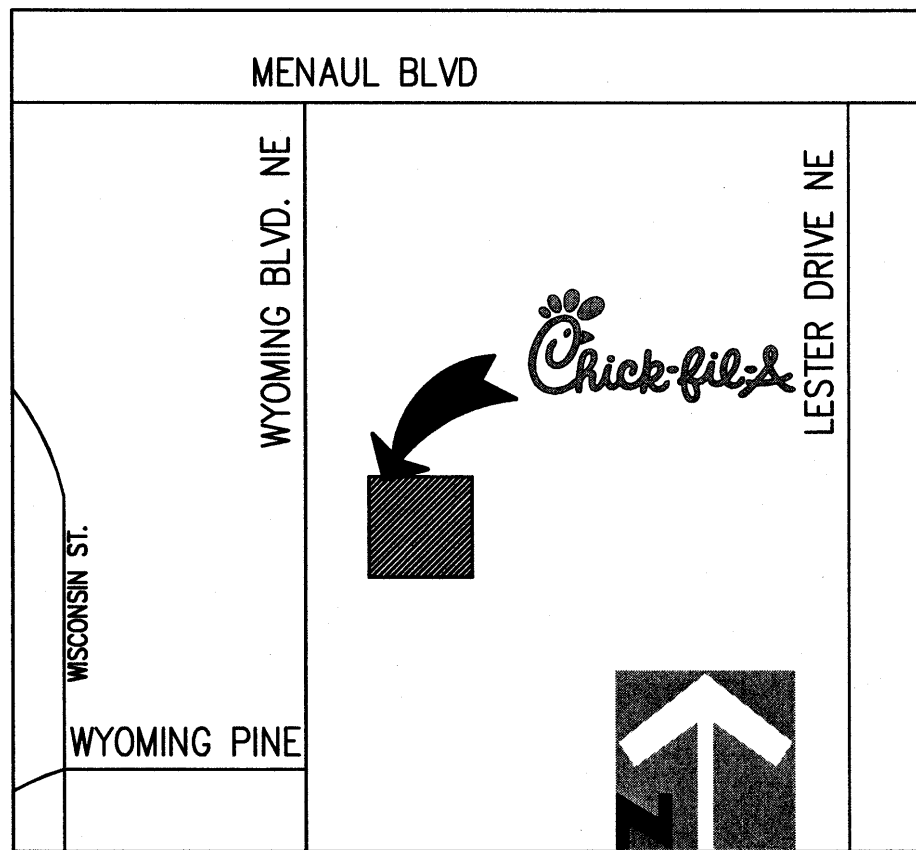
GRADING
DETAIL

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
 Store : 03484
 Date : 03/18/15
 Drawn By : JD
 Checked By : TDK

Sheet

C-3.1



LEGEND:

- 5555 — PROPOSED MAJOR CONTOUR
- 5555 — PROPOSED MINOR CONTOUR
- - - 5555 - - - EXISTING MAJOR CONTOUR
- - - 5555 - - - EXISTING MINOR CONTOUR
- FLOW ARROWS
- OFFSITE FLOW ARROWS
- - - - - PROPERTY LINE
- - - - - DRAINAGE BASIN BOUNDARY LINE
- △ DESIGN POINT

- △ A-1 BASIN IDENTIFICATION
- △ A-1 BASIN Q2
- △ A-1 BASIN Q100
- △ A-1 BASIN AREA (ACRES)

| Basin | Land Treatment (ac) | | | |
|-------|---------------------|---|-------|-------|
| | A | B | C | D |
| A-1a | 0 | 0 | 0.03 | 0.55 |
| A-1b | 0 | 0 | 0.04 | 0.28 |
| A-2 | 0 | 0 | 0.006 | 0.092 |
| A-3 | 0 | 0 | 0.08 | 1.05 |
| A-4 | 0 | 0 | 0.12 | 0 |

| Developed Runoff Summary Table | | | | | |
|--------------------------------|------|------|------|------|------|
| | A-1a | A-1b | A-2 | A-3 | A-4 |
| 100 YR PEAK RUNOFF (cfs) | 2.86 | 1.54 | 0.48 | 5.55 | 0.41 |
| 10 YR PEAK RUNOFF (cfs) | 1.92 | 1.03 | 0.32 | 3.72 | 0.24 |
| 2 YEAR PEAK RUNOFF (cfs) | 1.15 | 0.60 | 0.19 | 2.20 | 0.09 |

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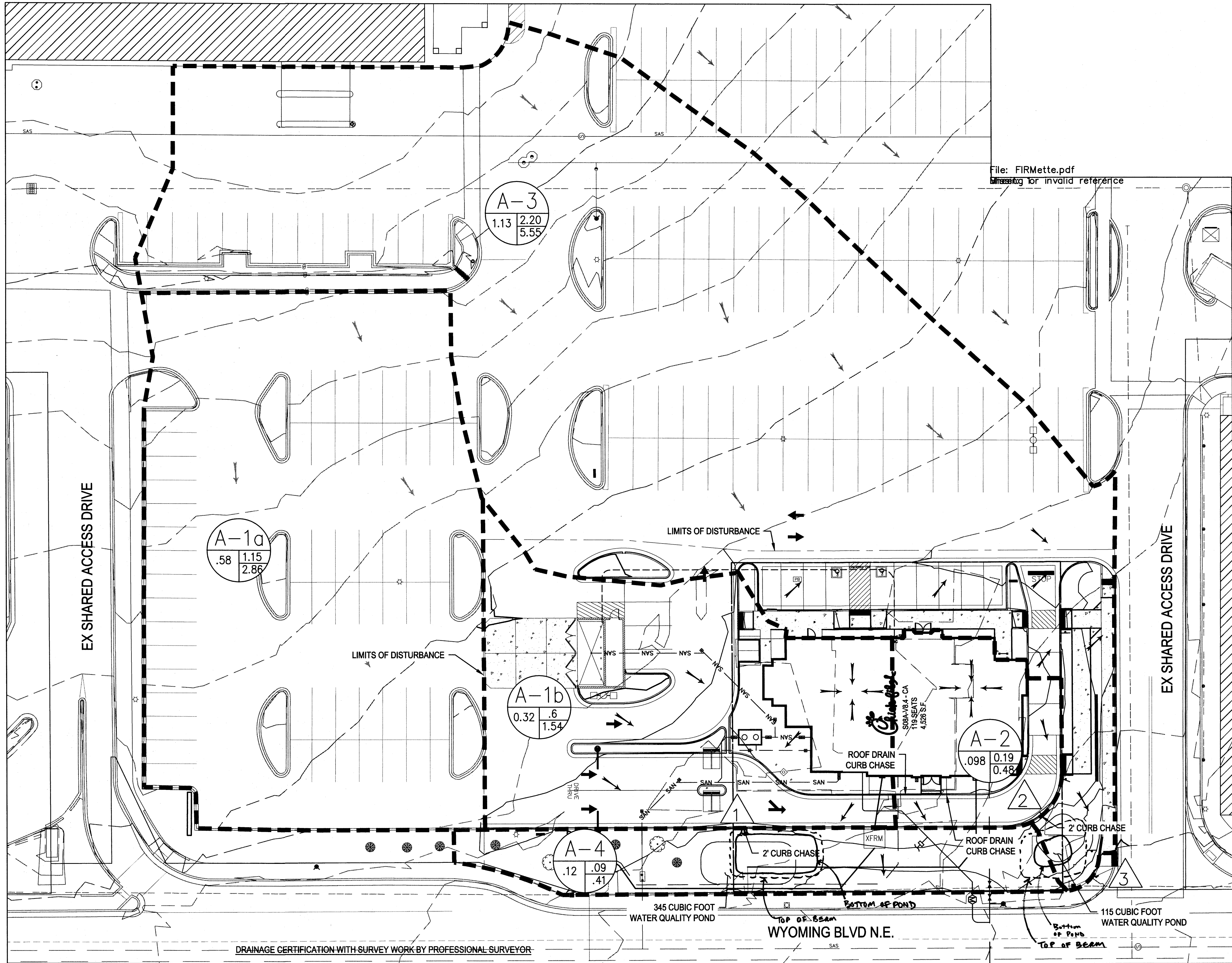
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SHEET REFERENCES

- REFER TO SHEET PS-1.0 FOR UTILITY LOCATION AND CONNECTION DETAILS.
- REFER TO SHEET C-3.0 & C-3.1 FOR SITE GRADING DETAILS.
- REFER TO SHEET C-3.2 FOR EROSION CONTROL PLANS.

LEGAL DESCRIPTION

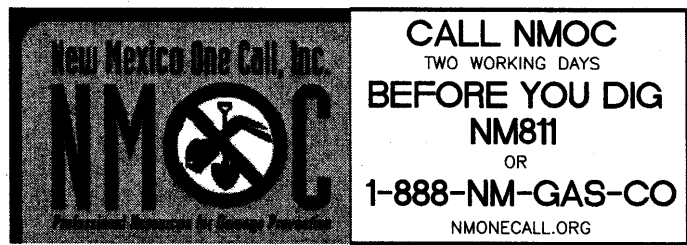
PARCEL NUMBERED THREE (3), AMENDED SUMMARY PLAT OF THE WYOMING MALL, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 12, 1978, IN "PLOT BOOK D8, PAGE 163 AND RE-RECORDED OCTOBER 18, 1978, IN "PLOT BOOK D8, PAGE 11.



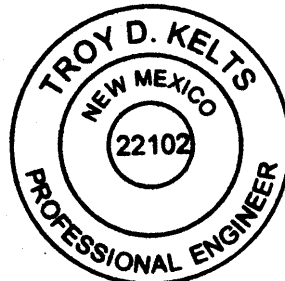
DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

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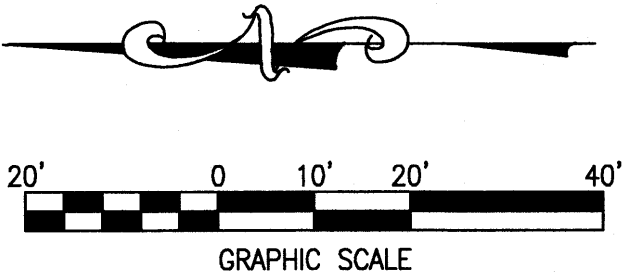
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TROY D. KELTS #22102
DATE 12/22/15



RECORD DOCUMENTS

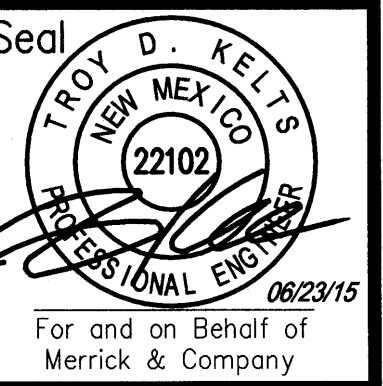


5200 Buffington Rd.
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30349-2998

Revisions:
Mark Date By
2 04/01/2015
OWNER REV

Mark Date By
3 05/01/2015
AGENCY REV.

Mark Date By
4 06/05/2015
WASTE REV.



STORE:
WYOMING BOULEVARD FSU
S08H-A-WC

2274 WYOMING BLVD. NE
ALBUQUERQUE, NM

SHEET TITLE

DRAINAGE MAP

VERSION: H-V2
ISSUE DATE: 11-2014

Job No. : 65118374
Store : 03484
Date : 03/18/15
Drawn By : JD
Checked By : TDK

Sheet

DN-1.0

GENERAL NOTES:

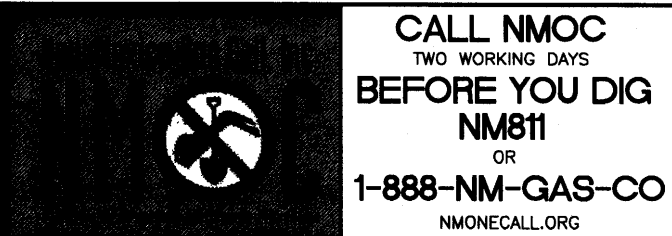
1. ALL CONTRACTORS AND SUBCONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
2. THE OWNER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES.
3. THE PROJECT PLANS AND SPECIFICATIONS AS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, FOR AND ON BEHALF OF MERRICK AND COMPANY, REPRESENT THE FINAL CONSTRUCTION DOCUMENTS FOR THIS PROJECT. THE USE OF ANY ELECTRONIC OR OTHER MEDIA PURPORTING TO REPRESENT THE FINAL CONSTRUCTION DOCUMENTS FOR THIS PROJECT SHALL NOT BE RELIED UPON AS FINAL CONSTRUCTION DOCUMENTS. SHOULD THERE BE A CONFLICT BETWEEN SEALED DRAWINGS AND ELECTRONIC OR OTHER MEDIA FILES, THE SEALED DRAWINGS SHALL GOVERN. EACH USER OF ANY ELECTRONIC OR OTHER MEDIA WAIVES AND RELEASES MERRICK FROM ALL ACTIONS, CLAIMS, DAMAGES, ACTIONS, OBLIGATIONS AND LIABILITIES OF ANY KIND OR NATURE WITH RESPECT TO THE ELECTRONIC OR OTHER MEDIA FILES.
4. NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
5. THE PROJECT PLANS AND SPECIFICATIONS ARE INTENDED TO PROVIDE THE COMPLETED PROJECT IN A COMPLETE AND OPERABLE CONDITION. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND PROVIDE ALL LABOR NECESSARY TO COMPLETE THE PROJECT IN A NEAT AND WORKMANLIKE MANNER, INCLUDING ALL INCIDENTALS NECESSARY TO COMPLETE THE WORK, WITHOUT ADDITIONAL COST TO THE OWNER.
6. UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS. EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE OWNER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
7. DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE MAY CAUSE THE WORK TO BE DEEMED UNACCEPTABLE.
8. MERRICK & COMPANY IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK. MERRICK WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
9. WHEN APPLICABLE, THE OWNER SHALL HAVE ONSITE AT ALL TIMES, EACH OF THE FOLLOWING:
- 9.a. THE NOTICE OF INTENT (NOI)
- 9.b. BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE FOLDER
- 9.c. UP TO DATE STORMWATER MANGEMENT PLAN (SWMP) THAT ACCURATELY REPRESENTS CURRENT FIELD CONDITIONS
- 9.d. ONE (1) SIGNED COPY OF THE APPROVED PLANS
- 9.e. ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
- 9.f. A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
10. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF ALBUQUERQUE STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.
12. DO NOT SCALE DRAWINGS. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
13. THE BOUNDARY AND TOPOGRAPHIC INFORMATION ON THESE PLANS IS TAKEN FROM FIELD SURVEYS PREPARED BY SUVTEK, DATED APRIL 30, 2014.
14. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT FOR CHICK-FIL-A RESTAURANT #3486 PREPARED BY GILES ENGINEERING ASSOCIATES, INC, DATED JULY 29, 2014.
15. THE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE THE WORK AND SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. A COPY OF ALL PERMITS SHALL BE MAINTAINED ON-SITE AT ALL TIMES.
16. NO WORK MAY COMMENCE WITHIN ANY IMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE. THE OWNER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
17. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY OF ALL PERSONNEL AND EQUIPMENT ON THE PROJECT SITE AT ALL TIMES, AND IS NOT LIMITED TO NORMAL WORKING HOURS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS.
18. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE OWNER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
19. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
20. MAINTAIN EMERGENCY VEHICLE ACCESS TO AND THROUGH THE PROJECT SITE AT ALL TIMES.
21. ACCESS TO PRIVATE PROPERTY AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES. CONTRACTOR TO PROVIDE ALTERNATIVE MEANS OF INGRESS AND EGRESS TO PRIVATE PROPERTY AND BUSINESS LOCATIONS AS NECESSARY TO PROVIDE FOR THE TIMELY COMPLETION OF THE PROJECT.
22. THE CONTRACTOR SHALL CALL THE NATIONWIDE UTILITY CONTACT NUMBER (811) OR LOCAL UTILITY LOCATE SERVICE, TO REQUEST LOCATES OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITY.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES, INCLUDING DEPTH. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE ONLY AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. THE UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST AVAILABLE INFORMATION AND MAY NOT INCLUDE ALL UTILITIES THAT EXIST ON THE PROJECT SITE. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE OWNER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
24. A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR BEFORE WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
25. THE OWNER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE OWNER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
27. THE CONTRACTOR SHALL VERIFY SITE CONDITIONS, EXISTING TOPOGRAPHIC DATA, AND LOCATIONS OF ALL UTILITIES PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES ON THE PROJECT SITE. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES, WHETHER SHOWN OR NOT ON THE PROJECT PLANS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES FOUND PRIOR TO INITIATING ANY WORK.
28. ANY DISRUPTION IN UTILITIES SHALL BE COORDINATED AT LEAST 48 HOURS IN ADVANCE WITH THE UTILITY OWNER, PROJECT OWNER, EMERGENCY PROVIDERS, ALL IMPACTED LOCAL RESIDENTS, AND IMPACTED BUSINESS OWNERS. METHOD OF NOTIFICATION SHALL BE SUBJECT TO APPROVAL OF THE PROJECT OWNER AND AFFECTED UTILITY.
29. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF SURFACE CONDITIONS DISTURBED BY CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE OWNER, PROPERTY OWNER, AFFECTED UTILITY, AND/OR LOCAL JURISDICTION. ALL SURFACE AND UTILITY RESTORATION SHALL BE REPLACED WITH LIKE KIND, SIZE, AND TYPE OF IMPROVEMENT THAT EXISTED PRIOR TO INITIATING CONSTRUCTION AT NO ADDITIONAL EXPENSE TO THE PROJECT OWNER.
30. PAVING SHALL NOT START UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE LOCAL ENTITY ENGINEER AND SUBGRADE COMPACTION TESTS ARE TAKEN AND ACCEPTED BY THE LOCAL ENTITY ENGINEER.
31. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL

BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.

32. TRAFFIC CONTROL STANDARDS FOR THIS PROJECT SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. A TRAFFIC CONTROL PLAN APPROVED BY THE LOCAL ENTITY EXERCISING JURISDICTION SHALL BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
33. SAW CUT ALL JOINTS IN EXISTING PAVEMENTS. SAW CUT JOINTS IN CURB AND GUTTER SECTIONS SHALL BE CONTINUOUS THROUGH THE CURB HEAD.
34. INSTALL SEDIMENTATION AND EROSION CONTROL MEASURES PRIOR TO INITIATING ANY WORK ON THE PROJECT SITE. MAINTAIN ALL EROSION CONTROL MEASURES UNTIL FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER.
35. ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL, ON- OR OFF-SITE, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE OWNER, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
36. THE OWNER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
37. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF IN AN APPROVED LANDFILL PERMITTED TO ACCEPT THAT PARTICULAR TYPE OF WASTE.
38. WHERE CONFLICTS EXIST BETWEEN GENERAL NOTES AND THE NOTES OF SPECIFIC GOVERNING JURISDICTIONS, THE GREATER STANDARD OR REQUIREMENT SHALL PREVAIL. WHERE CONFLICTS BETWEEN THE PLANS AND SPECIFICATIONS AND THE NOTES OR REQUIREMENTS OF SPECIFIC GOVERNING JURISDICTIONS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER IMMEDIATELY AND REQUEST CLARIFICATION.

LEGEND:

| | | | |
|--|-----------------------|--|----------------------|
| | PROPERTY LINE | | EX STORM MANHOLE |
| | WATER METER | | EX SANITARY MANHOLE |
| | GREASE TRAP | | EX STORM INLET |
| | STORM INLET | | EX FIRE HYDRANT |
| | STORM MANHOLE | | EX LIGHT POLE |
| | LIGHT POLE | | EX OVERHEAD ELECTRIC |
| | PROPOSED GATE VALVE | | EX STORM SEWER |
| | PROPOSED TRAFFIC SIGN | | EX STORM SEWER |
| | PAVEMENT STRIPING | | EX WATER LINE |
| | PARKING STALL COUNT | | |



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Seal

For and on Behalf of
Merrick & Company

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
CHICK-FIL-A
FSU #03484
WYOMING BLVD.

2274 WYOMING BLVD.
ALBUQUERQUE, NM
87112

SHEET TITLE

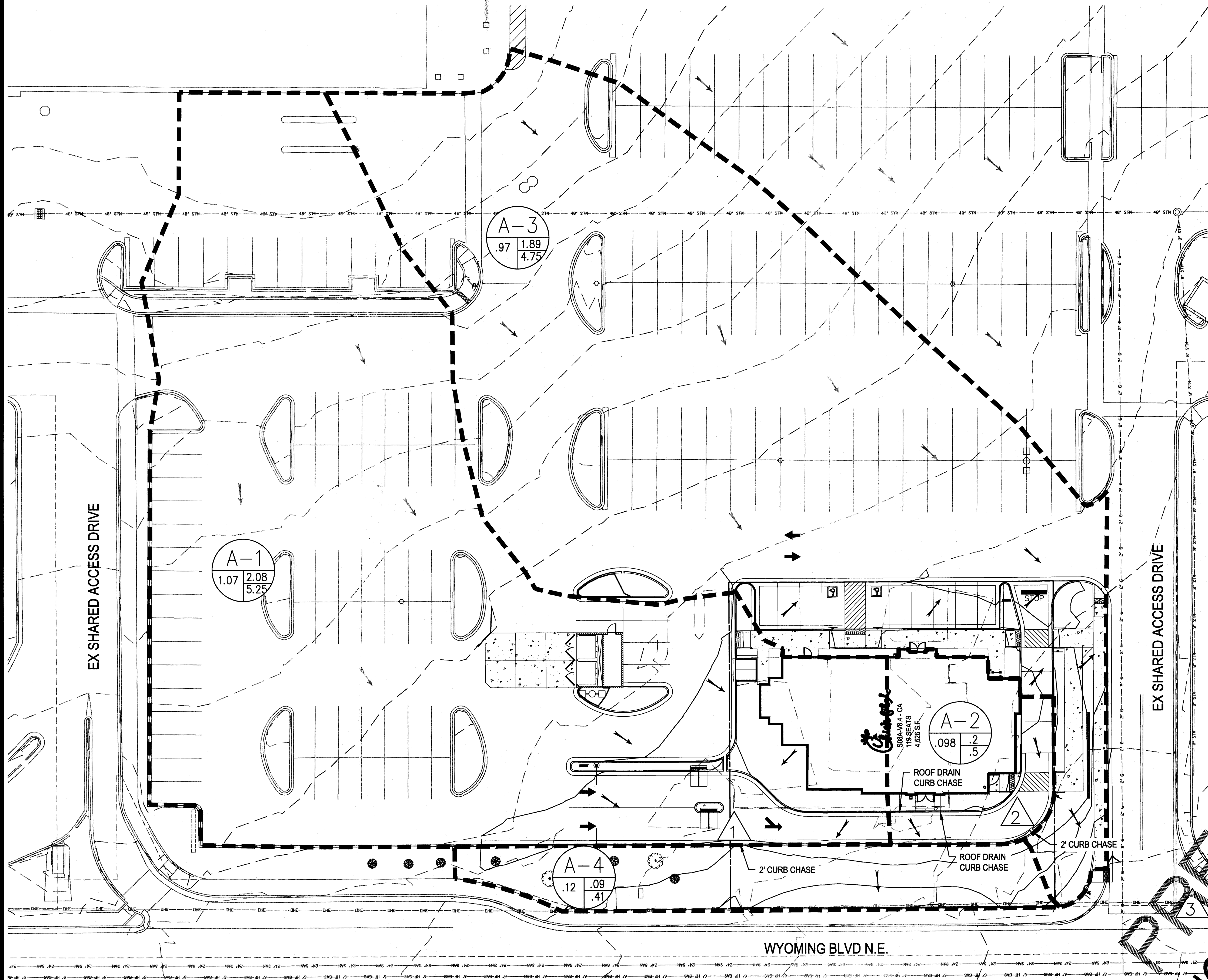
GENERAL NOTES

DWG EDITION ---

Job No. : 65118374
Store : 03484
Date : 12/15/14
Drawn By : JD
Checked By: TDK

Sheet

C-1.0



LEGEND:

- 5555 — PROPOSED MAJOR CONTOUR
- 5555 — PROPOSED MINOR CONTOUR
- - 5555 - - EXISTING MAJOR CONTOUR
- - 5555 - - EXISTING MINOR CONTOUR
- FLOW ARROWS
- OFFSITE FLOW ARROWS
- — — — — PROPERTY LINE
- - - - - DRAINAGE BASIN BOUNDARY LINE
- △ DESIGN POINT

- △ A-1 BASIN IDENTIFICATION
- △ A-1 BASIN Q2
- △ A-1 BASIN Q100
- △ A-1 BASIN AREA (ACRES)

| Basin | Land Treatment (ac) | | | |
|-------|---------------------|---|-------|-------|
| | A | B | C | D |
| A-1 | 0 | 0 | 0.08 | 0.99 |
| A-2 | 0 | 0 | 0.01 | 0.092 |
| A-3 | 0 | 0 | 0.067 | 0.9 |
| A-4 | 0 | 0 | 0.12 | 0 |

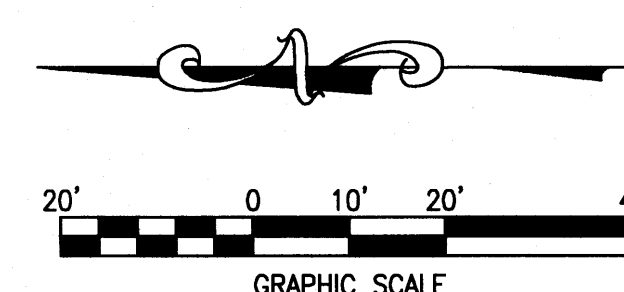
| Developed Runoff Summary Table | | | | |
|--------------------------------|------|------|------|------|
| | A-1 | A-2 | A-3 | A-4 |
| 100 YR PEAK RUNOFF (cfs) | 5.25 | 0.50 | 4.75 | 0.41 |
| 10 YR PEAK RUNOFF (cfs) | 3.52 | 0.33 | 3.19 | 0.24 |
| 2 YEAR PEAK RUNOFF (cfs) | 2.08 | 0.20 | 1.89 | 0.09 |

DRAINAGE NARRATIVE DESCRIPTION

THE SITE IS CURRENTLY A BANK WITH LANDSCAPE ISLANDS SEPARATING WYOMING BLVD FROM THE BUILDING. THE SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST TOWARDS WYOMING BLVD. EXISTING SLOPES WITHIN THE PARKING ARE LESS THAN 3%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS OVER THE SIDEWALK IN THE SOUTHWEST CORNER INTO WYOMING BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE. AN EXISTING INLET IS LOCATED IN WYOMING BLVD APPROXIMATELY 125' SOUTH OF THE PROPERTY LINE.

THE PROPOSED GRADING WILL AND SITE IMPROVEMENTS ARE CONSISTENT WITH THE EXISTING SITE CONDITIONS. DEVELOPED RUNOFF WILL CONTINUE TO FLOW FROM NORTHEAST TO SOUTHWEST, AND DRAIN DIRECTLY INTO WYOMING BLVD. DRAINAGE FROM BASINS A-1, A-2, AND A-3 WILL BE CONVEYED TO THE WYOMING BLVD RIGHT-OF-WAY THROUGH A LANDSCAPE BUFFER. DUE TO THE EXISTING ELEVATION DIFFERENCE BETWEEN THE NORTHEAST CORNER OF THE PROPERTY AND THE SOUTHWEST CORNER OF THE PROPERTY, PROVIDING RAINWATER HARVESTING IS NOT POSSIBLE.

THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.



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NM811
OR
1-888-NM-GAS-CO
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TROY D. KELTS
NEW MEXICO
22102
Professional Engineer
For and on Behalf of
Merrick & Company

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
CHICK-FIL-A
FSU #03484
WYOMING BLVD.

2274 WYOMING BLVD.
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87112

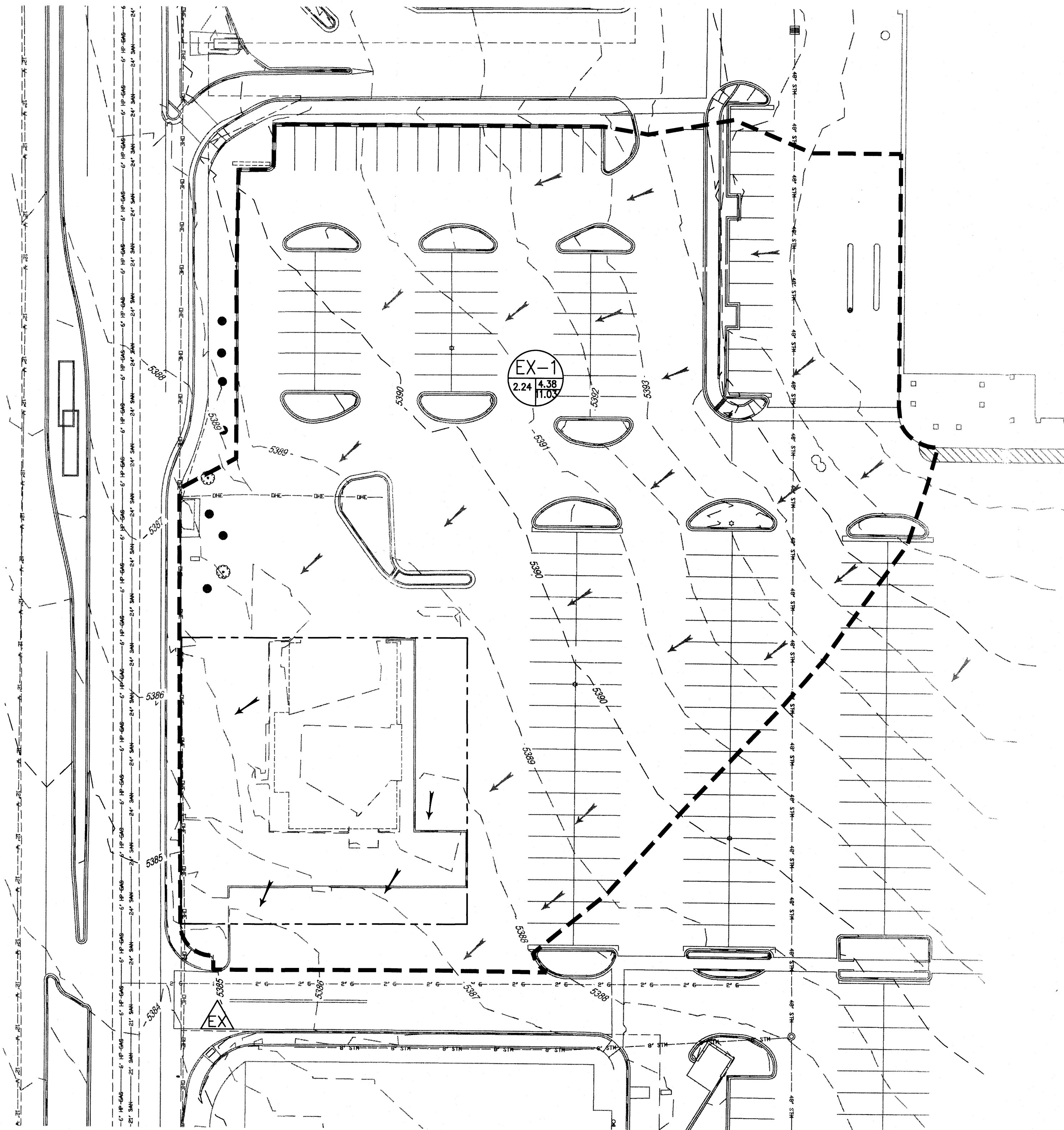
SHEET TITLE

DRAINAGE MAP

DWG EDITION

Job No. : 65118374
Store : 03484
Date : 12/15/14
Drawn By : JD
Checked By : TDK

Sheet
DN-1.0



LEGEND:

- 5555 — PROPOSED MAJOR CONTOUR
- 5555 — PROPOSED MINOR CONTOUR
- - 5555 - - EXISTING MAJOR CONTOUR
- - 5555 - - EXISTING MINOR CONTOUR
- FLOW ARROWS
- OFFSITE FLOW ARROWS
- PROPERTY LINE
- - - DRAINAGE BASIN BOUNDARY LINE
- △ DESIGN POINT

- △ BASIN IDENTIFICATION
- △ BASIN Q2
- △ BASIN Q100
- △ BASIN AREA (ACRES)

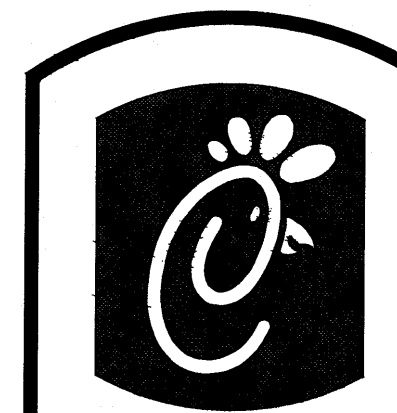
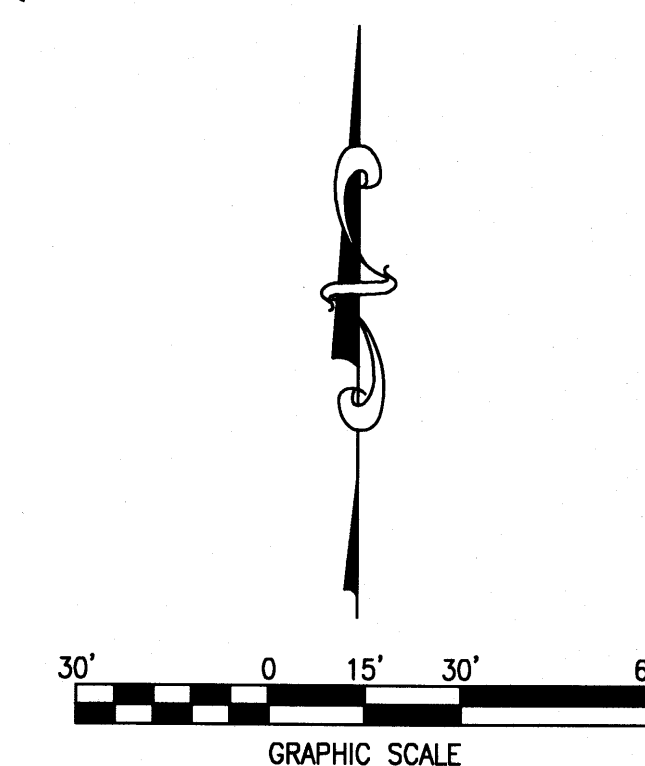
NOTES

1. SEE SHEET C1.0 FOR GENERAL NOTES AND LEGEND

| Basin | Land Treatment (ac) | | | |
|-------|---------------------|---|------|------|
| | A | B | C | D |
| EX-1 | 0 | 0 | 0.17 | 2.08 |

| Existing Runoff Summary Table | |
|-------------------------------|-------|
| | Basin |
| 1 YEAR PEAK RUNOFF (cfs) | 11.03 |
| 10 YEAR PEAK RUNOFF (cfs) | 7.39 |
| 2 YEAR PEAK RUNOFF (cfs) | 4.38 |

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STORE
CHICK-FIL-A
FSU #03484
WYOMING BLVD.

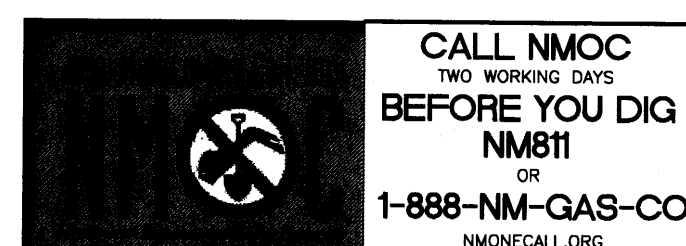
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ALBUQUERQUE, NM
87112

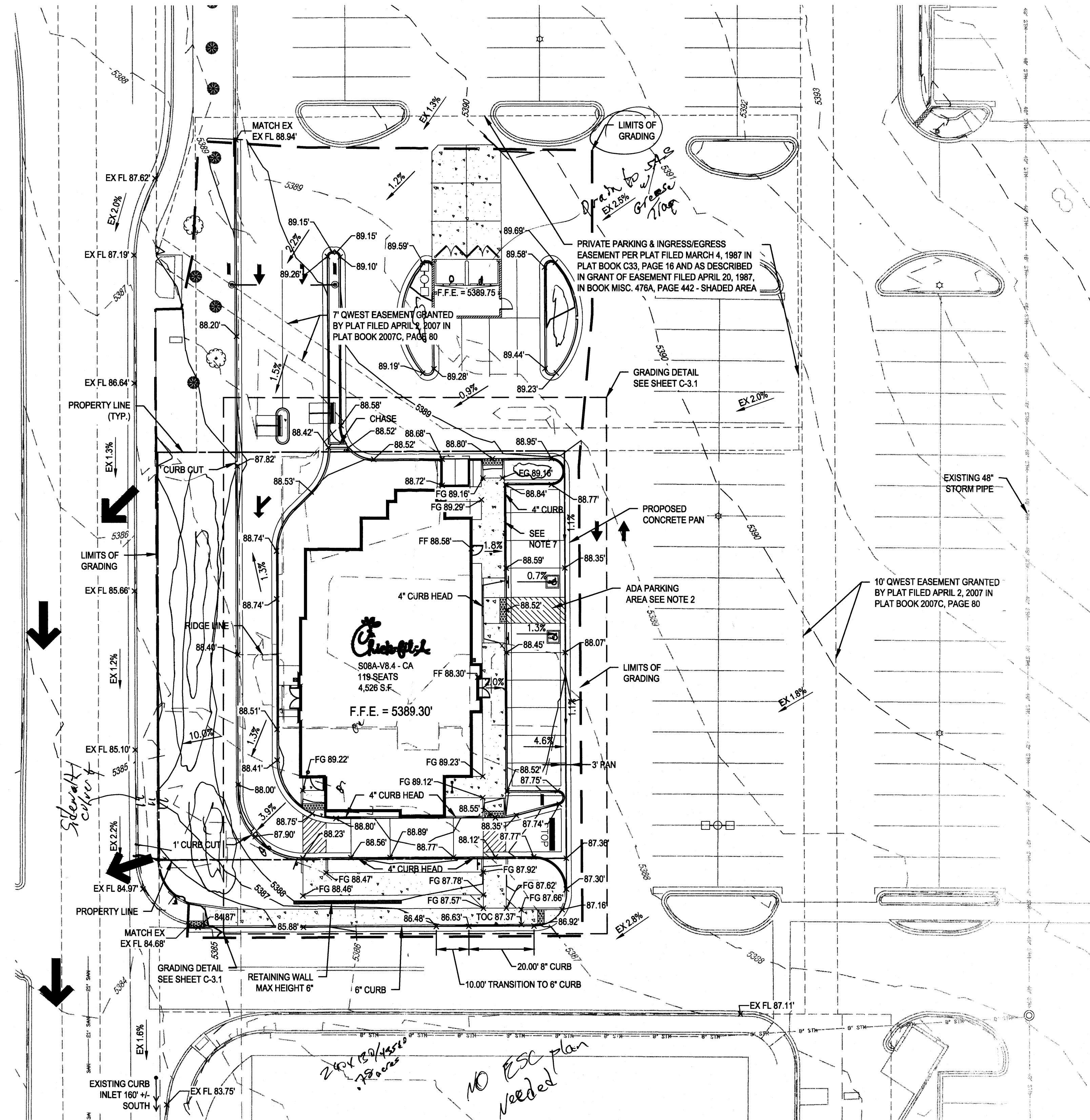
SHEET TITLE
**EXISTING
DRAINAGE MAP**

DWG EDITION ---

Job No. : 65118374
Store : 03484
Date : 12/15/14
Drawn By : JD
Checked By: TDK

Sheet
EXDN-1.0





LEGEND:

| | |
|----------------|----------------------------------|
| --- | LIMITS OF GRADING |
| --- | PROPOSED MAJOR CONTOUR |
| --- | PROPOSED MINOR CONTOUR |
| --- | EXISTING MAJOR CONTOUR |
| --- | EXISTING MINOR CONTOUR |
| FL 69.41' x | FLOWLINE SPOT ELEVATION |
| FF 70.50' x | FINISHED FLOOR SPOT ELEVATION |
| FG 70.39' x | FINISHED GRADE SPOT ELEVATION |
| TC 70.50' x | TOP OF CURB SPOT ELEVATION |
| EG 69.57' x | EXISTING GRADE SPOT ELEVATION |
| EX FL 70.18' x | EXISTING FLOWLINE SPOT ELEVATION |
| 1.1% | PROPOSED SLOPE ARROWS |
| EX 0.5% | EXISTING SLOPE ARROWS |
| ← | EMERGENCY OVERFLOW PATHWAY |

NOTES

1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
2. ALL ELEVATIONS SHOWN ARE 53XX.XX'
3. ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
4. ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
5. REFER TO SHEET 4 - UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
6. CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
7. ALL CURB TO BE 6" UNLESS SPECIFIED OTHERWISE
8. TRANSITION FROM 4" CURB HEAD TO 6" CURB HEAD IN THIS AREA

DRAINAGE NARRATIVE DESCRIPTION

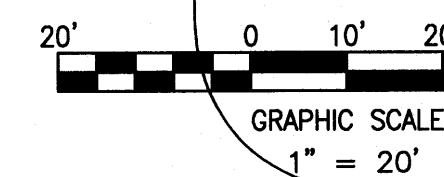
THE SITE IS CURRENTLY A BANK WITH LANDSCAPE ISLANDS SEPARATING WYOMING BLVD FROM THE BUILDING. THE SITE GENERALLY SLOPES FROM NORTHEAST TO SOUTHWEST TOWARDS WYOMING BLVD. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 3%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THE STORM WATER SHEET FLOWS ACROSS THE SITE AND SPILLS OVER THE SIDEWALK IN THE SOUTHWEST CORNER INTO WYOMING BLVD. THERE IS NO INLET LOCATED WITHIN THE SITE. AN EXISTING INLET IS LOCATED IN WYOMING BLVD APPROXIMATELY 225' SOUTH OF THE PROPERTY LINE.

THE PROPOSED GRADING WILL AND SITE IMPROVEMENTS ARE CONSISTENT WITH THE EXISTING SITE CONDITIONS. DEVELOPED RUNOFF WILL CONTINUE TO FLOW FROM NORTHEAST TO SOUTHWEST, AND DRAIN DIRECTLY INTO WYOMING BLVD. DRAINAGE FROM BASINS A-1, A-2, AND A-3 WILL BE CONVEYED TO THE WYOMING BLVD RIGHT-OF-WAY THROUGH A LANDSCAPE BUFFER. DUE TO THE EXISTING ELEVATION DIFFERENCE BETWEEN THE NORTHEAST CORNER OF THE PROPERTY TO THE SOUTHWEST CORNER OF THE PROPERTY, PROVIDING RAINWATER HARVESTING IS NOT POSSIBLE.

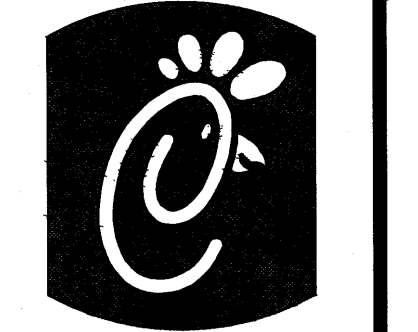
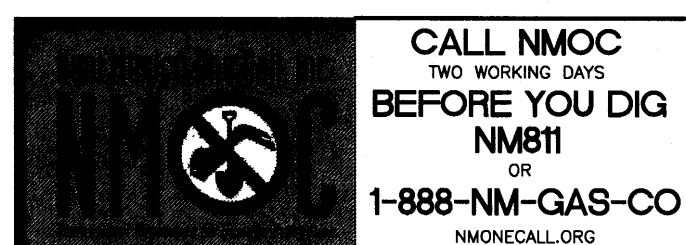
THE PROPOSED SITE WILL INCREASE THE AMOUNT OF PERVIOUS AREA FROM THE EXISTING CONDITIONS, AND DECREASE THE OVERALL DEVELOPED RUNOFF FROM THE PROPERTY TO THE WYOMING BLVD. RIGHT-OF-WAY.

*Shaw's vicinity B.
Show Firmette on frame
Not in SFHA.
Show cake for runoff
Legal Description*

*Barb map
Show Cales. for existing
flows and proposed flows
Follow DT # Chapter 22
Depress landscape Areas
Run flows through these areas
Mention First Flood on Plans
First .34" of rain x Impervious area.*



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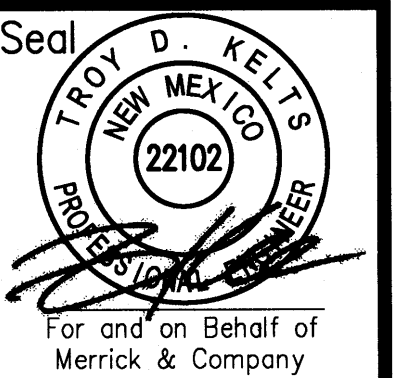
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WYOMING BLVD.

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ALBUQUERQUE, NM
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SHEET TITLE

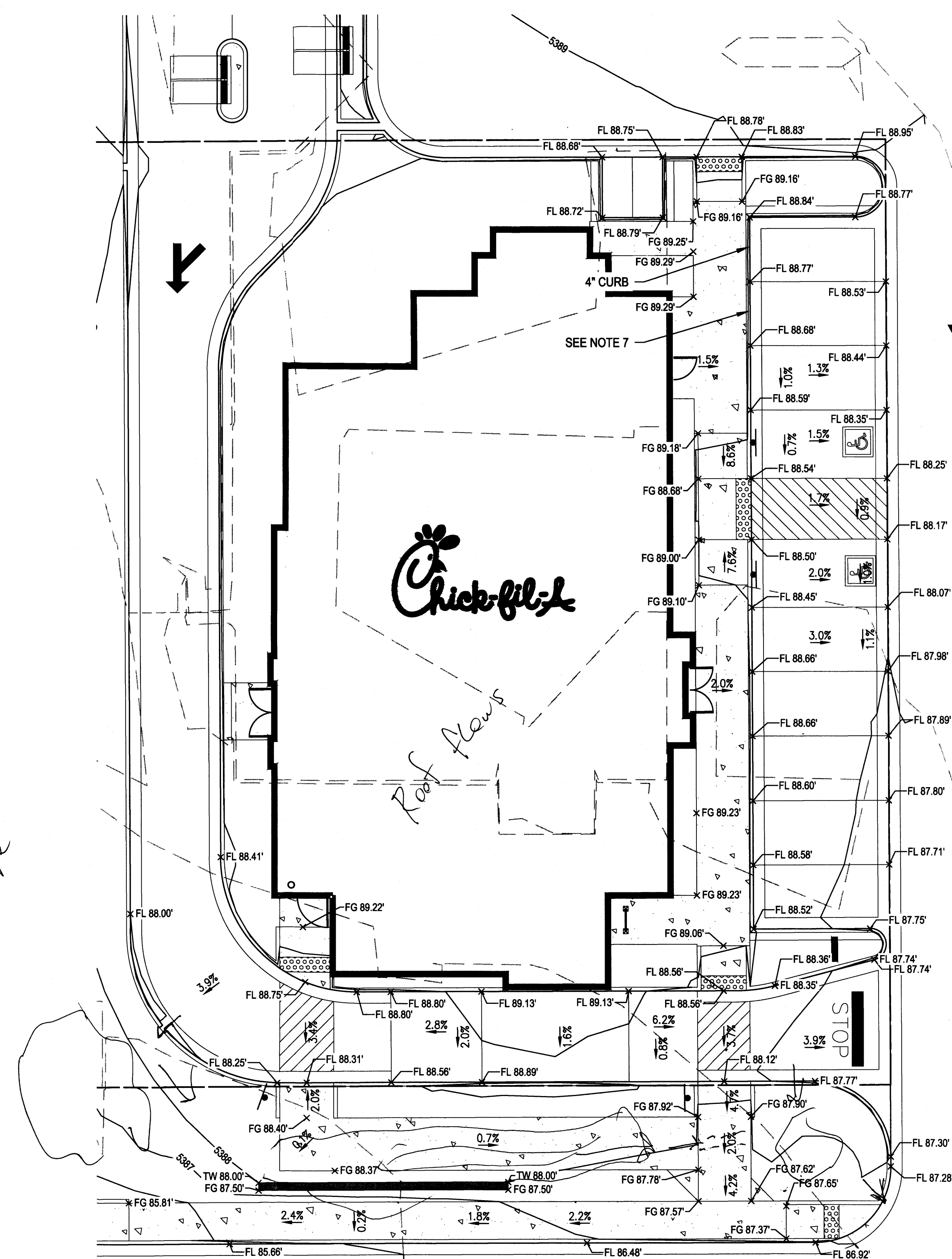
GRADING PLAN

DWG EDITION ---

Job No. : 65118374
Store : 03484
Date : 12/15/14
Drawn By : JD
Checked By : TDK

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C-3.0

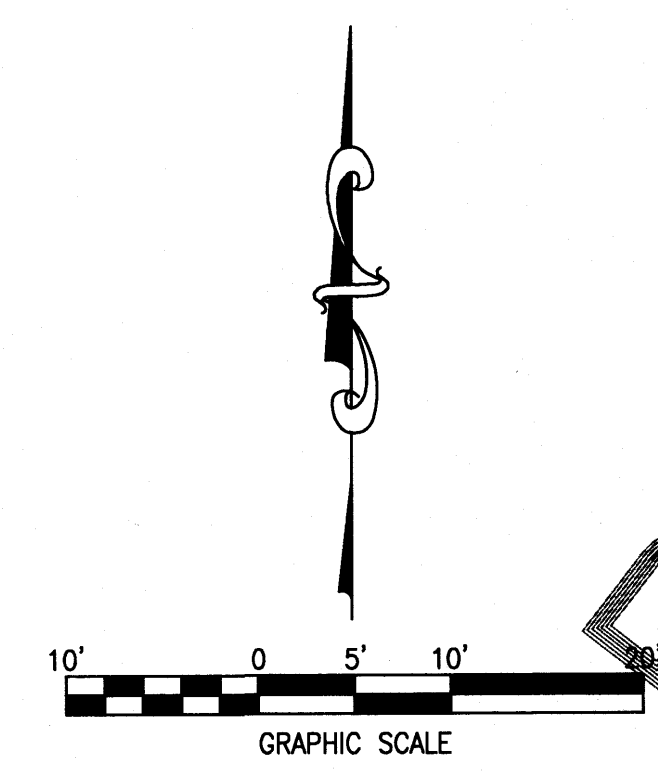


LEGEND:

- 5470 — PROPOSED MAJOR CONTOUR
- 5469 — PROPOSED MINOR CONTOUR
- 5470 — EXISTING MAJOR CONTOUR
- 5469 — EXISTING MINOR CONTOUR
- FL 69.41' x FLOWLINE SPOT ELEVATION
- FF 70.50' x FINISHED FLOOR SPOT ELEVATION
- FG 70.39' x FINISHED GRADE SPOT ELEVATION
- TC 70.50' x TOP OF CURB SPOT ELEVATION
- EG 69.57' x EXISTING GRADE SPOT ELEVATION
- EX FL 70.18' x EXISTING FLOWLINE SPOT ELEVATION
- 1.1% PROPOSED SLOPE ARROWS
- 0.5% EXISTING SLOPE ARROWS
- ← EMERGENCY OVERFLOW PATHWAY

NOTES

1. REFER TO SHEET C-1.0 FOR GENERAL NOTES AND LEGEND.
2. ALL ELEVATIONS SHOWN ARE 53XX.XX'
3. ELEVATIONS SHOWN ARE FLOWLINE UNLESS SPECIFIED OTHERWISE
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7. ALL CURB TO BE 6" UNLESS SPECIFIED OTHERWISE
8. TRANSITION FROM 4" CURB HEAD TO 6" CURB HEAD IN THIS AREA



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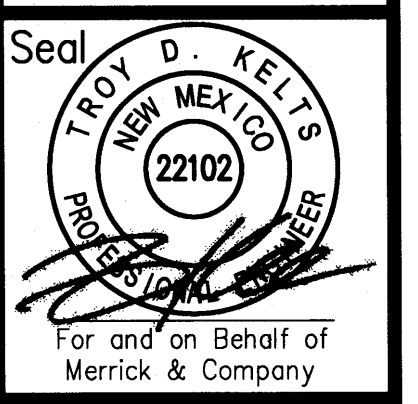
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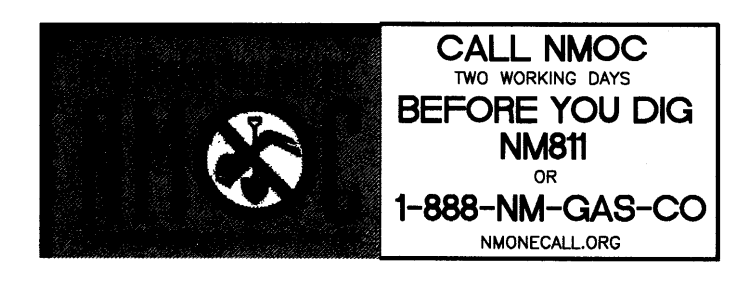
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SHEET TITLE
**GRADING
DETAIL**

DWG EDITION —

Job No. : 65118374
Store : 03484
Date : 12/15/14
Drawn By : JD
Checked By: TDK

Sheet
C-3.1

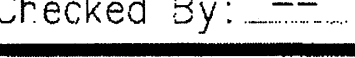




NOT TO SCALE


$$1'' = 20' - 0''$$
**VICINITY MAP (Zone Atlas Grid 19)**

NOT TO SCALE



1