

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 24, 2023

Regina Okoye
Modulus Architects
100 Sun Ave. NE
Albuquerque, NM 87109

Re: Raising Cane's #705/ 2004 Wyoming Blvd. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 07-21-2022 (H20-D003D)
Certification dated 04-05-23

Dear Ms. Okoye,

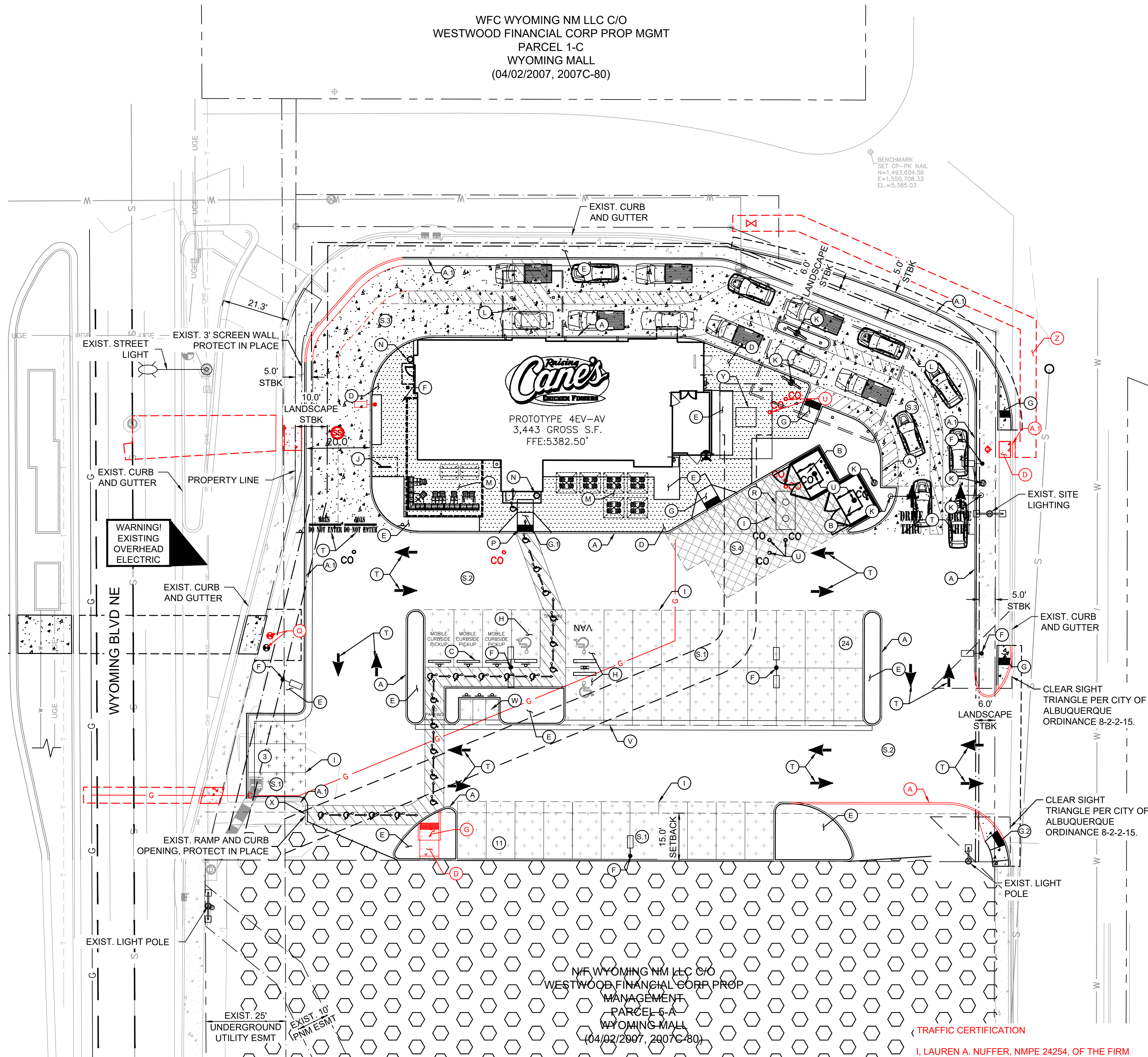
Based upon the information provided in your submittal received 04-07-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- EXISTING STRUCTURES AND OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED FEBRUARY 2021.
- ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
- PER FEMA MAP NUMBER 35001C0356H DATED AUGUST 16, 2012, THIS SITE IS NOT WITHIN A FLOODPLAIN.
- BUILDING IS FIRE SPRINKLED.
- CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- SIDEWALK WIDTH WAIVER VA-2022-00132 PROPOSING A REDUCED SIDEWALK WIDTH HAS BEEN APPROVED.

COORDINATE AND DIMENSION INFORMATION

STATE PLANE ZONE:
GRID/GROUND COORDINATES:
TYPE:
HORIZONTAL DATUM:
VERTICAL DATUM:
ROTATION ANGLE:
MATCHES DRAWING UNITS:
CONTROL USED:
REFERENCE SYSTEM:
COMBINED SCALE FACTOR:

NM-C
GRID
STANDARD
NAD83
NAVD88
0°00'00.00"
YES
ALBUQUERQUE GEODETIC

GRID TO GROUND: 1.000348716
GROUND TO GRID: 0.999651406
GRID
N=0
E=0
±0.0'
YES

DISTANCE ANNOTATION:
BEARING ANNOTATION:
BASE POINT FOR SCALING AND/OR ROTATION:
ELEVATION TRANSLATION:
ELEVATIONS VALID:

LEGEND

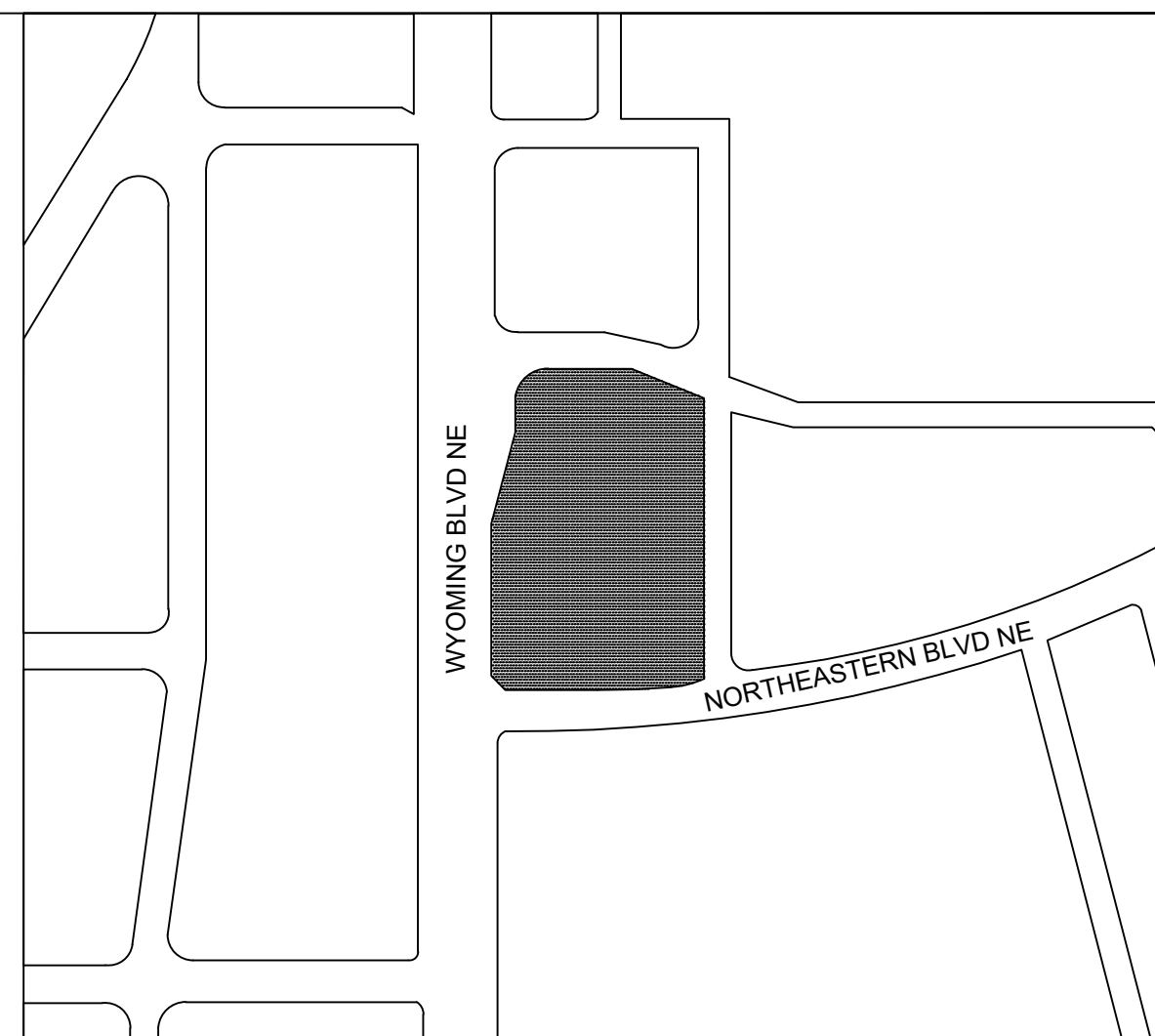
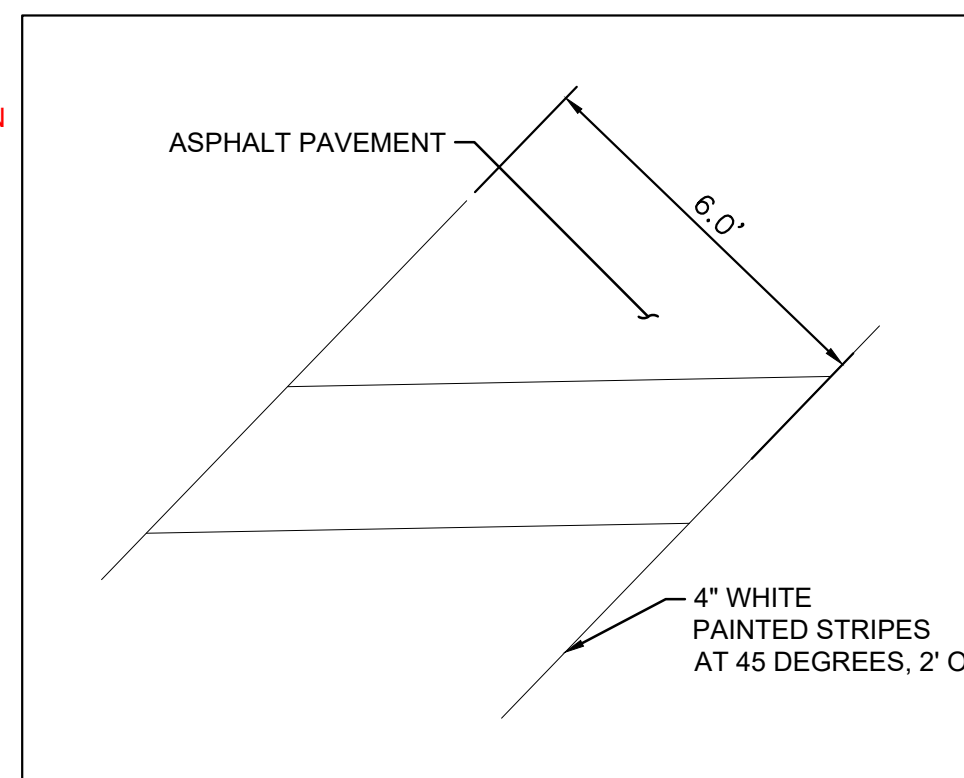
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT/SETBACK
- PROPOSED SAWCUT
- PROPOSED CONCRETE CURB
- EXISTING CURB
- PROPOSED PARKING COUNT
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE SIDEWALK
- 3" STANDARD DUTY PAVEMENT REFERENCE PAVEMENTS DETAILS
- 4" MEDIUM DUTY PAVEMENT REFERENCE PAVEMENT DETAILS
- INTEGRAL COLORED 6" STANDARD DUTY CONCRETE PAVEMENT REFERENCE PAVEMENT DETAILS
- 6" HEAVY DUTY CONCRETE PAVEMENT REFERENCE PAVEMENT DETAILS
- ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

PARKING / SITE DATA PER IDO

PORTION OF PARCEL 5-A WYOMING MALL	
EXISTING ZONING	MIXED USE (MX-M)
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	43,755 SF / 1.00 AC
BUILDING AREA	3,443 SF
FINISHED FLOOR ELEVATION	5,382.5 FT
IMPERVIOUS AREA	36,985 SF
LOT COVERAGE	84.5%
TOTAL PARKING	REQUIRED 30 SPACES PROVIDED 38 SPACES
ACCESSIBLE	2 SPACES 3 SPACES
MOTORCYCLE	2 SPACES 3 SPACES
BICYCLE	3 SPACES 5 SPACES
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES / 1,000 SF INDOOR AND 5 SPACES / 1,000 SF OF OUTDOOR SPACE.	

DIMENSION NOTES

- ALL CURB RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



VICINITY MAP N.T.S

KEYNOTE LEGEND

(A)	CONSTRUCT 6" TYPE 1 PINNED CURB, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAILS ON SHEET C9.0
(A1)	STANDARD CURB AND GUTTER, SEE DETAIL ON SHEET C9.0
(B)	RECYCLING/TRASH DUMPSTER LOCATION, REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY
(C)	WHEEL STOPS, SEE DETAIL ON SHEET C8.0
(D)	PRIVATE CONCRETE SIDEWALK, SEE DETAIL ON SHEET C8.0
(E)	LANDSCAPE AREA, REFER TO LANDSCAPE PLANS
(F)	SITE LIGHTING, REFER TO LIGHTING PLANS FOR DETAILS
(G)	BARRIER FREE RAMP, SEE DETAIL ON SHEET C8.0
(G1)	PERPENDICULAR CURB RAMP, REFER TO CITY OF ALBUQUERQUE DPM SECTION 7-4(E)(1)(vii)
(G2)	CURB RAMP ACCESS, REFER TO CITY OF ALBUQUERQUE CONSTRUCTION DETAIL 2441 ON SHEET C9.0
(H)	ACCESSIBLE PARKING STALL
(I)	PAVEMENT STRIPING, REFER TO SHEET C5.2
(J)	BICYCLE RACK PARKING RACK, REFER TO LANDSCAPE PLANS FOR DETAILS
(K)	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(L)	CANOPY, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(M)	PROPOSED PATIO, REFER TO ARCHITECTURAL PLANS FOR SEATING AND SPACING LAYOUT
(N)	PROPOSED TRASH CAN, REFER TO ARCHITECTURAL SITE DETAILS
(O)	BOLLARD IN CURB, REFER TO ARCHITECTURAL PLANS FOR DETAILS
(P)	INSTALL TRUNCATED DOMES, 2' MIN WIDTH FROM PAVEMENT
(Q)	PROPOSED WATER METER/STRUCTURE, REFER TO SHEET C7.0
(R)	GREASE TRAP, REFER TO ARCHITECTURAL/MEP PLANS FOR DETAILS
(S1)	3" STANDARD DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C8.0
(S2)	4" MEDIUM DUTY ASPHALT PAVEMENT, SEE DETAIL ON SHEET C8.0
(S3)	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) 6" STANDARD DUTY CONCRETE PAVEMENT AT DRIVE-THRU, SEE DETAIL ON SHEET C8.0
(S4)	6" HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL ON SHEET C8.0
(T)	DIRECTIONAL PAVEMENT MARKING, REFER TO SHEET C5.2
(U)	ADJUST SEWER CLEANOUT TO GRADE
(V)	CONSTRUCT CONCRETE VALLEY GUTTER, PER COA STANDARD DETAIL 2422, SECTION Y-Y, 3' WIDTH
(W)	MOTORCYCLE PARKING AND SIGNAGE
(X)	BIKEWAY AND PEDESTRIAN ACCESS
(Y)	PAD-MOUNTED TRANSFORMER
(Z)	ASPHALT PAVEMENT PER CITY OF ALBUQUERQUE STANDARD DETAIL 2465



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-765-3100 Fax: 972-769-3101

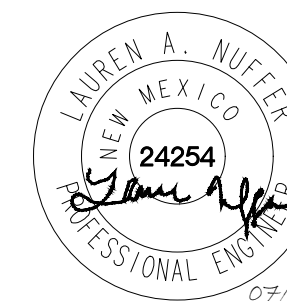
Store:
2004 WYOMING BLVD. NE.
ALBUQUERQUE, NM 87112
Restaurant #RC705
P4E-V-AV SCHEME A

Engineer's Information:

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
13455 Noel Road
Two Galleria Office Tower
Suite 700
Dallas, TX 75240
CONTACT: LAUREN NUFFER, P.E.
(972) 770-1300
LAUREN.NUFFER@KIMLEY-HORN.COM
LIZ.WILLMOT@KIMLEY-HORN.COM

Professional of Record:



Prototype : P4E-V- AV 2021 - 2.0 RELEASE

Prototype Issue Date: 10.05.2021

Kitchen Issue Date: --

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

FOR CONSTRUCTION

REVISIONS:

1	10/14/2021	DRY UTILITY COORDINATION
2	11/05/2021	CITY COMMENT & PROTOTYPE
3	11/17/2021	CITY COMMENT & PROTOTYPE
4	12/20/2021	CITY COMMENT
5	08/03/2022	RTU UPDATED
6	09/21/2022	RFI #1
7	10/05/2022	CURB DETAILS
8		
9		

Sheet Title:

SITE KEYNOTE PLAN

Date: 09.06.2022

Project Number: 069313444

Drawn By: JH/LW

Sheet Number:

C5.0(R)



04/05/2023