

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 17, 2024

Elizabeth Anne Willmot, P.E
Kimley-Horn
1201 3rd Ave., Suite 2800
Seattle, WA 98101

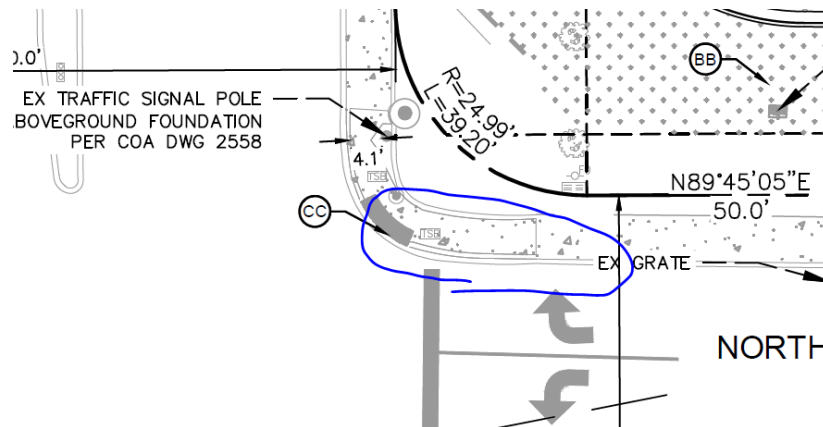
Re: Starbucks/ 2004 Wyoming Blvd. NE
1825 Edith Blvd. NE
60-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 02-26-24 (H20-D003E)
Certification dated 02-26-24

Dear Ms. Willmot,

Based upon the information provided in your submittal received 10-03-24, Transportation Development has no objection to a 60-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Provide "MC" pavement marking for the Motorcycle parking spaces.
- Anchor down Bike Racks.
- The corner ramp at the corner of Wyoming blvd and Northeastern Blvd.: This ramp must be updated to the current ADA standard and has truncated domes installed. The running slope for this existing ramp is ranged between 12% and 9.9%, while the running slope for the ADA ramp should not exceed 8.3% per city standard. Also, due to the existing Traffic box, please contact the Traffic engineering department/ Traffic signal section.



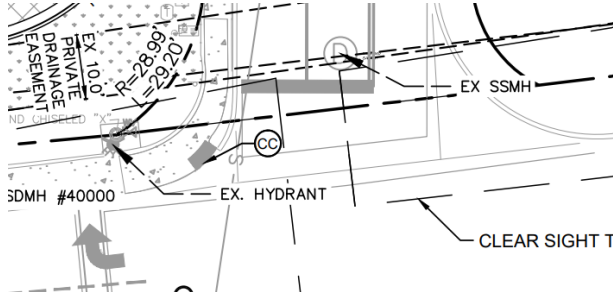
- Keynote CC: Per the approved site plan, a truncated dome must be installed at the ramp off Northeastern Blvd. and private site access.

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- Per approved site plan, a cracked and broken sidewalk must be replacing with sidewalk per city standard 2430.
- Keynote AA: Please provide "STOP" "DO NOT ENTER" sign at the exit of the drive thru-lane.

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

PO Box 1293

If you have any questions, please contact me at (505) 924-3675.

Albuquerque

Sincerely,

Marwa Al-najjar

NM 87103

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Ma via: email

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

[illegible]

SITE BENCHMARKS

⊕ BENCHMARK #1*








A.G.R.S. MONUMENT "13_H21"
NORTHING: 1,496,268.794
EASTING: 1,555,770.607
ELEVATION: 5499.574 (NAVD 1988)
GROUND TO GRID FACTOR: 0.999649002
DELTA ALPHA ANGLE: -0°09'46.08"







⊕ BENCHMARK #2*

A.G.R.S. MONUMENT "14_H20"
NORTHING: 1,495,141.625
EASTING: 1,551,771.675
ELEVATION: 5415.798 (NAVD 1988)
GROUND TO GRID FACTOR: 0.999538310
DELTA ALPHA ANGLE: -0°10'13.69"

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL CURB RADII ARE TO BE 10' OR 3' UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
4. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
5. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED OCTOBER 2022.
6. ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY OF ALBUQUERQUE STANDARDS.
7. PER FEMA MAP NUMBER 35001C0356H DATED AUGUST 16, 2012, THIS SITE IS NOT WITHIN A FLOODPLAIN.
8. BUILDING IS FIRE SPRINKLED.
9. CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.
11. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
11. ALL BROKEN OR CRACKED SIDEWALK ADJACENT TO THE PROPERTY LIMITS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAILS.

The site plan illustrates the proposed development area, bounded by Wyoming Boulevard NE (100' Public Row) to the north and east. The plan shows a parking lot with 10 spaces, a building footprint, and various easements and setbacks. A north arrow is located in the upper right corner, and a scale bar indicates a length of 127 feet. The plan also shows the intersection of the site with a street, with a clear sight triangle marked for landscaping and signing requirements.

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT/SETBACK
	PROPOSED CONCRETE CURB
	EXISTING CURB
	PROPOSED PARKING COUNT
	PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C7.0

	PROPOSED STANDARD DUTY CONCRETE. SEE DETAIL ON SHEET C7.0.
	PROPOSED HEAVY DUTY CONCRETE. SEE DETAIL ON SHEET C7.0.
	PROPOSED STANDARD DUTY ASPHALT. SEE DETAIL ON SHEET C7.0.
	PROPOSED HEAVY DUTY ASPHALT. SEE DETAIL ON SHEET C7.0.
	PROPOSED LANDSCAPE. SEE LANDSCAPE PLAN.
	ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

CLEAR SIGHT TRIANGLE INSET
SCALE: 1"=50'

A	WHEEL STOPS. SEE DETAIL ON SHEET C7.0.
B	MOTORCYCLE PARKING AND SIGNAGE. SEE DETAIL ON SHEET C4.2.
C	BICYCLE PARKING RACK. REFER TO LANDSCAPE SHEET L3.0 FOR DETAILS.
D	ACCESSIBLE PARKING STALL AND SIGNAGE. SEE DETAIL ON SHEET C4.2.
E	VAN ACCESSIBLE PARKING STALL AND SIGNAGE. SEE DETAIL ON SHEET C4.2.
F	BIKEWAY AND PEDESTRIAN ACCESS.
G	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCH. PLANS.
H	DRIVE THRU PRE-MENU BOARD. REFER TO STARBUCKS SIGNAGE VENDOR.
I	DRIVE THRU ORDER BOARD. REFER TO STARBUCKS SIGNAGE VENDOR.
J	DRIVE THRU HEIGHT DETECTOR. REFER TO STARBUCKS SIGNAGE VENDOR.
K	PROPOSED BOLLARD. SEE DETAIL ON SHEET C7.1.
L	DRIVE THRU SIGNAGE. REFER TO STARBUCKS SIGNAGE VENDOR.
M	CONCRETE SIDEWALK. SEE DETAIL ON SHEET C7.0.
N	LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
O	ELECTRICAL PANEL. REFER TO MEP PLANS.
P	PROPOSED CURB RAMP. SEE DETAIL ON SHEET C7.0.
Q	PROPOSED CURB AND GUTTER. SEE DETAIL ON SHEET C7.0.
R	PAVEMENT STRIPING. SEE DETAILS ON SHEET C4.2.
S	DRIVE-THRU THANK YOU/EXIT ONLY SIGN. REFER TO STARBUCKS SIGNAGE VENDOR.
T	MENU BOARD. REFER TO STARBUCKS SIGNAGE VENDOR.
U	BUILDING OVERHANG. REFER TO ARCH. PLANS.
V	SITE LIGHTING. REFER TO MEP PLANS.
W	PROPOSED CAST-IN-PLACE CONCRETE CURB. SEE DETAIL ON SHEET C7.1.
X	PROPOSED VALLEY GUTTER
Y	DRIVE-THRU ENTRY PAVEMENT ARROW. STARBUCKS PROTOTYPICAL DETAIL.
Z	"DO NOT ENTER" PAVEMENT MARKING. STARBUCKS PROTOTYPICAL DETAIL.
AA	STOP BAR. STARBUCKS PROTOTYPICAL DETAIL..
BB	ANGLED NO PARKING STRIPING. SEE DETAIL ON SHEET C4.2.
CC	INSTALL DETECTABLE WARNING. SEE DETAIL ON SHEET C7.1.
DD	PROPOSED SCREEN WALL. REFER TO ARCH. PLANS.
EE	PROPOSED CONCRETE PAD. SEE DIMENSIONS ON SHEET C4.1.

STATE PLANE ZONE:	NM-C
GRID/GROUND COORDINATES:	GRID
TYPE:	STANDARD
HORIZONTAL DATUM:	NAD83
VERTICAL DATUM:	NAD83
ROTATION ANGLE:	0°00'00.00"
MATCHES DRAWING UNITS:	YES
CONTROL USED:	ALBUQUERQUE GEODETIC REFERENCE SYSTEM
COMBINED SCALE FACTOR:	GRID TO GROUND: 1.000348716 GROUND TO GRID: 0.999651406
DISTANCE ANNOTATION:	GROUND
BEARING ANNOTATION:	GRID
BASE POINT FOR SCALING AND/OR ROTATION:	N=0 E=0
ELEVATION TRANSLATION:	±0.00'
ELEVATIONS VALID:	YES

PARKING / SITE DATA PER IDO		
PORTION OF PARCEL 5-A WYOMING MALL		
EXISTING ZONING	MIXED USE (MX-M)	
PROPOSED USE	RESTAURANT W/ DRIVE-THRU	
LOT AREA	44,381 SF / 1.02 AC	
BUILDING AREA	2,505 SF	
FINISHED FLOOR ELEVATION	5382.75	
IMPERVIOUS AREA	27,018.28 SF / 0.62 AC	
LOT COVERAGE	5.63%	
	REQUIRED	PROVIDED
TOTAL PARKING	19 SPACES	27 SPACES
ACCESSIBLE	1 SPACE	2 SPACES
MOTORCYCLE	1 SPACE	2 SPACES
BICYCLE	3 SPACES	4 SPACES
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES / 1,000 SF INDOOR.		

I, ELIZABETH ANNE WILLMOT, NMPE 28862, OF THE FIRM KIMLEY-HORN AND ASSOCIATES, INC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 06/27/2023. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 08/05/2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURFACE DATA PRESENTED BY THE REPRESENTATIVE INITIAL SITE PLAN IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED SITE PLAN AND CONDITIONS WITH MINOR MODIFICATION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY (FINAL C.O.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

ELIZABETH ANNE WILLMOT, NMPE 28862



CONTRACTOR IS TO VERIFY
PRESENCE AND EXACT
LOCATION OF ALL UTILITIES
PRIOR TO CONSTRUCTION.



KHA PROJECT
090100000
DATE
02/26/2024
SCALE AS SHOWN
DESIGNED BY NW/SP
DRAWN BY NW/SP
CHECKED BY LW

SITE KEYNOTE PLAN

**STARBUCKS COFFEE
COMPANY**
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575



SHEET NUMBER
C4.0(R)

LEGAL DESCRIPTION

A lease site lying and situate within parcel five-A (5-A) of the plat of parcels 1-A, 1-B, and 4-A & 5-A of Wyoming Mall, Albuquerque, Bernalillo County, New Mexico, being a replat of parcels one (1), four (4) and five (5) of the Wyoming Mall comprising a portion of block "A", Snow Heights addition to the city of Albuquerque, Bernalillo County, New Mexico, as same is shown and designated on the replat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 2, 2007, in Plat Book 2007C, Page 80, as Document No. 2007049612.