

PLAN SHOT IN TWO SECTIONS.

NOTES

1. STRUCTURAL STEEL COLUMN - REFER TO
2. ASPHALT PAVING (N.I.C.)
3. TOILED JOINTS AT 2" O.C. AND 4" WIDE SPACES
4. PAINTED TRAFFIC LINE YELLOW BY SECTION 110
5. AT ALL CONCRETE CAST KAPPA
6. EXPANSION JOINT - REFER TO DETAIL 03/01
7. CONCRETE SIDEWALK - REFER TO FINISH PLAN
8. UNGRADED PLANE JOINT - REFER TO DETAIL 04/01
9. TRANSITION JOINT FLOOR BY SECTION 110
10. TOP OF SECTION 110
11. CONCRETE FOOTING, SLOPE TOP 1/4" BY SECTION 110
12. 4" TIES AT 12" O.C. BY SECTION 110
13. 4" REBAR, FURNISH (2) 1" SHAPED SETS PER
14. FOOTING BY SECTION 110
15. CONCRETE LANDING - REFER TO SLAB PLAN
16. SHEET PILING - REFER TO DETAIL 04/01
17. CONCRETE 1.5" SLAB W/ THICKENED EDGE - REFER
18. TO FLOOR PLAN SHEET # 13
19. 4" x 20" LONG DOVELS AT 210 O.C. (CREASE
20. ONE END)
21. DRAINAGE FILL BY SEC. 202
22. 6" x 10" x 10" V.A.F. TYPICAL
23. 8" FELT TO BREAK, BOND
24. REINFORCED CONG. MOUNT UNIT
25. CONCRETE RAMP W/ BEAM FINISH - 12" THICK
26. FLOORING (N.I.C.)
27. 2" PLANKING (N.I.C.)
28. 2" CONCRETE EQUIPMENT PAD W/ THICKENED EDGES BY SEC. 21
29. 2" CONCRETE EQUIPMENT PAD W/ THICKENED EDGES BY SEC. 21
30. 2" CONCRETE EQUIPMENT PAD W/ THICKENED EDGES BY SEC. 21
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100. 2" CONCRETE EQUIPMENT PAD W/ THICKENED EDGES BY SEC. 21

CODE ANALYSIS

Uniform Building Code 1979

Building Classification:

A. Occupancy Group B-2 Retail Store, 55,971 sq. ft. ground floor with 5,825 sq. ft. Mezzanine. No upper floor.

B. Construction Type: From table 5-C: (Assume type V-one concrete). There allows: 10,500 sq. ft. Two increases are taken:

1. Separation of three sides 100%

2. Automatic Fire Sprinkler System (triple increase)

Therefore: $10,500 \times 10,500 = 21,500$

21,000 x 3 = 63,000 max. allowable area.

actual area = 55,971 sq. ft.

Materials allowed: One-hour fire resistive construction throughout. Structural framework is steel, masonry, and concrete.

All exterior wall openings are at walls which need no fire protection. Present party-wall separating the building from the adjacent building is a four-hour fire separation wall having at least a 3m parapet above the roof; and is without openings.

C. Location on Property: The present combined building is surrounded on three sides by streets and open parking areas having widths exceeding 80 ft.

D. Floor Area: The gross area of the ground floor of the combined building is 55,971 sq. ft. the mezzanine area is 5,825 sq. ft.

E. Height and Number of Stories: The max parapet height of the building is 29 ft. (30 ft. is permitted by table 5-D). The number of stories is one. (three stories are permitted by table 5-D)

F. Occupant Load:

Ground floor sales areas:

43,000 s.f. @ 30 s.f./person

1,436 occupants

Work and storage areas:

12,466 @ 100 s.f./person

125 occupants

Mezzanine:

Office: 1,971 s.f. @ 100 s.f./person

20 occupants

Storage: 2,520 s.f. @ 100 s.f./person

25 occupants

Total

1,607 occupants

Number of exits required (4 if more than 1000 occupants)

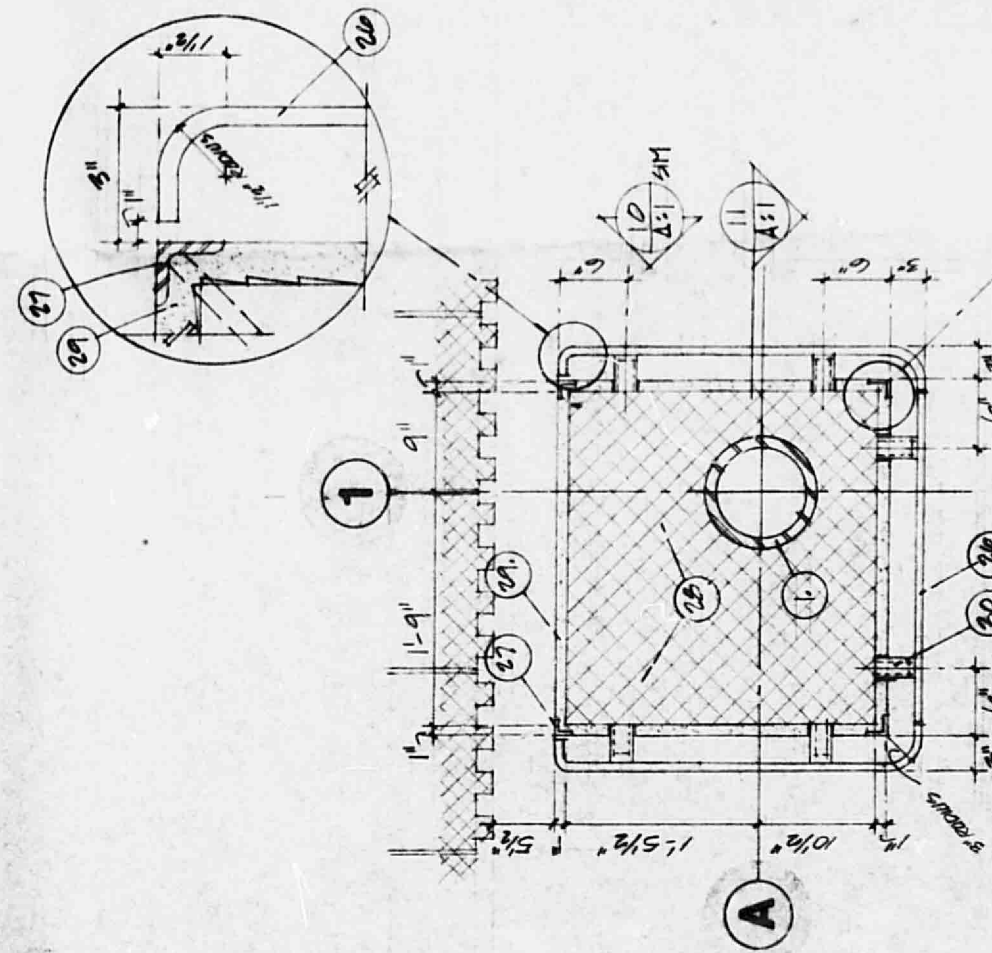
Total width of exit = $1,607/50 = 32$ ft. of exit

Total width of exit provided = 33 ft. of exit

EUBANK BOULEVARD, N.E.

01

02

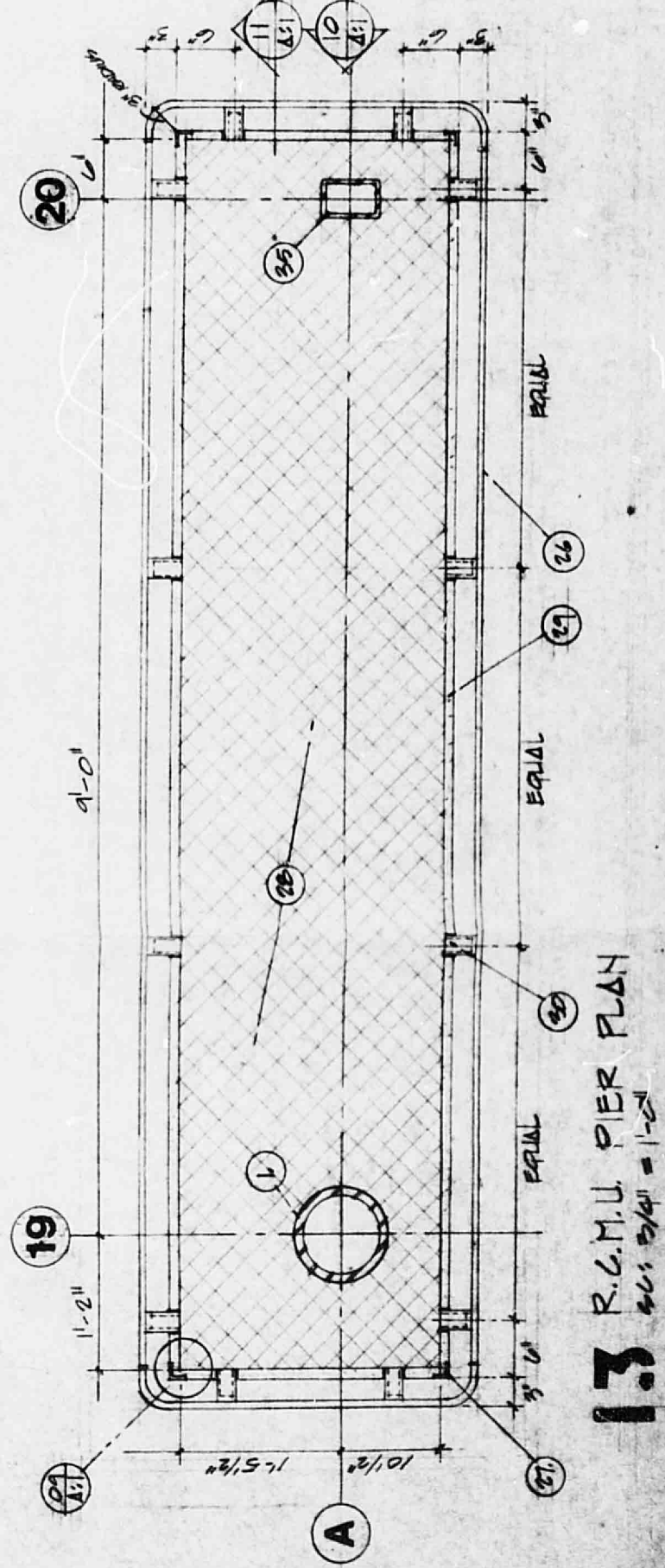


11 CORNER GUARD DETAIL
SCALE: 3/4" = 1'-0"

10 R.C.M.U. PIER PLAN
SCALE: 3/4" = 1'-0"

12 R.C.M.U. PIER PLAN
SCALE: 3/4" = 1'-0"

13 R.C.M.U. PIER PLAN
SCALE: 3/4" = 1'-0"



10 R.C.M.U. PIER PLAN
SCALE: 3/4" = 1'-0"

13 R.C.M.U. PIER PLAN
SCALE: 3/4" = 1'-0"

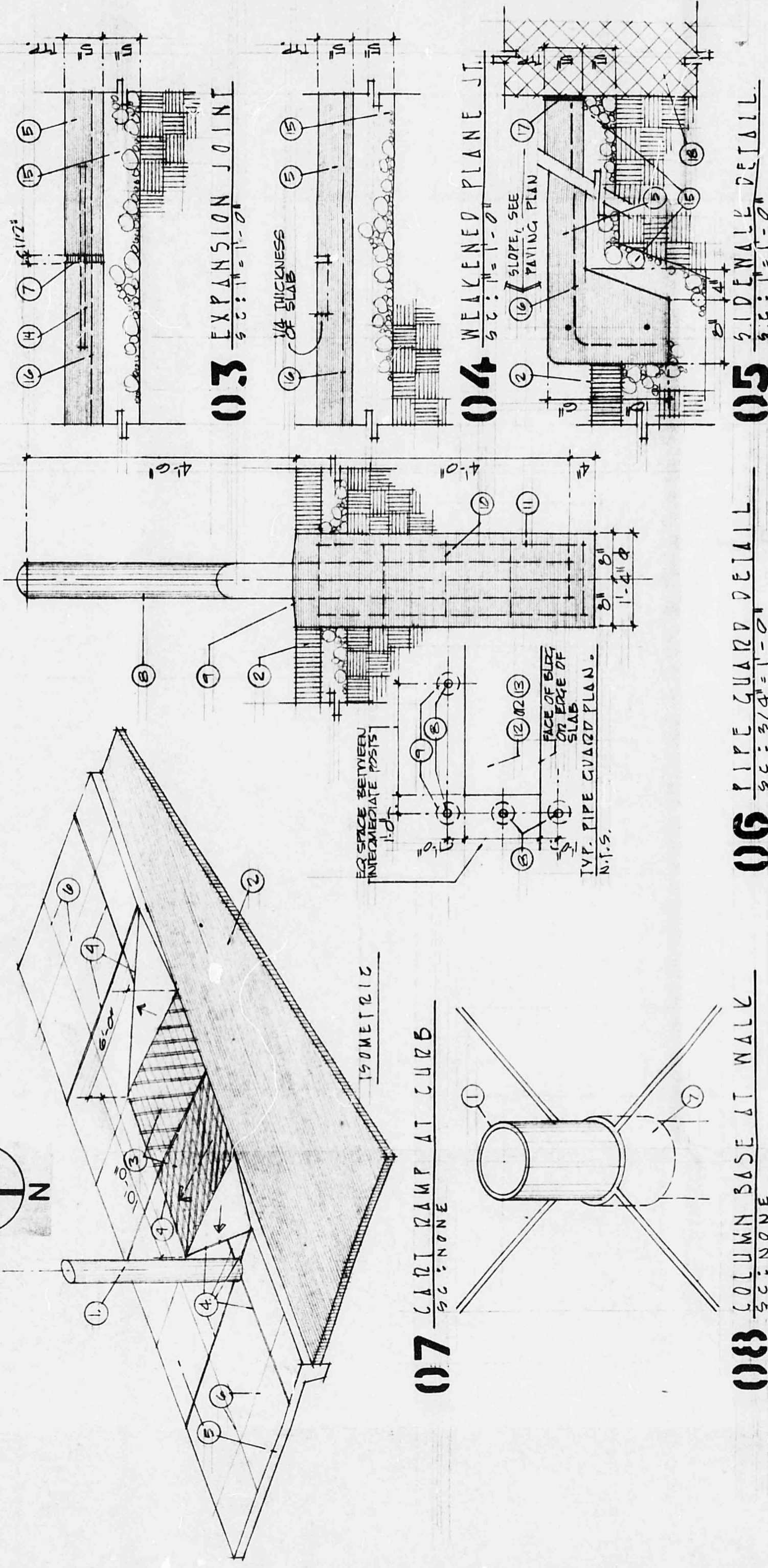
LEXINGTON AVENUE . N.E.

SKAGGS ALPHA BETA
FINISH FLOOR ELEV. 95.00
DATUM FLOOR ELEV. 100.00

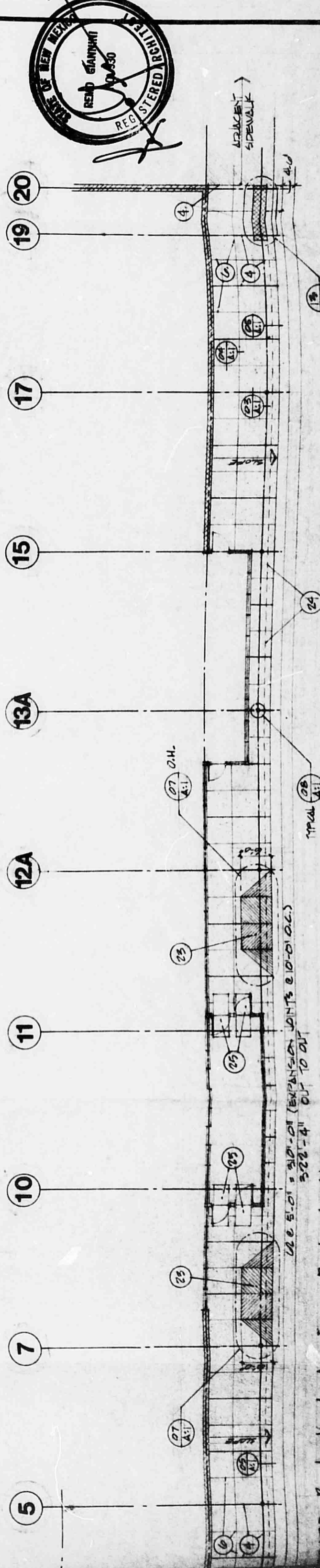
EASTDALE SHOPPING CENTER

CANDELARIA ROAD . N.E.

01 SITE PLAN



02 F.A.V.I.C. PLAN



DRAWING INDEX

A:1	SITE PLAN & SCHEDULES
A:2	PICTURE PLAN
A:3	MAIN LEVEL FLOORPLAN
A:4	MEZZANINE FLOORPLANS & OFFICE REPLIED
	CEILING PLAN
A:5	MAIN FLOOR REFLECTED CEILING PLAN
A:6	ROOF PLAN & ROOF DETAILS
A:7	EXTERIOR ELEVATIONS
A:8	BUILDING SECTIONS & INTERIOR ELEVATIONS
A:9	WALL SECTIONS
A:10	WALL SECTIONS
A:11	DOOR SCHEDULE, DOOR & WINDOW DETAILS

S:1	FOOTING & FOUNDATION PLAN
S:2	MEZZANINE FLOOR FRAMING PLAN
S:3	ROOF FRAMING PLAN
S:4	GENERAL NOTES & DETAILS
S:5	STRUCTURAL DETAILS
S:6	STRUCTURAL DETAILS
S:7	STRUCTURAL DETAILS
S:8	STRUCTURAL WALL SECTIONS
S:9	STRUCTURAL WALL SECTIONS
S:10	STRUCTURAL WALL SECTIONS
ME:1	MECHANICAL/ELECTRICAL SITE PLAN
M:2	MAIN LEVEL A/C FLOOR PLAN
M:3	MAIN LEVEL PLUMBING PLAN
M:4	LARGE SCALE FLOOR PLANS - PLUMBING
	MEZZANINE PLUMBING AND A/C PLAN
M:5	MECHANICAL DETAILS
E:2	MAIN LEVEL LIGHTING FLOOR PLAN
E:3	MAIN LEVEL POWER FLOOR PLAN
E:4	LARGE SCALE FLOOR PLANS - POWER
	MEZZANINE LIGHT/POWER PLAN
E:5	ELECTRICAL SCHEDULE AND DETAILS

LEGEND

Section No. Building Section Sheet No.	Section No. Wall Section Sheet No.	Detail No. Detail / Enlarged Plan Sheet No.	Elevation No. Interior Elevation Sheet No.	Key Note	Door Type	Refer To Sheet A:1:9
Section No. Wall Section Sheet No.	Detail No. Detail / Enlarged Plan Sheet No.	Elevation No. Interior Elevation Sheet No.	Key Note	Door Type	Refer To Sheet A:1:9	Window Frame Type - Refer To Sheet A:1:1
Section No. Wall Section Sheet No.	Detail No. Detail / Enlarged Plan Sheet No.	Elevation No. Interior Elevation Sheet No.	Key Note	Door Type	Refer To Sheet A:1:9	Partition Type - Refer To Sheet A:4

MATERIAL DESIGNATIONS

SECTION	PLAN	ELEVATION
Earth	Concrete	Plaster/Ceramic Tile
Gravel	Quarry/Ceramic Tile	Exst. Part. to Remain
Asphalt	New Gyp. Bd. Partition	Exst. Part. to Remain
Concrete	Plaster/Topping Slab	Exst. Conc. Masonry
GROUT	Rigid Insulation	New Conc. Masonry
Plaster/Topping Slab	Batt Insulation	Exst. Conc. Masonry
Rigid Insulation	Exst. Conc. Masonry	New Conc. Masonry
Batt Insulation	New Conc. Masonry	Plaster/Gyp. Bd./Conc.
Exst. Conc. Masonry	Rough Wood	Finish Wood
New Conc. Masonry	Finish Wood	Acoustic Cig. Tile
Rough Wood	Acoustic Cig. Tile	Gypsum Board
Finish Wood	Gypsum Board	Steel/Metal
Acoustic Cig. Tile	Steel/Metal	Quarry Tile

SITE SUMMARY

Total Land Area (575,664 Sq. Ft.)	13.204 ± Acres
Existing Building Area	102,560 Sq. Ft.
New Building Addition/Expansion Area	9,037.25 Sq. Ft.
Total Combined Building Area	111,597.25 Sq. Ft.
Parking Spaces Required @ 1:200 (111,597.25 ± 200)	557.9 Spaces
Parking Spaces Provided	823 Spaces
Handicap Parking Required @ 2%	11.1 Spaces
Handicap Parking Provided	32 Spaces
Parking/Building Ratio	1:135.5

STORE NO. 16

ALBUQUERQUE, NEW MEXICO

SKAGGS ALPHA BETA

2801 A EUBANK

FOWLER/FERGUSON/KINGSTON/RUBEN ARCHITECTS

2801 A EUBANK