

## Drainage Certification

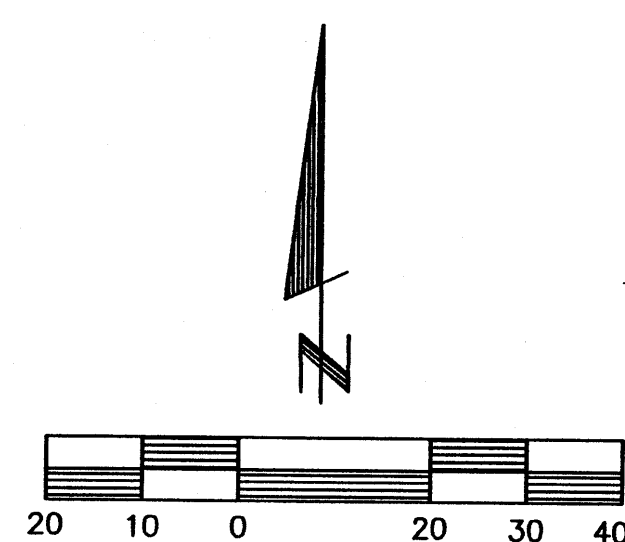
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

VERLYN A. MILLER, P.E.  
VERLYN A. MILLER

DATE 6-29-05

OFFICES

ASPHALT PARKING















SCALE: 1" = 20'  
CONTOUR INTERVAL=1.0'

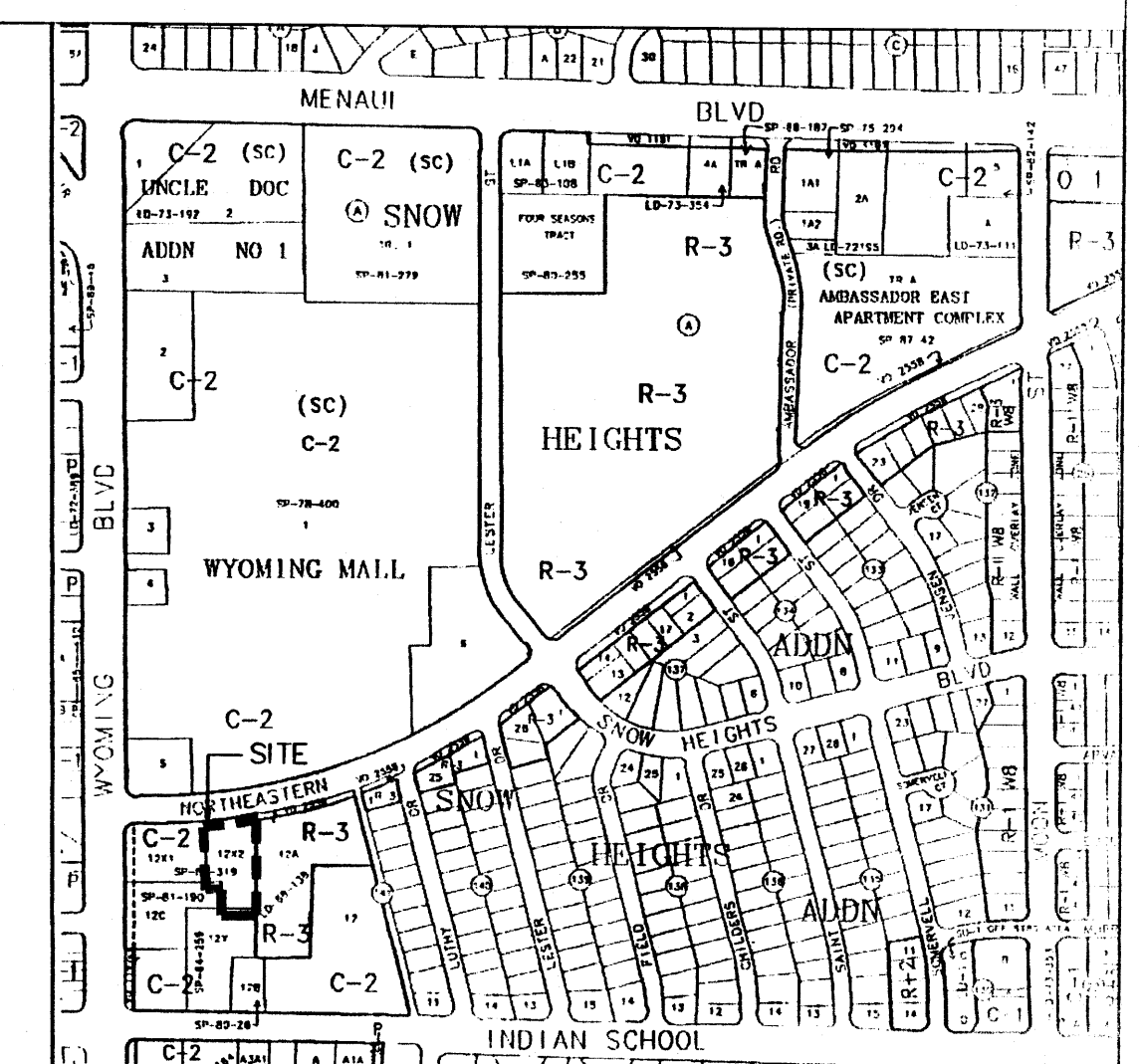
## GENERAL NOTES

- ## ENGINEER'S CERTIFICATION

VERLYN A. MILLER,  
PE NO. 14507

DATE \_\_\_\_\_

	TEMPORARY PROJECT BENCH MARK TOP OF NUT/FINISHED FLOOR
	EXISTING WATER METER
	EXISTING GAS VALVE
	EXISTING SIGN
	EXISTING WATER VALVE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	SANITARY SEWER MANHOLE
	EXISTING GAS LINE
	EXISTING FENCE LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING INDEX CONTOUR LINE
	EXISTING INTERMEDIATE CONTOUR LINE
TSW	TOP OF SIDEWALK
TC	TOP OF CURB
TA	TOP OF ASPHALT
TBM	TEMPORARY BENCHMARK
FL	FLOW—LINE
TW	TOP OF WALL



H-20-Z

## VICINITY MAP

NO SCALE

CITY OF ALBUQUERQUE

NEW MEXICO:

GRADING & DRAINAGE PLAN  
DUKE CITY BRIDGE CLUB

INSITE WORKS



**MILLER ENGINEERING CONSULTANTS**  
Engineers • Planners

P.O. BOX 520  
95 HIGHWAY 344 NORTH  
EDGEWOOD, NM 87015  
(505)286-7771  
(505)286-9026 (FAX)

Designed VAM	Drawn JMJ	Checked VAM	Sheet
Job # E05-024	File DUKE CITY BRIDGE CLUB	Date MAY 2005	

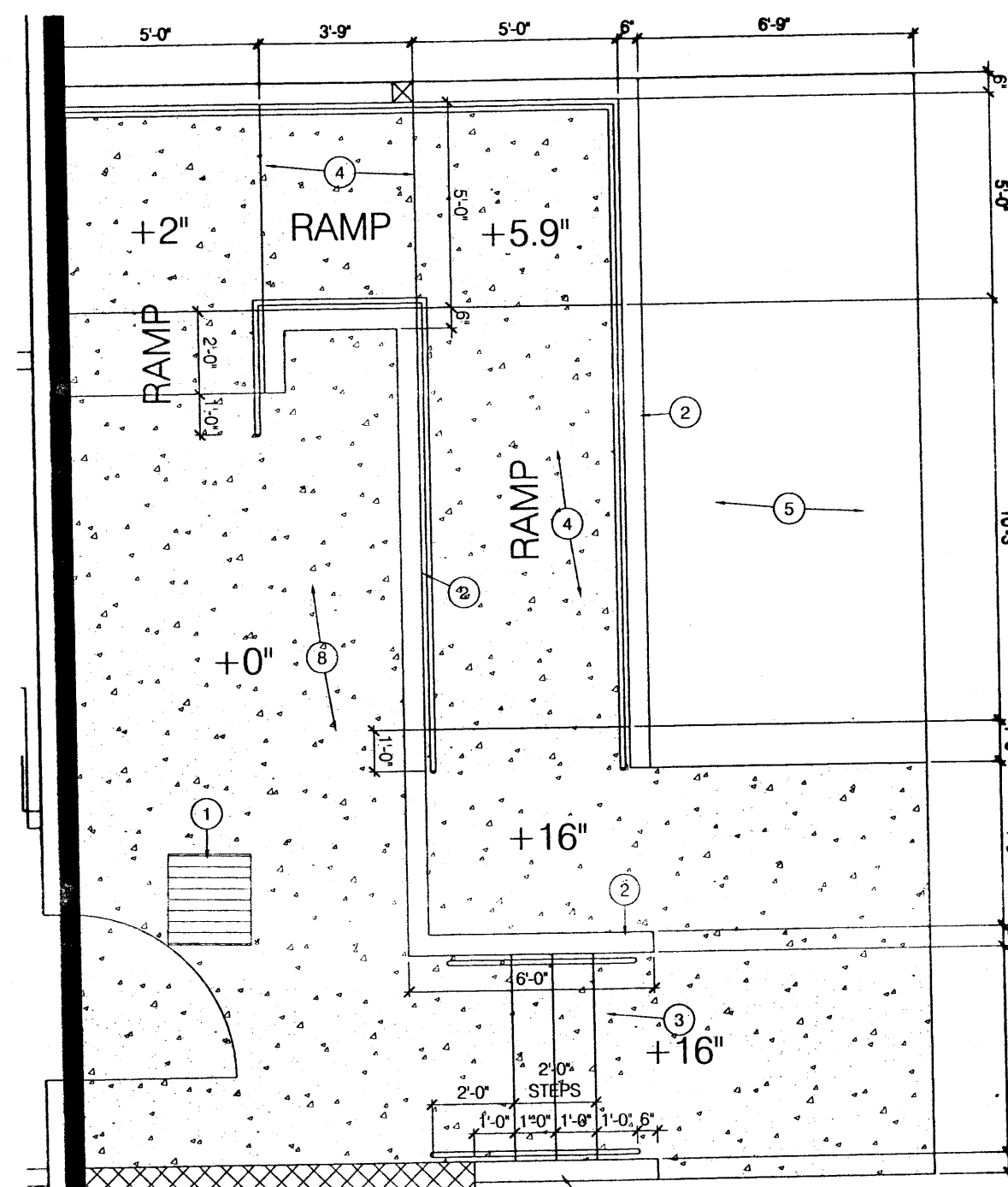
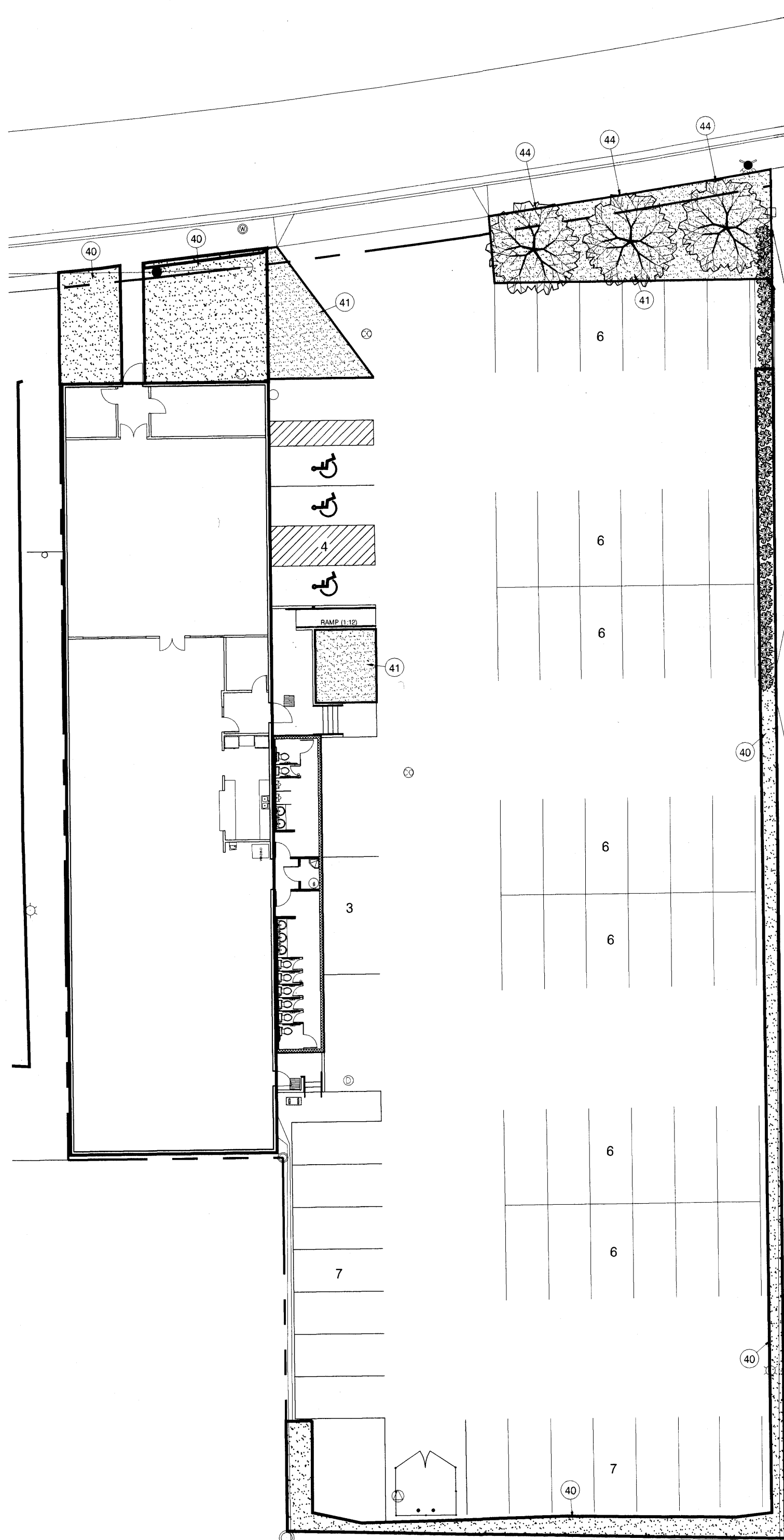
G-1

JUN 30 2005  
HYDROLOGY SECTION



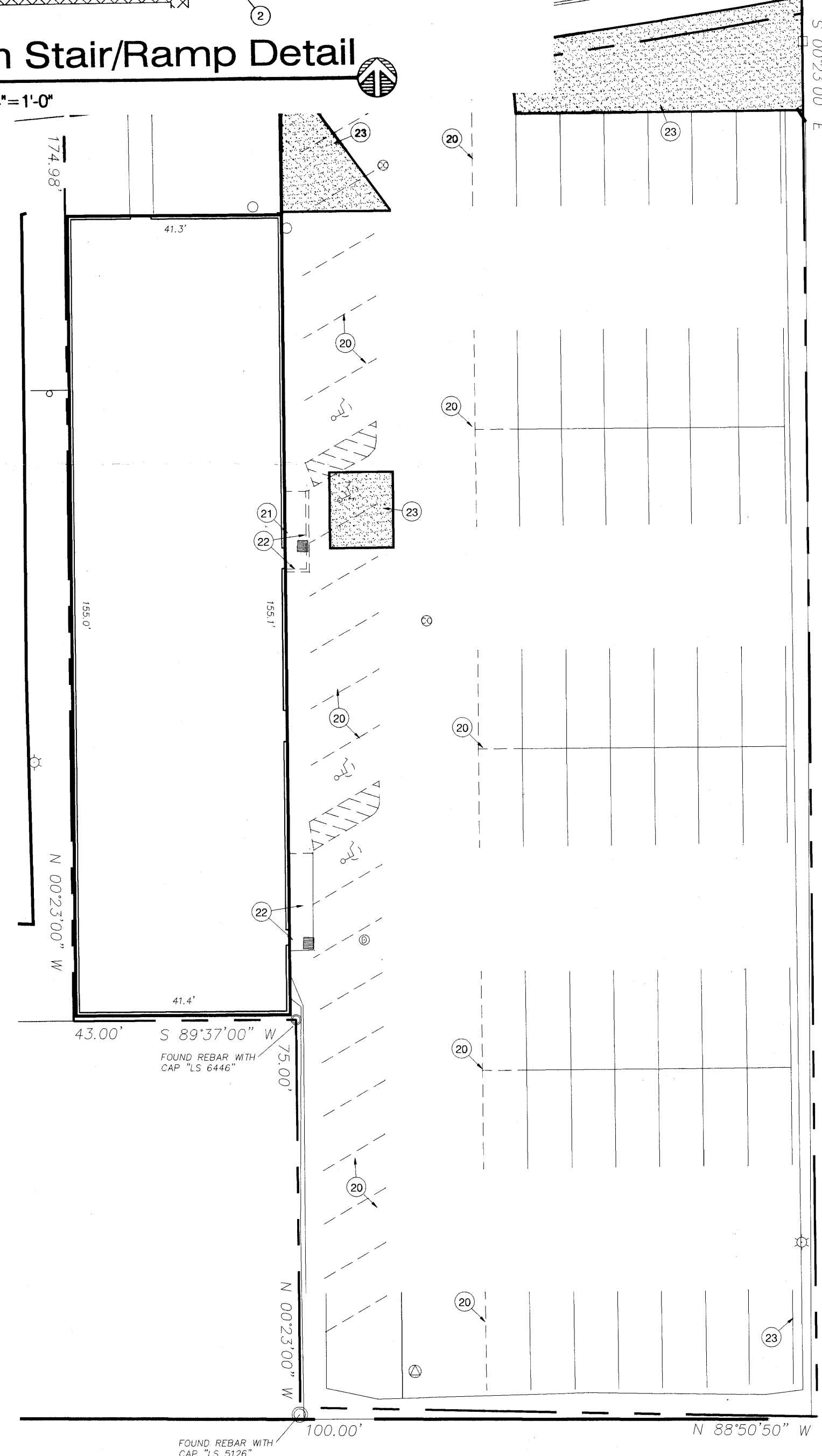
# SITE AREA CALCULATION

TOTAL SITE AREA: 33,841 SF  
 TOTAL BUILDING AREA (EXIST+NEW): 7,019 SF (21%)  
 EXISTING LANDSCAPE AREA: 287+631+1148=2,066 SF (6%)  
 NEW LANDSCAPE AREA: 1049+317+292=1,658 SF (5%)  
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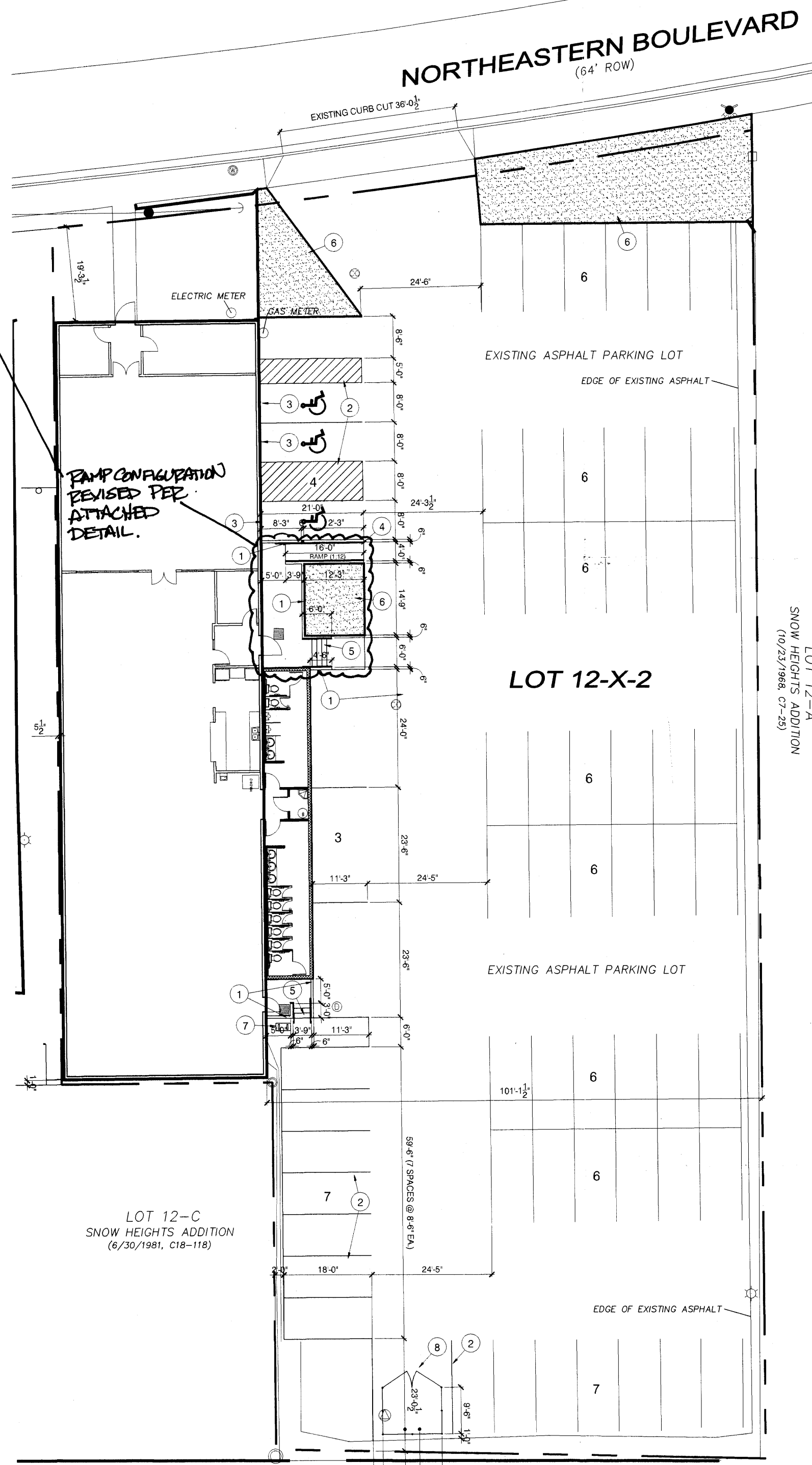


# North Stair/Ramp Detail

SCALE: 1/4"=1'-0'



PARKING:  
 PARKING REQUIRED: 7,019/200 = 36  
 PARKING PROVIDED: 60 SPACES + 1 VAN ACCESSIBLE + 3 ACCESSIBLE HC = 63  
 BIKE RACK SPACES PROVIDED: 2



# GENERAL NOTES - SITE PLAN

[C1.1] EXISTING PARKING LOT LAYOUT TO REMAIN EXCEPT AS INDICATED ADJACENT TO BUILDING AND MAIN DRIVE AISLE

[C1.2] EXISTING LANDSCAPING SHALL REMAIN

# KEYED NOTES - SITE PLAN

[1] NEW 6" CONCRETE RETAINING WALL TO 24" A.F.F. ON CONC. SPREAD FOOTING - SEE STRUCTURAL PLANS

[2] NEW PARKING LOT STRIPING, HANDICAP SPACE SYMBOLS AND AISLE CROSS HATCHING - WHITE ALKYD PAINT

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[4] NEW 4" CONCRETE RAMP ON COMPACTED SUBGRADE - MAINTAIN DRAINAGE TO EXISTING CATCH BASIN - PROVIDE HANDRAILS EACH SIDE AT 34" ABOVE GRADE WITH EXTENSIONS PER ADA/ANSI A117 REQUIREMENTS

[5] NEW CONCRETE STAIRS WITH HANDRAILS EA. SIDE AT 34" ABOVE STAIR NOSING WITH EXTENSIONS PER ADA/ANSI REQUIREMENTS. STAIR TREADS SHALL BE 12", RISERS SHALL BE 6-7" AS REQUIRED BY ADJACENT GRADE.

[6] NEW LANDSCAPE PLANTER AREA - SEE LANDSCAPE PLAN

[7] NEW PRECAST CONCRETE, 2 SPACE BIKE RACK

[8] NEW 7' TALL CHAIN LINK FENCE DUMPSTER ENCLOSURE WITH GATES. PROVIDE OPAQUE SLATS. NO CONCRETE PAD REQUIRED. PROVIDE (2) BOLLARDS PER CITY STANDARD ENCLOSURE DETAIL.

# KEYED NOTES - SITE DEMOLITION PLAN

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[21] REMOVE EXISTING METAL BUILDING ENTRY CANOPY

[22] REMOVE EXISTING RAMP AND RETAINING WALLS

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# KEYED NOTES - LANDSCAPE PLAN

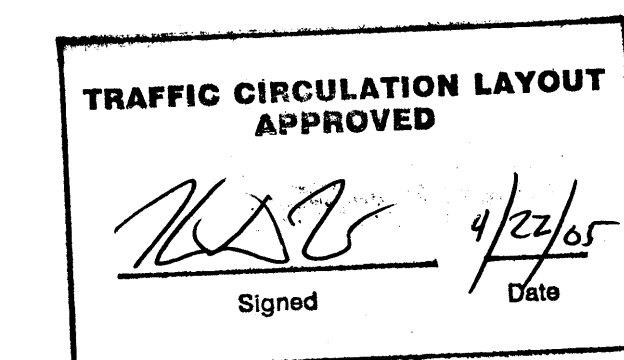
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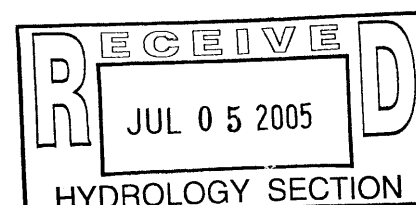
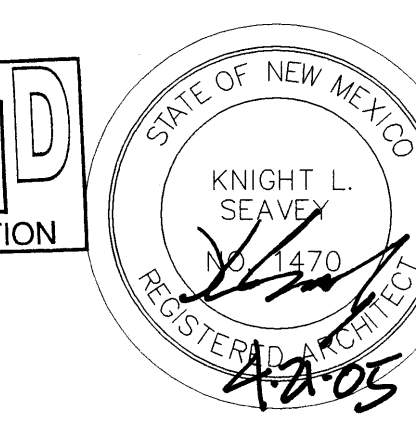
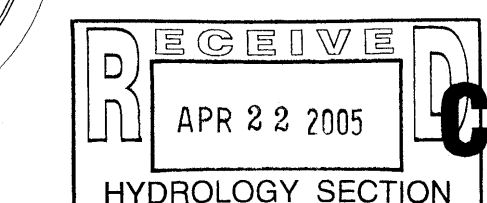
INSITE WORKS

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DUKE CITY BRIDGE  
 8616 NORTHEASTERN BLVD. NE  
 ALBUQUERQUE, NM 87112  
 LOT 2-X-2, BLOCK 141, SNOW HEIGHTS ADDITION

ISSUED: 4.21.05  
 PROJECT ID: DCB

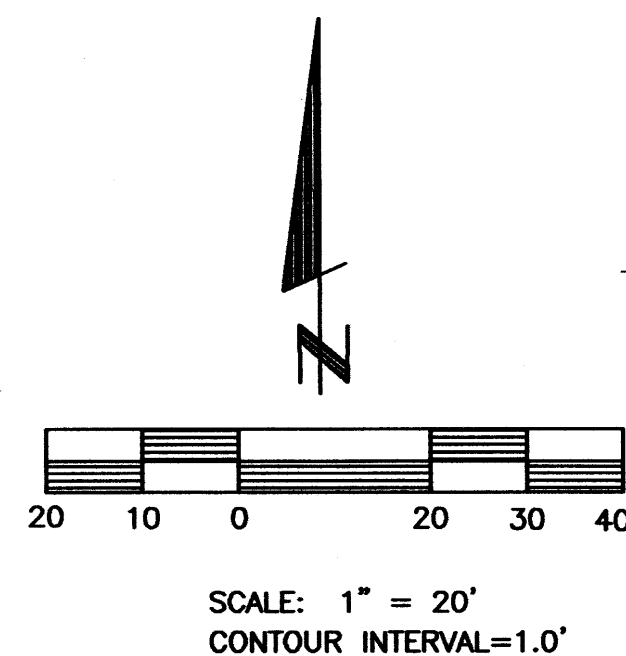
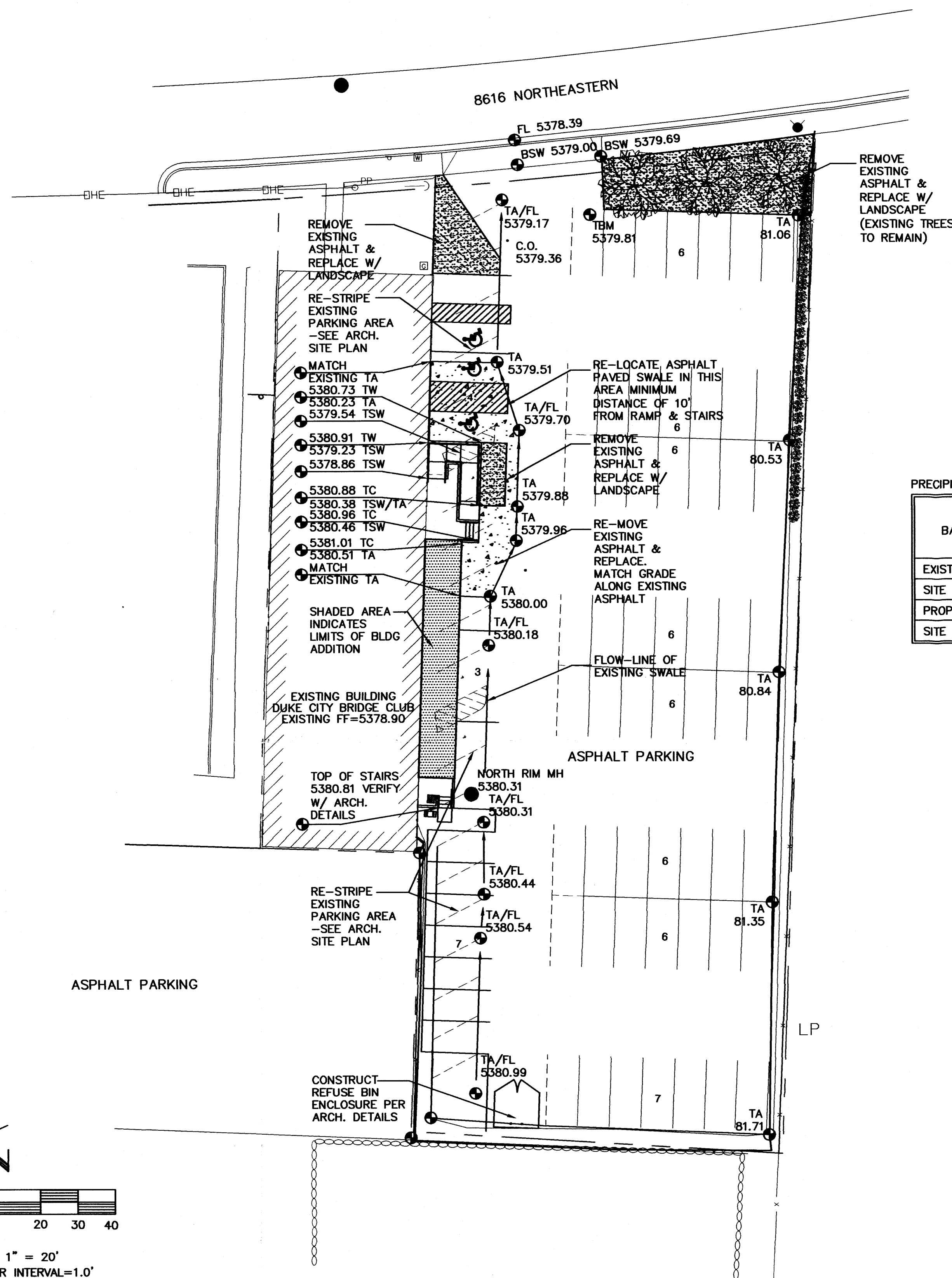
SITE PLAN



ADDRESS: 57 ROCK POINT PL. NE  
 ALBUQUERQUE, NM 87122  
 TELE: 505.858.0100  
 FAX: 888.781.0154  
 WEBSITE: insiteworks.com  
 EMAIL: knight@insiteworks.com



ASSUMED NORTH / ELEVATION TAKEN FROM ALB. CONTROL MONUMENT 14-H19



## I. SCOPE:

THE INTENT OF THIS PLAN IS TO QUANTIFY THE STORM WATER RUNOFF FOR THE SUBJECT SITE UNDER EXISTING AND PROPOSED CONDITIONS, AND TO DEMONSTRATE EXISTING AND POST-DEVELOPED DRAINAGE PATTERNS ON THE SITE.

## II. EXISTING CONDITIONS:

THE SITE IS LOCATED AT 8616 NORTHEASTERN BLVD. NE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE SITE MAY BE ACCESSED BY TRAVELING NORTH ON WYOMING BLVD. FROM INTERSTATE 40, THEN TURNING RIGHT ON NORTHEASTERN BLVD. (SEE ZONE ATLAS MAP H-20). THE SITE IS ACCESSED FROM AN EXISTING CURB CUT ON NORTHEASTERN BLVD.

THE SITE IS APPROXIMATELY 0.77 ACRES, IS CURRENTLY DEVELOPED WITH A COMMERCIAL BUILDING AND AN ASPHALT-PAVED DRIVEWAY. THE EXISTING SITE CONTAINS THE 6400 SF BUILDING, 2066 SF OF LANDSCAPED AREA AND THE REMAINING 25,375 SF IS ASPHALT PAVED PARKING. CURRENTLY, ALL DRAINAGE FROM THE SITE IS CONVEYED TO NORTHEASTERN BLVD. VIA A PAVED SWALE IN THE PARKING LOT AREA LOCATED IMMEDIATELY NORTH OF THE BUILDING. AS PER SECTION 22.2 OF THE CITY OF ALBUQUERQUE'S DPM, THE SITE CONTAINS LAND TREATMENTS B, C & D UNDER EXISTING CONDITIONS. DUE TO THE MINIMAL SIZE OF THE LOT, THE TIME OF CONCENTRATION (TC) IS CONSIDERED TO BE A MINIMUM VALUE OF 12 MINUTES.

AS PER FEMA PANEL NUMBER 35001C 0356E, THERE IS NOT A FEMA DESIGNATED FLOODPLAIN ONSITE.

## III. PROPOSED CONDITIONS:

THE PROPOSED IMPROVEMENTS ASSOCIATED WITH THIS PROPERTY CONSIST OF AN ADDITION OF 619 SF BATHROOM ADDITION TO THE EXISTING BUILDING FOR A TOTAL BUILDING AREA OF 7019 SF. THE TOTAL IMPERVIOUS AREA ONSITE IS ACTUALLY BEING REDUCED DUE TO ADDITIONAL LANDSCAPING REQUIREMENTS. AS SUCH, THE LANDSCAPED AREA IS INCREASED TO 3,724 SF AND THE PAVED PARKING LOT IS REDUCED TO 23,098 SF.

THE DRAINAGE PATTERNS ON THE SITE WILL NOT BE CHANGED OR ALTERED SIGNIFICANTLY AFTER DEVELOPMENT. THE ASPHALT PAVED SWALE WILL BE MOVED FURTHER NORTH TO PROVIDE A MINIMUM SEPARATION OF 10 FEET AND A MINIMUM SWALE DEPTH OF 6-INCHES FROM THE INVERT OF THE SWALE TO THE ELEVATION AT THE NEW ENTRANCE.

## IV. CALCULATIONS:

THE FOLLOWING TABLE PROVIDES A HYDROLOGIC ANALYSIS OF THE 0.77-ACRE DRAINAGE BASIN THAT CONTRIBUTES TO THE RUN-OFF ON-SITE. THE VOLUME AND PEAK RUNOFF VALUES WILL BE CALCULATED FOR EXISTING AND PROPOSED CONDITIONS AS PER SECTION 22.2 OF THE COA DPM.

PRECIPITATION ZONE 4

P (360) = 2.90 INCH

BASIN	BASIN AREA (AC)	LAND TREATMENT FACTORS				Ew (in)	V(100) (A-F)	Q(100) (cfs)
		A	B	C	D			
		(ACRES)						
EXISTING CONDITIONS								
SITE	0.77	0.00	0.04	0.00	0.73	2.56 ✓	0.164 ✓	3.95 ✓
PROPOSED CONDITIONS								
SITE	0.77	0.00	0.08	0.00	0.69	2.48 ✓	0.159 ✓	3.86 ✓

AS INDICATED IN THE TABLE ABOVE, THE DECREASED RUNOFF DUE TO THE PROPOSED DEVELOPMENT IS 0.005 ACRE-FEET (218 CUBIC FEET) AND 0.09 CFS.

## V. CONCLUSION

WHEN THIS PROPERTY IS DEVELOPED AS PROPOSED IN THIS REPORT, THE FLOW GENERATED FROM THE SITE WILL ACTUALLY DECREASE FROM 3.95 CFS TO 3.86 CFS DUE TO ADDITIONAL LANDSCAPING PROPOSED FOR THE PROJECT. IN ORDER TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE NEW ENTRANCE TO THE BUILDING, THE EXISTING ASPHALT PAVED SWALE HAS BEEN MOVED EAST A MINIMUM DISTANCE OF 10-Feet FROM THE NEW ENTRANCE LOCATION (SEE PLAN). TO PROVIDE ADEQUATE CAPACITY TO CONVEY STORM WATER RUNOFF, THE MINIMUM DEPTH ON THIS SWALE WILL BE A MINIMUM OF 6-INCHES AS INDICATED ON THE GRADING PLAN.

## GENERAL NOTES

- LEGAL DESCRIPTION: LOT 12-X-2 OF BLOCK 141 OF THE SNOW HEIGHTS ADDITION, LOCATED IN SECTION 8, T. 10 N. R. 4 E. N.M.P.M., BERNALILLO COUNTY, NEW MEXICO.
- TOPOGRAPHIC SURVEY PROVIDED BY EAST MOUNTAIN SURVEYS.
- PROJECT BENCH MARK IS A NAIL DRIVEN IN THE ASPHALT NEAR THE SOUTHEAST CORNER OF PROPOSED LANDSCAPE AREA ALONG NORTHEASTERN AS INDICATED ON THE PLAN, ELEVATION = 5379.81. CONTROL FOR ELEVATION IS ALBUQUERQUE CONTROL MONUMENT 14 - H19.
- NO PERIMETER WALLS OR FENCING ARE PROPOSED ON THIS PLAN. CONSTRUCTION OF ANY PERIMETER FENCING, INCLUDING CHAIN LINK, REQUIRES OBTAINING APPROVAL FROM THE CITY OF ALBUQUERQUE ZONING DEPARTMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- ALL FILL MATERIAL SHALL CONSIST OF AN ENGINEERED FILL MATERIAL AND SHALL BE COMPACTED TO 95% OF THE MATERIALS MAXIMUM DRY DENSITY.

## ENGINEER'S CERTIFICATION

I, VERLYN A. MILLER, HEREBY CERTIFY THAT I PERSONALLY INSPECTED THE SITE SHOWN ON THIS PLAN ON APRIL 2005, AND AS OF THAT DATE IT APPEARED THAT NO GRADING, FILLING, OR EXCAVATION HAD OCCURRED THEREON SINCE THE COMPLETION OF THE TOPOGRAPHIC SURVEY USED TO PREPARE THIS PLAN.

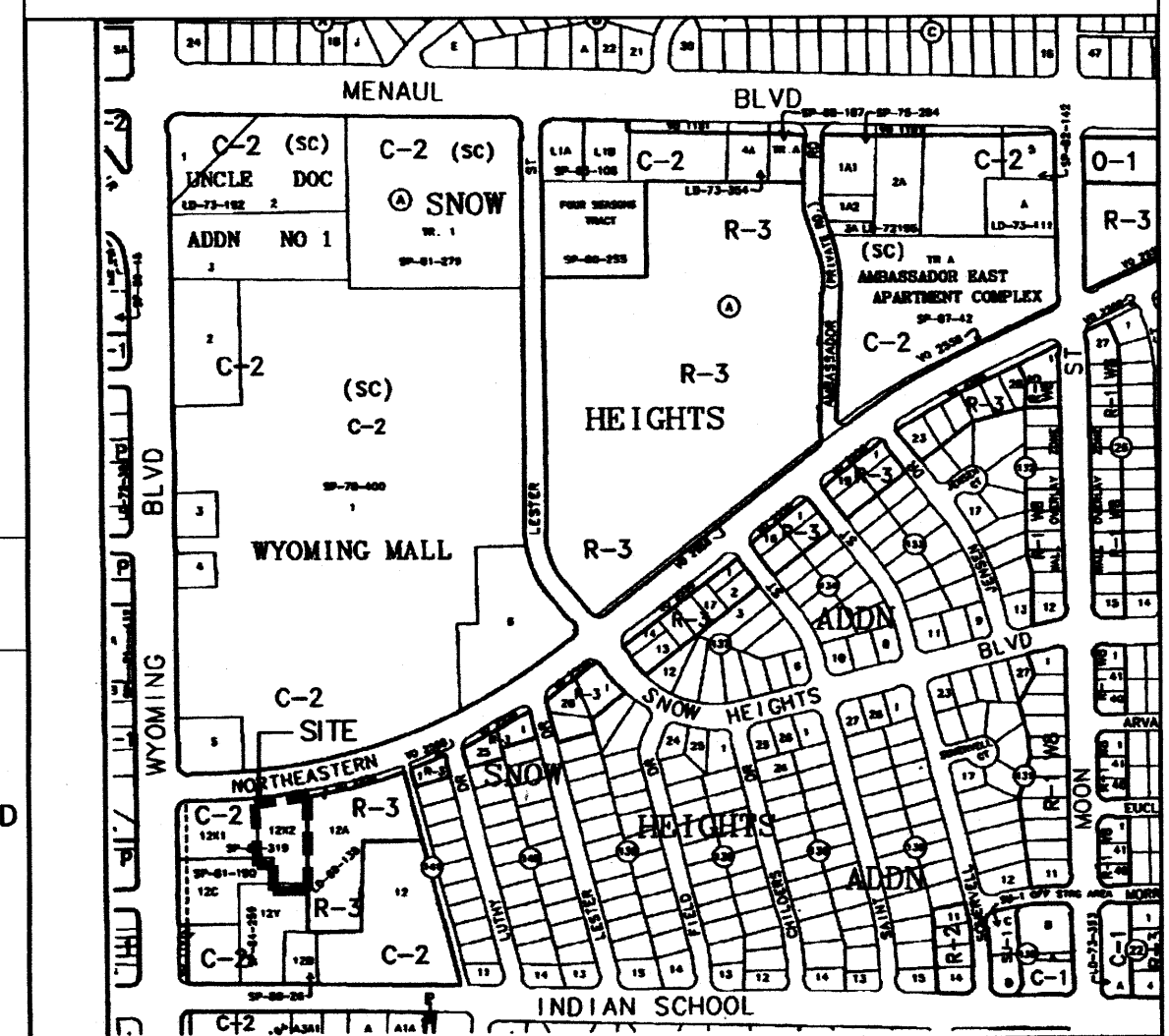


VERLYN A. MILLER,  
PE NO. 14507

DATE

## LEGEND

●	TEMPORARY PROJECT BENCH MARK TOP OF NUT/FINISHED FLOOR
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⊞	EXISTING GAS VALVE
+	EXISTING SIGN
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## VICINITY MAP

H-20-Z NO SCALE

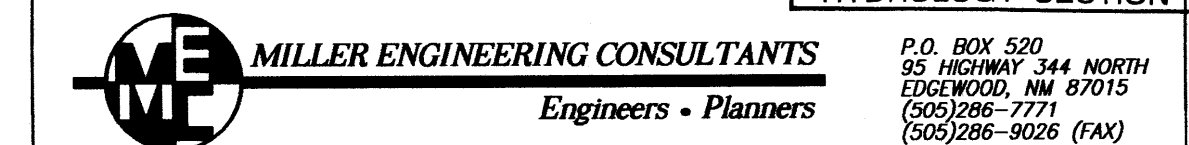
CITY OF ALBUQUERQUE NEW MEXICO

GRADING & DRAINAGE PLAN  
DUKE CITY BRIDGE CLUB

INSITE WORKS

MAY 0 5 2005

HYDROLOGY SECTION



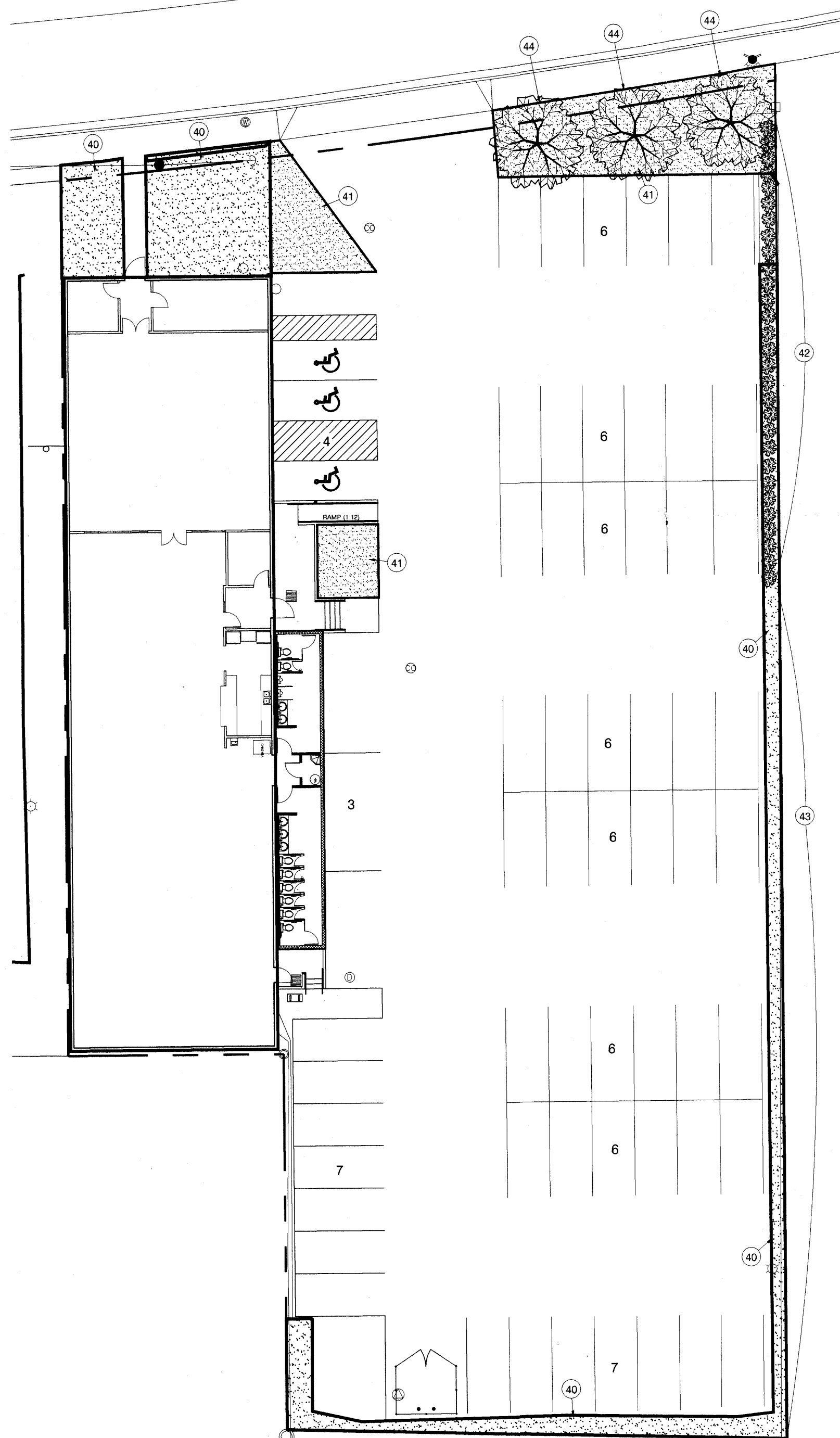
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Job # E05-024	File DUKE CITY BRIDGE CLUB	Date MAY, 2005	G-1



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$R=1760.55'$   
 $L=144.22'$   
 $\Delta=04^{\circ}41'37''$   
 $T=72.15'$   
 $CH=S\ 82^{\circ}10'08''\ W\ 144.18'$

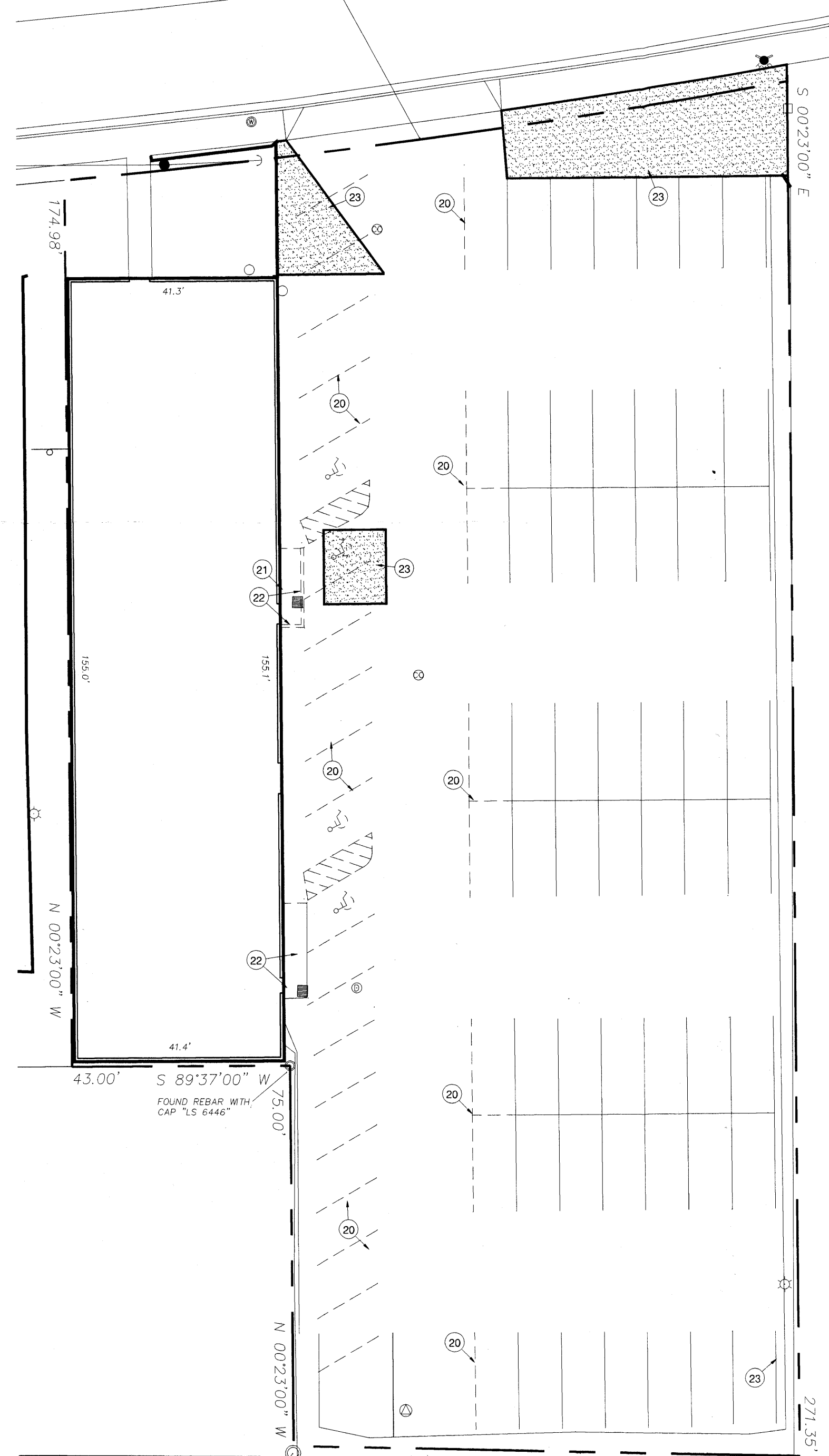


## LANDSCAPE PLAN

SCALE: 1"=20'

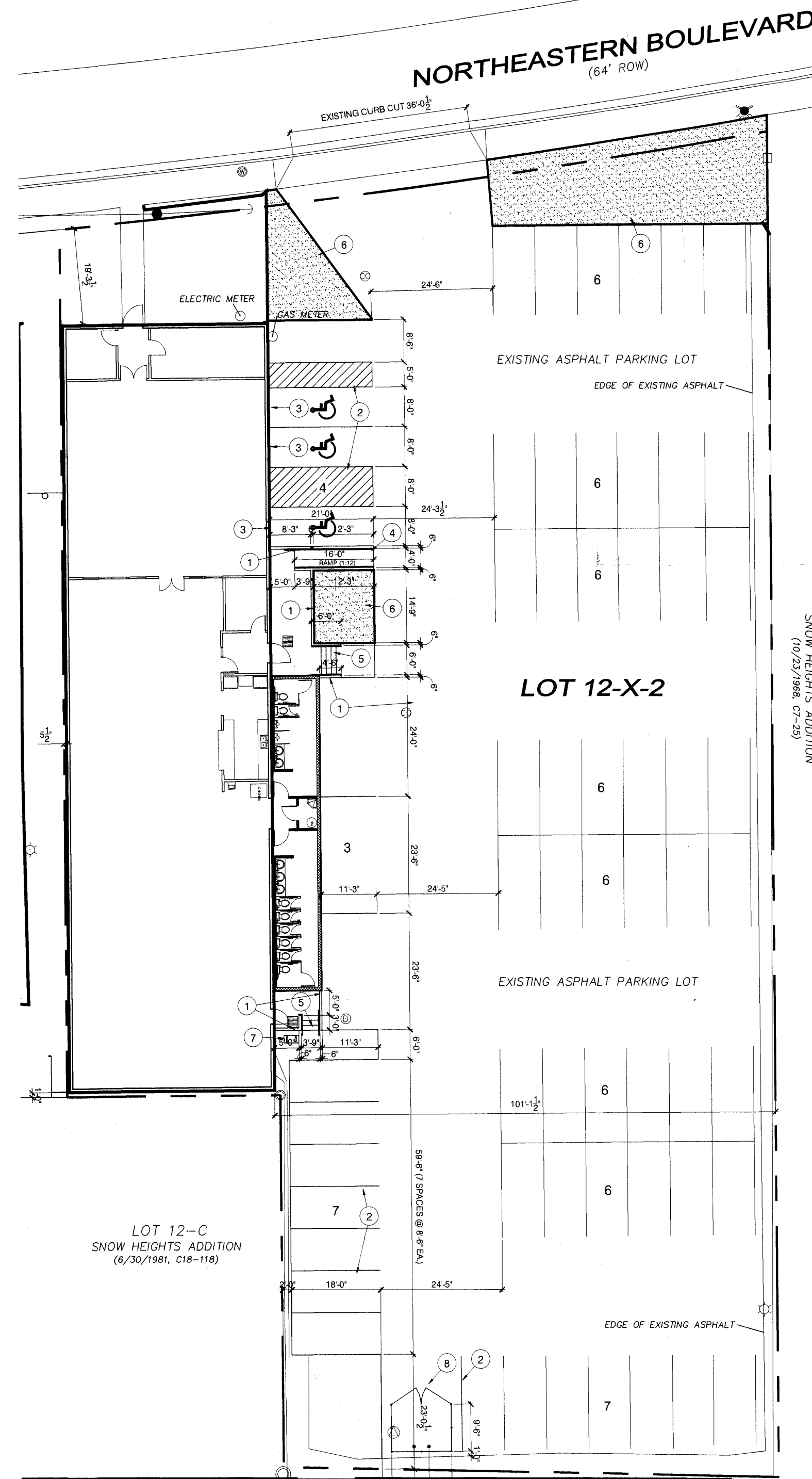
## SITE DEMOLITION PLAN

SCALE: 1"=20'



## SITE PLAN & T.C.L.

SCALE: 1"=20'



### GENERAL NOTES - SITE PLAN

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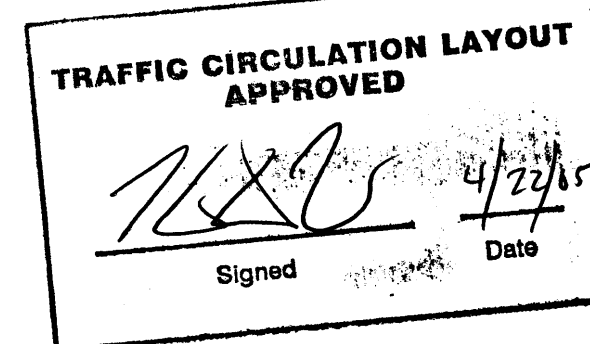
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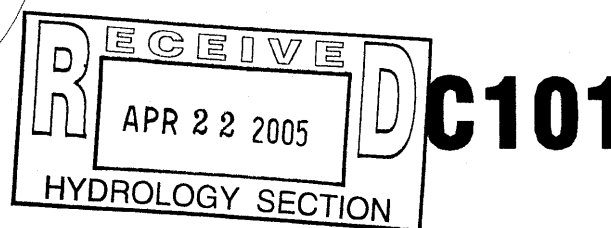
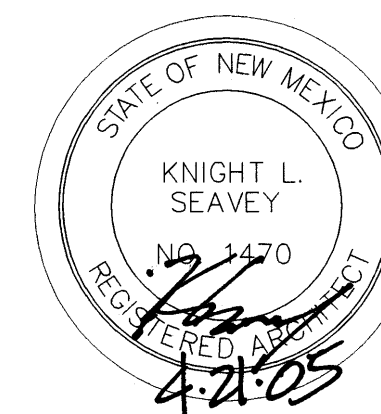
## INSITE WORKS

ADDRESS 57 ROCK POINT PL. NE  
 ALBUQUERQUE, NM 87122  
 TELE 505.858.0100  
 FAX 888.781.0154  
 WEBSITE insiteworks.com  
 EMAIL knight@insiteworks.com

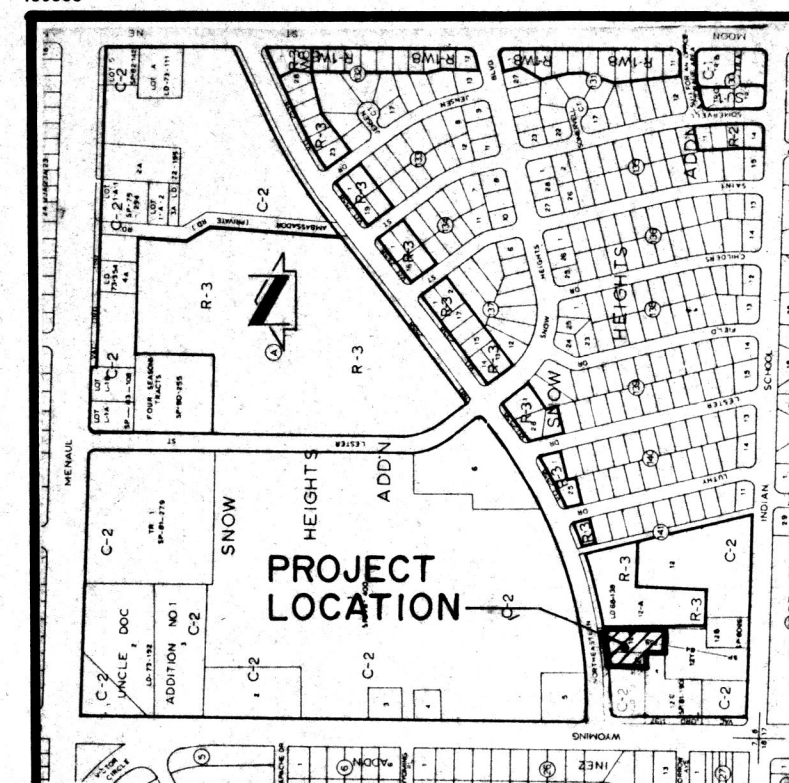
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DUKE CITY BRIDGE  
 8616 NORTHEASTERN BLVD. NE  
 ALBUQUERQUE, NM 87112  
 LOT 2-X-2, BLOCK 141, SNOW HEIGHTS ADDITION

ISSUED 4.21.05  
 PROJECT ID DCB  
 SITE PLAN



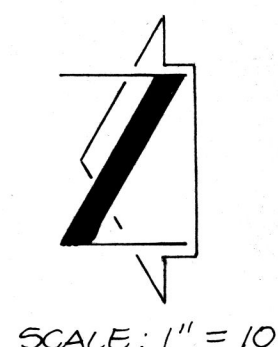




VICINITY MAP

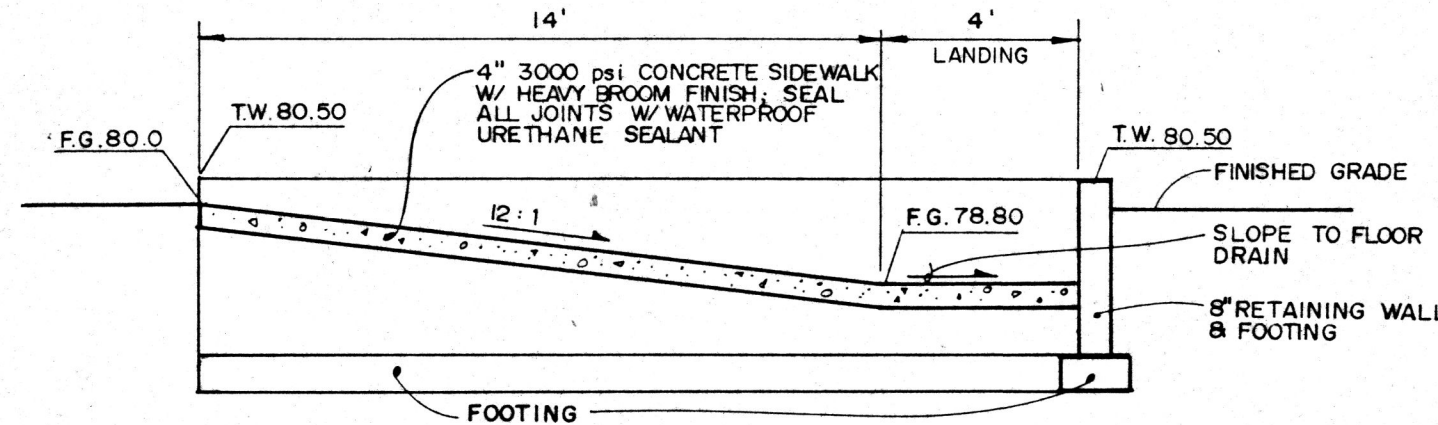
H-20

SCALE: 1" = 800'



SCALE: 1" = 10'

LEGEND	
— 5380 —	EXISTING SPOT ELEVATION
— 80 —	EXISTING CONTOUR
— 80 —	PROPOSED CONTOUR
— 80 —	PROPOSED SPOT ELEVATION
— 80 —	PROPOSED CONCRETE
— 80 —	PROPOSED SIDE SLOPE
— 80 —	PROPOSED SWALE
— 80 —	TOP OF WALL



SECTION A-A

SCALE: 1" = 4'-0"

NOTE: A HANDRAIL CONFORMING W/ LOCAL REGULATIONS &amp; CODES SHALL BE INSTALLED ATOP THE RETAINING WALL.

## PROJECT BENCHMARK

AN AGE BRASS CAP STAMPED "H-20 1976 ACB" LOCATED 44.3' EAST OF THE E. OF LYOMING NE & 30.7' NORTH OF THE E. OF INDIAN SCHOOL NE ELEVATION: 5371.08 ft. (M.S.L.D.)

## T.B.M.

TOP OF CURB ELEVATION AT THE EXTENSION OF NORTHEAST PROPERTY CORNER AS SHOWN HEREON ELEVATION: 5380.30 ft. (M.S.L.D.)

## LEGAL DESCRIPTION

LOT 12-X-2, BLOCK 141, SNOW HEIGHTS ADDITION

## CONSTRUCTION NOTES:

- Two (2) working days prior to any excavation, contractor must contact line locating service 765-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential obstructions. Should a conflict exist, the contractor shall notify the engineer in writing so that the conflict can be resolved with a minimum amount of delay.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- All construction within public right-of-way shall be performed in accordance with applicable City of Albuquerque Standards and Procedures.
- If any utility lines, pipelines, or underground utility lines are shown on these drawings, they are shown in an approximate manner only, and such lines may exist where none are shown. If any such existing lines are shown, the location is based upon information provided by the owner of said utility, and the information may be incomplete, or may be obsolete by the time construction commences. The engineer has conducted only preliminary investigation of the location, depth, size, or type of existing utility lines, pipelines, or underground utility lines. This investigation is not conclusive, and may not be complete, therefore, makes no representation pertaining thereto, and assumes no responsibility or liability therefor. The contractor shall inform itself of the location of any utility line, pipeline, or underground utility line in or near the area of the work in advance of and during excavation work. The contractor is fully responsible for any and all damage caused by its failure to locate, identify and preserve any and all existing utilities, pipelines, and underground utility lines. In planning and conducting excavation, the contractor shall comply with state statutes, municipal and local ordinances, rules and regulations, if any, pertaining to the location of these lines and facilities.

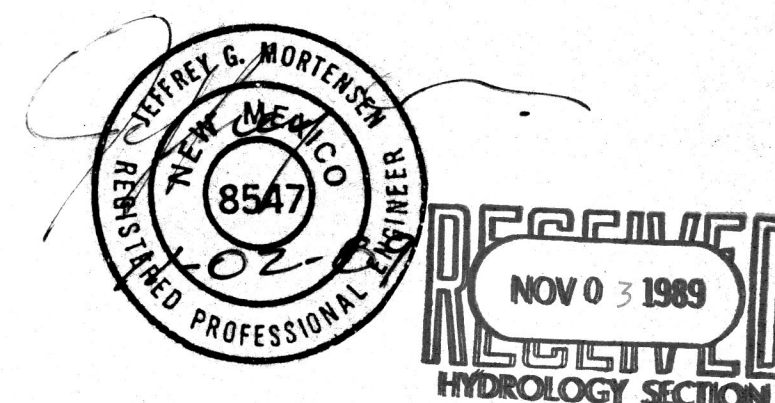
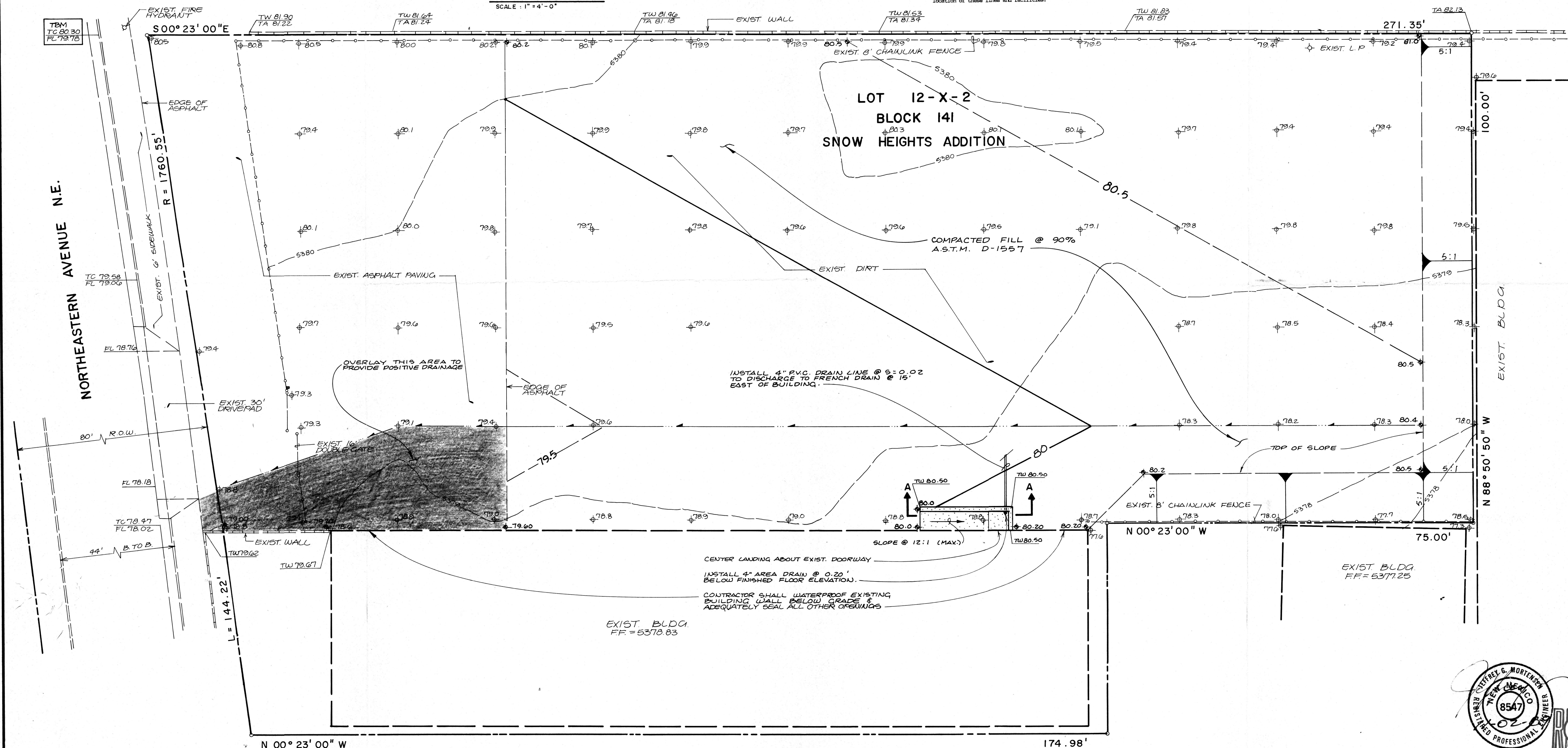
- The design of planters and landscaped areas is not part of this plan. All planters and landscaped areas adjacent to the building(s) shall be provided with positive drainage to avoid any ponding adjacent to the structure. For construction details, refer to landscaping plan.

## Erosion Control Measures:

- The contractor shall ensure that no soil erodes from the site into public right-of-way or onto private property. This can be achieved by constructing temporary berms at the property lines and wetting the soil to keep it from blowing.
- The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.
- The contractor shall secure "Topsoil Disturbance Permit" prior to beginning construction.

## GRADING PLAN

The grading plan for the Bridge Club consists of filling the majority of the undeveloped portion of the site so that it may drain to Northeastern Avenue N.E. This is an effort to make the site more developable, while eliminating the discharge of the undeveloped runoff from the site onto adjacent properties. At the same time, a small portion of the onsite paving will be overlaid to provide positive drainage out to Northeastern Avenue. There is presently a doorway in the east wall of the building which shall have a ramp and retaining wall constructed to provide access. The stairwells will drain to french drains to be located 15' east of the building. No new paved area is proposed by this plan, therefore, no calculations have been provided. The proposed grading is, however, consistent with the previously approved grading and drainage plan for this site which allowed for the free discharge of runoff to Northeastern Avenue N.E.



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GRADING PLAN  
BRIDGE CLUB

DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	50274
DRAWN BY	R.A.R.					DATE	11 - 89
APPROVED BY	J.G.M.					SHEET	OF