

CITY OF ALBUQUERQUE



October 10, 2007

Naim Nassar, P.E.
MNA
4521 East Virginia Ave Ste 200
Denver, CO 80246

**Re: KFC @ Eubank, 2201 Eubank NE,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 12/07/2007 (H20/D027)
Certification dated 10/03/07**

Based upon the information provided in your submittal received 10/10/07, the above referenced certification is **approved** for Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,


New Mexico 87103

Timothy Sims
Plan Checker-Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk
File



LETTER OF TRANSMITTAL

4521 E. Virginia Ave.
Suite 200
Denver, CO 80246

T: 303.377.6601
F: 303.377.6656
www.mnaengineering.com

To: CITY OF ALBUQUERQUE
Hydrology Development and Building Services
P.O. Box 1293

ALBUQUERQUE, NEW MEXICO 87103

Attn: Timothy Sims-

Date: October 3, 2007 Project No.: Eubank KFC (H-20/D027)

Re: Certificate of Occupancy

We are sending you:

☒ Attached ☐ Under separate cover via _____

the following items:

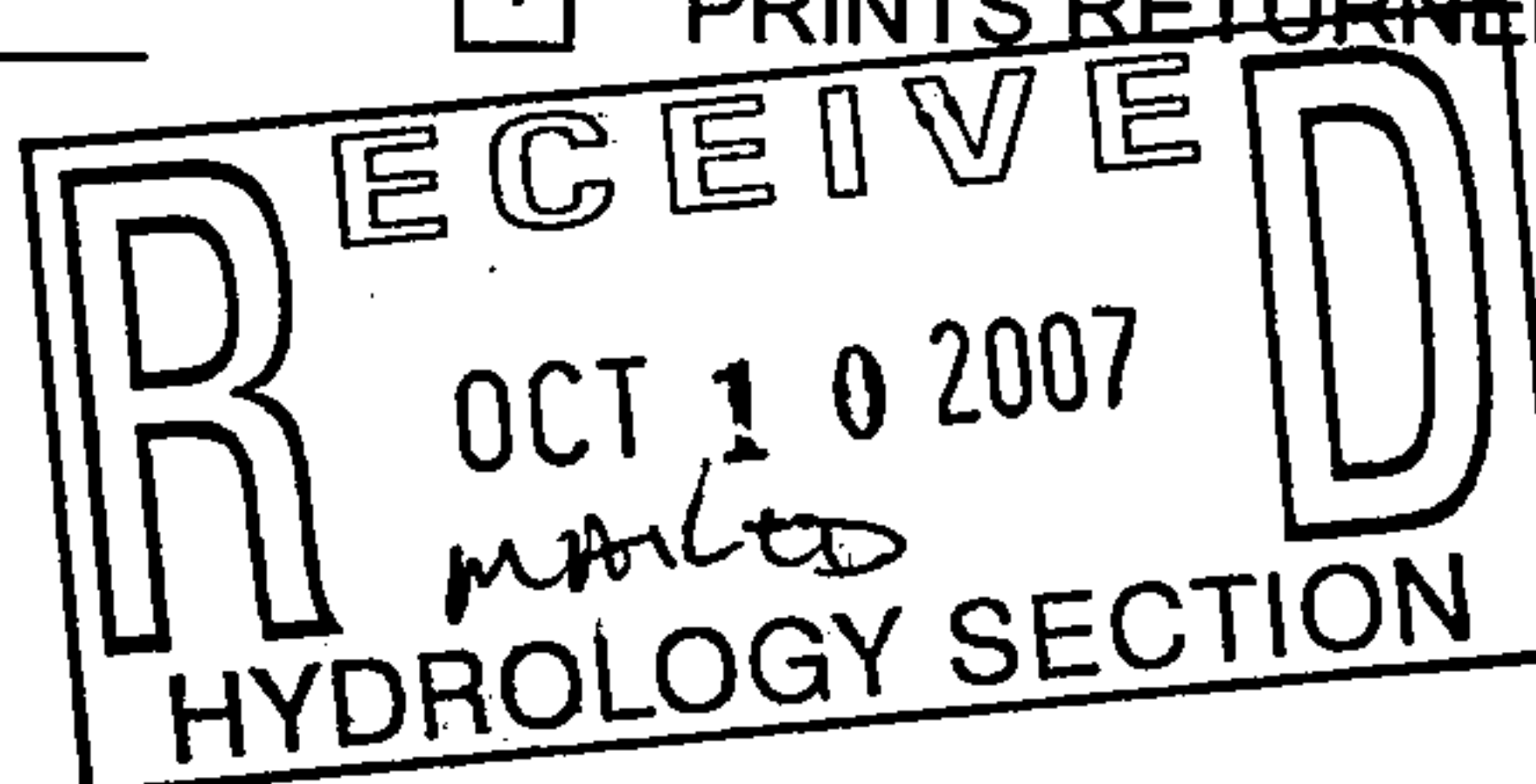
- | | |
|---|---|
| <input type="checkbox"/> Shop Drawings | <input type="checkbox"/> Copy of Letter |
| <input type="checkbox"/> Prints | <input type="checkbox"/> Change Order |
| <input checked="" type="checkbox"/> Plans | <input type="checkbox"/> _____ |
| <input type="checkbox"/> Specifications | |

COPIES	DATE	NO.	DESCRIPTION
1 ea			As-Built Grading, Drainage, Erosion Control Plan

THESE ARE TRANSMITTED as checked below:

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Resubmit _____ copies for approval |
| <input type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Submit _____ copies for distribution |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> Resubmit _____ corrected prints |
| <input type="checkbox"/> For review/comment | <input type="checkbox"/> Other _____ | |
| <input type="checkbox"/> FOR BIDS DUE _____ 20__ | | <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US |

REMARKS

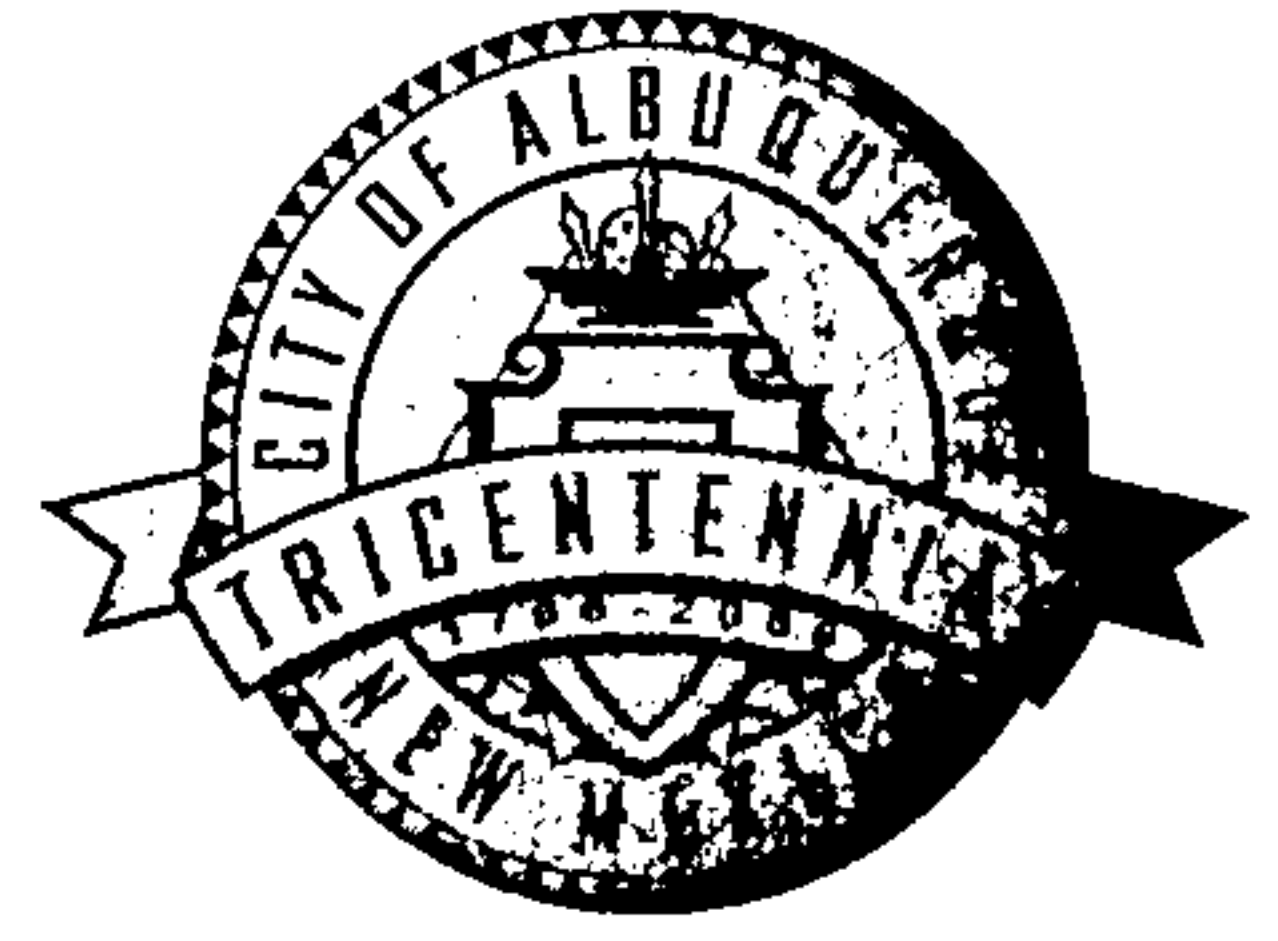


H-20/D027

COPY TO _____ SIGNED _____ Robert D. Thomas _____

If enclosures are not as noted, kindly notify us at once.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 16, 2007

A. Miguel Trujillo, Registered Architect
918 Highway 304
Albuquerque, NM 87062

Re: Certification Submittal for Final Building Certificate of Occupancy for
Helena Commercial Bldg, [J-13 / D88]
203 Rio Grande Blvd
Architect's Stamp Dated 10/15/07

Dear Mr. Trujillo:

The TCL / Letter of Certification submitted on October 16, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

MIGUEL TRUJILLO & ASSOCIATES

Architecture

918 Highway 304

Planning

Veguita, NM 87062

Construction Management

tele & fax # (505) 864-3722

Cellular # 410-4776

October 10, 2007

City of Albuquerque
Development and Building Services
600 2nd Street N.W.
Albuquerque, NM 87102

Subject: Helena Commercial Building
203 Rio Grande Blvd. NM

Re: Traffic Circulation Layout [J13-D88]

Att: Nilo Salgado-Fernandez, P.E.

Mr. Fernandez:

I am herein providing site certification in respect to the above captioned project which has been completed. I was requested by the contractor/owner to review the site and confirm the final stage of completion for the site development.

I am in receipt of the blueline print stamped by your department, dated 11/30/06.

I visited the site on October 4, 2007 and reviewed the entire site for compliance to the original "Site Development Pla", dated 11/28/06.

My overview discovered that there are very minor changes or adjustments to the existing parking, driveway and access layout, as I have demonstrated on the plan herein attached for your review and your files.

In my opinion, the traffic circulation layout has been built and completed in "Substantial Compliance" with the original and revised Site Plan.

I herein also attach a completed copy of "Drainage and Transportation Information Sheet" as required by city correspondence and instructions letter dated 11/30/2006.

If you should have any questions or concerns, feel free to call me at 864-3722 during working office hours.

Respectfully,


A. Miguel Trujillo, Architect

XC: Mark Gonzales, Developer, Contractor



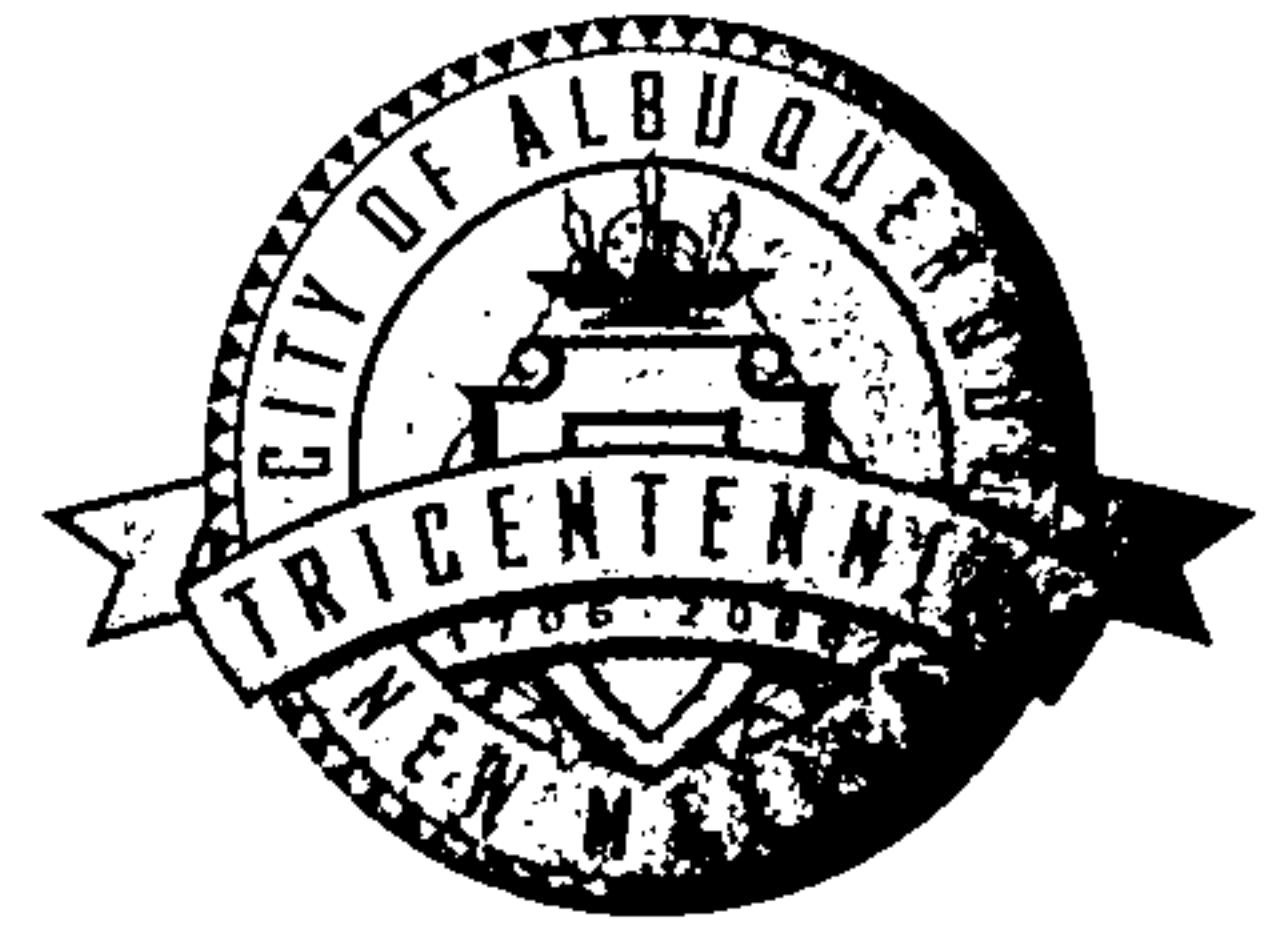
10/15/07

Registered Architect
NM Lic. # 001473

A. Miguel Trujillo NCARB Cert.
Texas Lic. # 20053

Licensed Contractor

CITY OF ALBUQUERQUE



September 18, 2007

Naim Nassar, P.E.
MNA
4521 East Virginia Ave Ste 200
Denver, CO 80246

**Re: KFC @ Eubank, 2201 Eubank NE,
Reject of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated X/XX/XX (H20/D027)
Certification dated 9/13/07**

Based upon the information provided in your submittal received 9/18/07, the above referenced certification is **rejected** for Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

The approved plan is dated 12-07-2006; this is the plan that will need to be certified for a Certificate of Occupancy. Please, resubmit the approved plan (dated 12-07-2006), with the as built elevations and the drainage certification for permanent Certificate of Occupancy.

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov

Timothy Sims
Plan Checker-Hydrology
Development and Building Services

C: Brad Bingham *bjb*
File

CITY OF ALBUQUERQUE



July 27, 2007

Naim Nassar, P.E.
MNA
4521 East Virginia Ave Ste 200
Denver, CO 80246

**Re: KFC @ Eubank, 2201 Eubank NE,
Approval of 90-Day Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated X/XX/XX (H20/D027)
Certification dated 7/25/07**

Based upon the information provided in your submittal received 7/27/07, the above referenced certification is approved for release of 1-year Temporary Certificate of Occupancy by Hydrology.

P.O. Box 1293

The plan which is certified needs to have the engineer's stamp and date of the approved grading plan. (12-07-06)

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

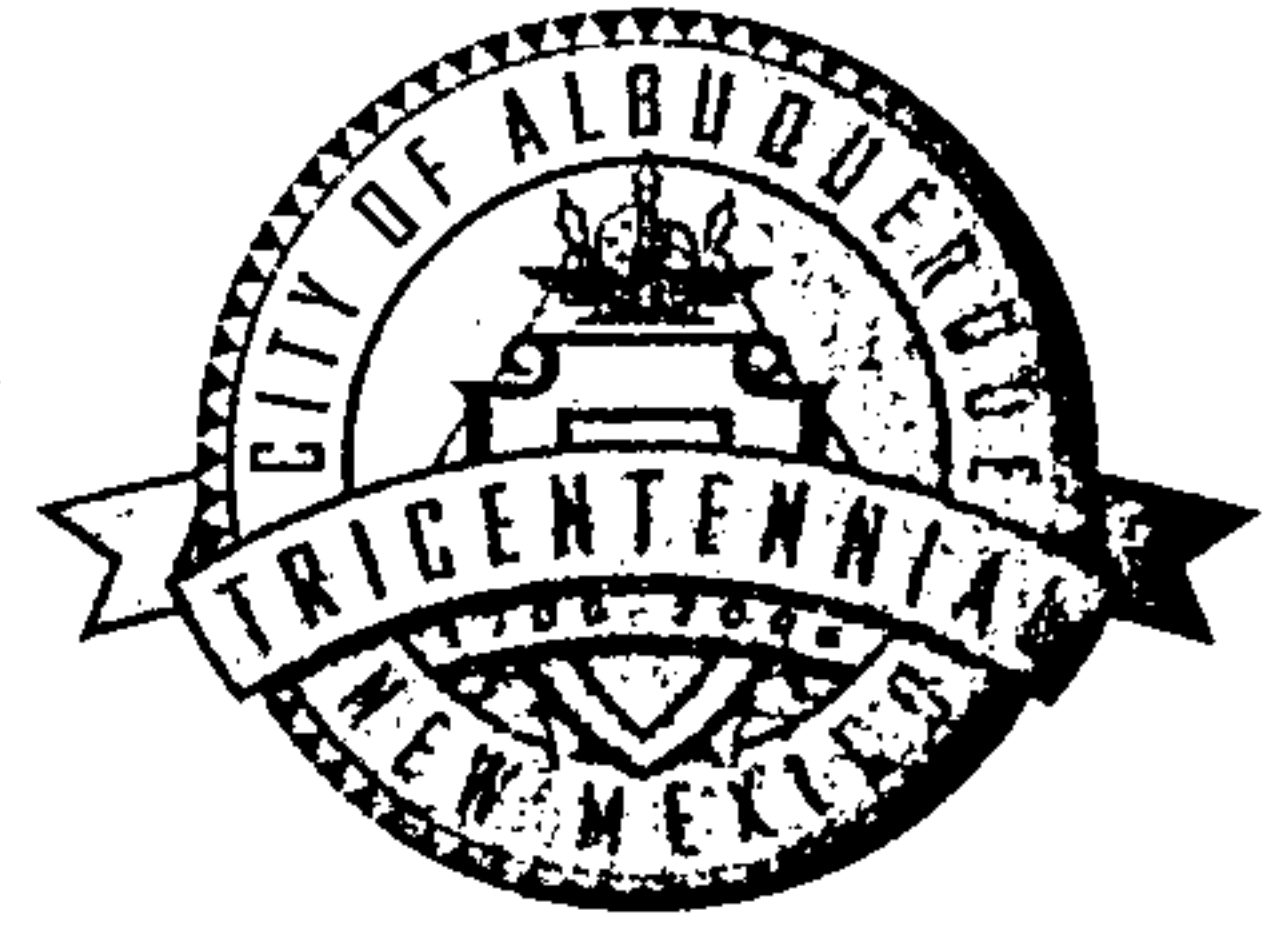
Sincerely,

Timothy Sims
Plan Checker-Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

CITY OF ALBUQUERQUE



December 21, 2006

Naim Nassar, P.E.
MNA, Inc.
4521 E. Virginia Ave., Suite 200
Denver, CO 80246

**Re: Kentucky Fried Chicken, 2201 Eubank Boulevard NE, Grading and
Drainage Plan
Engineer's Stamp dated 12-07-06 (H20-D27)**

Dear Mr. Nassar,

Based upon the information provided in your submittal received 12-08-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: Edward Elwell, DMD Street / Storm Maintenance
Antoinette Baldonado, Construction Services
File

CITY OF ALBUQUERQUE



December 4, 2006

Naim Nassar, P.E.
MNA, Inc.
4521 E. Virginia Ave., Suite 200
Denver, CO 80246

**Re: Kentucky Fried Chicken, 2201 Eubank Boulevard NE, Grading and
Drainage Plan
Engineer's Stamp dated 11-16-06 (H20-D27)**

Dear Mr. Nassar,

Based upon the information provided in your submittal received 11-17-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Per the *Development Process Manual*, all runoff generated by dumpster and compactor pads must discharge to the sanitary sewer collection system (see Chapter 22, Section 9, Table 1). As such, a detail of the trash enclosure pad showing the corner elevations and the drain's top of grate elevation must be shown.
2. The existing curb cut will be removed and replaced with sidewalk and curb and gutter, not abandoned.
3. Provide the finished floor elevation of the proposed building.
4. A sidewalk culvert is shown near the intersection of Snow Heights Circle and Eubank Boulevard. This culvert needs a build note, which should include a reference to the appropriate City Standard (Drawing number 2236, Drainage Sidewalk Culvert with Steel Plate Top) and the flow line elevation of each invert. Please note that all flow should exit the site through the drivepads or culvert. Commercial sites may not flow over the sidewalk.
5. A \$50 submittal fee is required prior to Building Permit approval. A \$50 check, made out to the City of Albuquerque, must be included with your next submittal.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 18, 2007

Naim G. Nassar, P.E.
4521 E. Virginia Ave., Ste. 200
Denver, CO 80246

Re: Certification Submittal for Final Building Certificate of Occupancy for
KFC, [H-20 / D27]
2201 Eubank NE
Engineer's Stamp Dated 09/13/07

Dear Mr. Nassar:

The TCL / Letter of Certification submitted on September 18, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: KFC ZONE MAP: 4-20/10027
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 2201 Eubank Ave

ENGINEERING FIRM: MNA Inc. CONTACT: Bob Thomas
 ADDRESS: 4521 E Virginia Ave Suite 200 PHONE: 303 377 6601
 CITY, STATE: Denver CO ZIP CODE: 80246

OWNER: Rtlo Alto Inc. CONTACT: Jeff Gueller
 ADDRESS: 924 W. CO/Fax Ave Suite 302 PHONE: 303 745 0555
 CITY, STATE: Denver CO ZIP CODE: 80204

ARCHITECT: MNA Inc. CONTACT: Donna's Thompson
 ADDRESS: 4521 E Virginia Ave Suite 200 PHONE: 303 377 6601
 CITY, STATE: Denver CO ZIP CODE: 80246

SURVEYOR: Sandia Land Surveying LLC CONTACT: Andrew Medling
 ADDRESS: 15 PHONE: 867 1241
 CITY, STATE: Platitas N.M. ZIP CODE: 87043

CONTRACTOR: WART Design & Const CONTACT: Rick Gonzales
 ADDRESS: 2919 2nd ST N.W PHONE: 345 4001
 CITY, STATE: Alb NM ZIP CODE: 87107

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

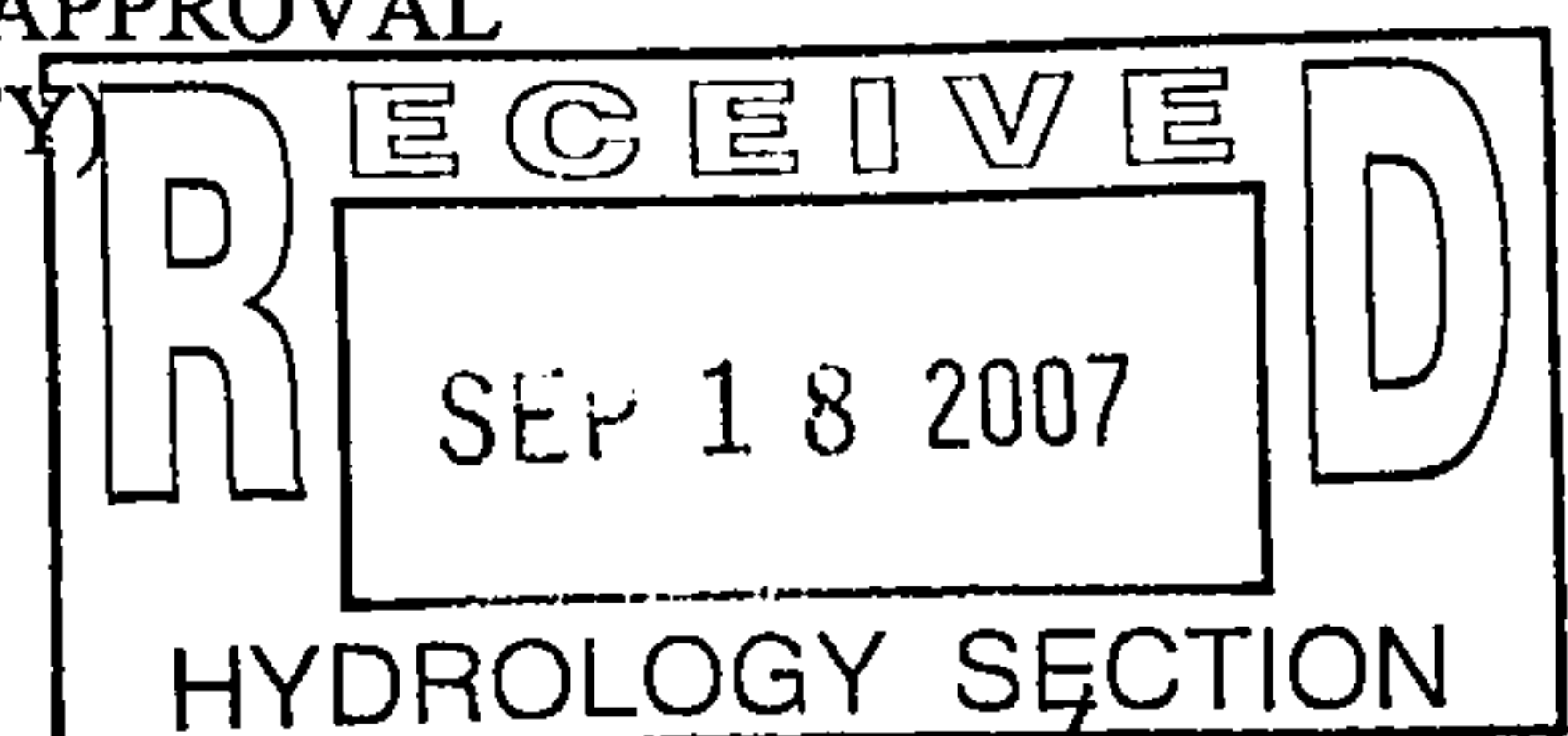
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 9/18/07 BY: WART Hardwick



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



4521 E. Virginia Ave.
Suite 200
Denver, CO 80246

T: 303.377.6601
F: 303.377.6656
www.mnaengineering.com

SEPTEMBER 13, 2007

TRAFFIC CERTIFICATE W/ SURVEY WORK BY OTHERS:

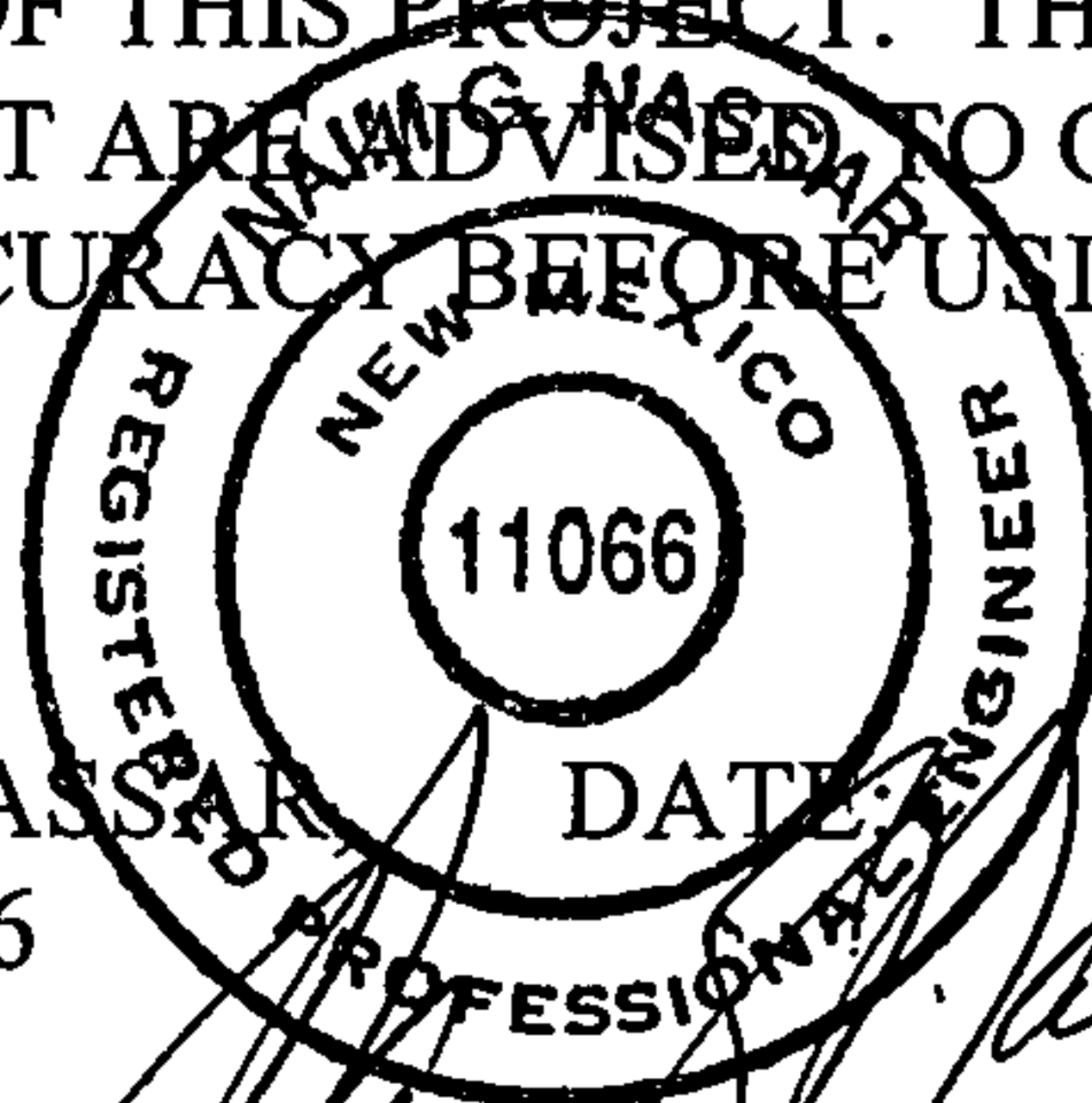
I, NAIM G. NASSAR, NMPE 11066, OF THE FIRM MNA, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SANDIA LAND SURVEYING, LLC, ANDREW S. MEDINA, NMPLS 12649. I FURTHER CERTIFY THAT MY REPRESENTATIVE PERSONALLY VISITED THE PROJECT SITE IN MAY AND JULY, 2007 AND HAS DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY.

THE IMPROVEMENTS AND LANDSCAPING HAS BEEN COMPLETED, THE HANDICAP RAMP AT THE SOUTHEAST ENTRANCE HAS BEEN POURED AND THE STEEL PLATE OVER THE CHASE SECTION HAS BEEN INSTALLED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

NAIM G. NASSAR
NMPE 11066

DATE:



9-13-07

Rick Gonzales

From: 5052696778@message.alltel.com
Sent: Friday, July 27, 2007 3:36 PM
To: Rick Gonzales
Attachments: 07-27-07_1534.jpg



AxcessSM Picture Messaging
See it, snap it, share it.



Alltel has no control over, and is not responsible for, the content or use of this picture or the accompanying personal message.

7/27/2007

CITY OF ALBUQUERQUE



December 19, 2006

Dennis Thompson, R.A.
MNA, Inc.
4521 E. Virginia Ave., Suite 200
Denver, CO 80246

Re: Kentucky Fried Chicken, 2201 Eubank Boulevard NE, Traffic Circulation Layout
Architect's Stamp dated 12-07-06 (H20-D27)

Dear Mr. Thompson,

The TCL submittal received 12-08-06 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

cc: file

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 27, 2007

Naim G. Nassar, Registered Architect,
MNA Inc.
4521 E. Virginia Ave., Ste. 200
Denver, CO 80246

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
KFC on Eubank, [H-20 / D27]
2201 Eubank NE
Architect's Stamp Dated 07/25/07

Dear Mr. Nassar:

Based on the information provided on your submittal dated July 26, 2007, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding landscaping, H.C. ramp and Site Plan (you need to provide the TCL approved Site Plan) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

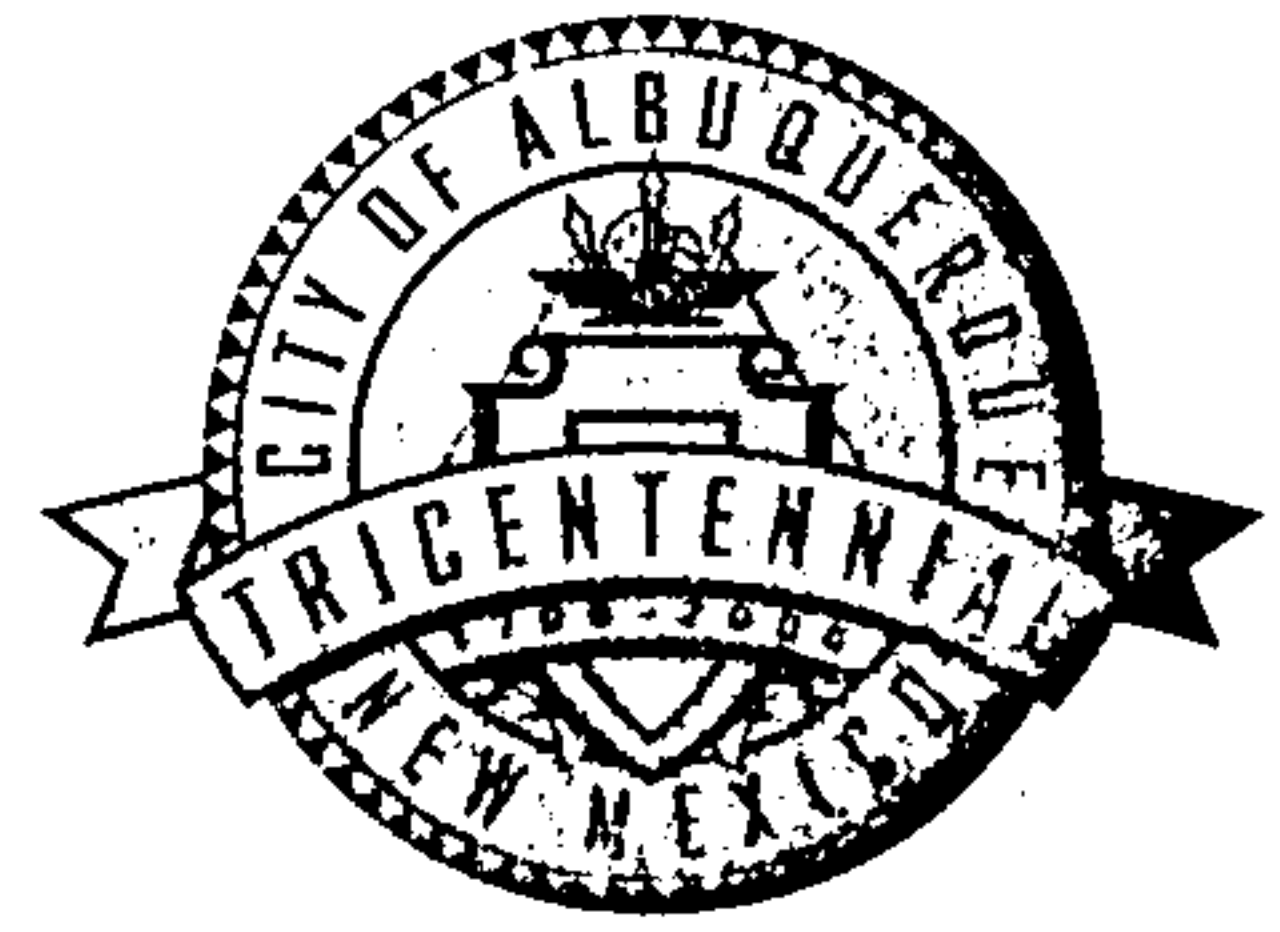
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



November 28, 2006

Dennis Thompson, R.A.
MNA, Inc.
4521 E. Virginia Ave., Suite 200
Denver, CO 80246

**Re: Kentucky Fried Chicken, 2201 Eubank Boulevard NE, Traffic Circulation
Layout
Architect's Stamp dated 11-10-06 (H20-D27)**

Dear Mr. Thompson,

Based upon the information provided in your submittal received 11-17-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Define width of the existing sidewalk.
2. Please refer to all applicable city standards.
3. Per the *Development Process Manual*, Chapter 23, Section 7, Part E, Drive Through Facilities must meet the following criteria: "Minimum lane widths are 12 feet minimum with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet)."
4. Clarify existing versus proposed conditions. Will the existing layout be completely demolished?
5. Why is the sidewalk extension only proposed for one entrance?

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File