



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 10, 1994

W. Reed Edgel  
Rodriguez & Associates  
12800 San Juan NE  
Albuquerque, NM 87123

DRAINAGE PLAN FOR AN ADDITION TO KENTUCKY FRIED CHICKEN @ EUBANK &  
MENAUL NE (H20-D27) ENGINEER'S STAMP DATED 2/10/94.

Dear Mr. Edgel:

Based on the information provided on your February 10, 1994 submittal, the  
above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to  
sign-off by Hydrology.

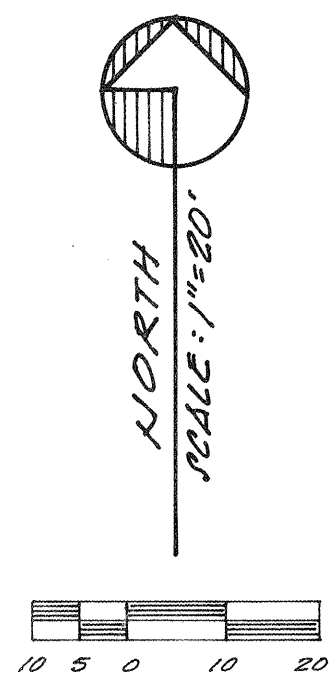
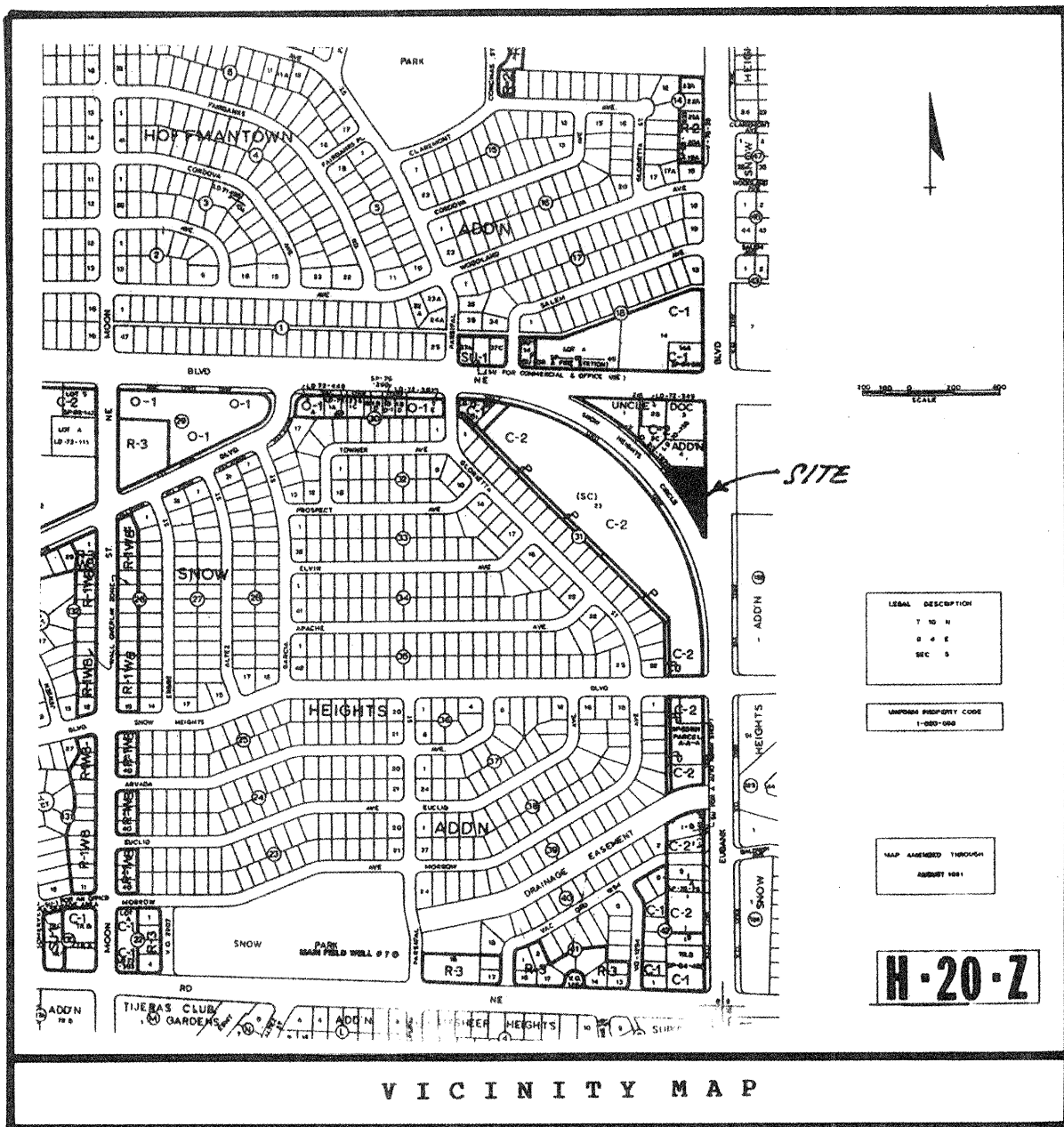
If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

*Bernie J. Montoya*  
Bernie J. Montoya, CE  
Engineering Associate

BJM/d1/WPHYD/8305

c: Inspector  
File



#### GENERAL NOTES:

- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN THOSE THAT MAY BE SHOWN ON THE PLAN HEREON.
- 3.) REFER TO "ARCHITECTURAL SITE PLAN" FOR FIELD LAYOUT OF THE PROPOSED IMPROVEMENTS.
- 4.) TOPOGRAPHY SURVEY ELEVATIONS SHOWN ON THE PLAN HEREON ARE REFERENCED TO A SPOT ELEVATION(S) VERIFICATION OF A TOPOGRAPHY SURVEY OF THE SUBJECT PROPERTY PERFORMED BY MARQUEZ SURVEYING COMPANY IN OCTOBER, 1991.
- 5.) THIS PLAN IS PREPARED FOR A PROPOSED BUILDING ADDITION OF APPROXIMATELY 575.0 SQUARE FEET TO THE EXISTING BUILDING STRUCTURE; THERE WILL BE NO CHANGE TO THE EXISTING DRAINAGE PATTERN.

#### LEGAL DESCRIPTION:

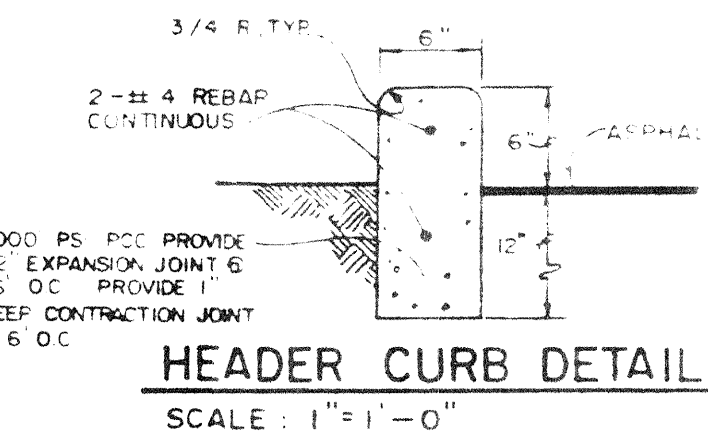
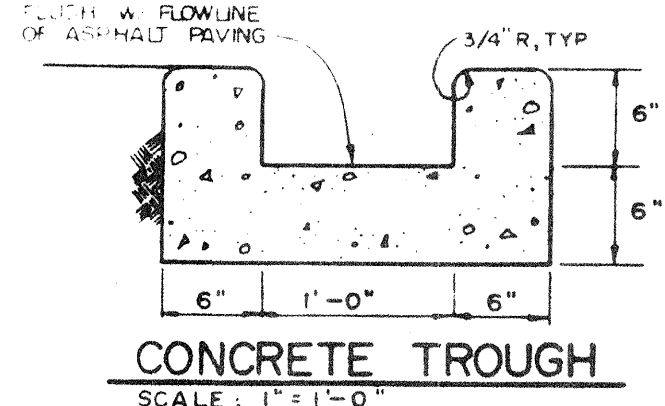
LOT NUMBERED FIVE (5) OF THE **UNCLE DOC ADDITION**, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (ZONE ATLAS MAP "H-20").

ADDRESS: 2201 EUBANK BLVD. N.E., ALBUQUERQUE, NEW MEXICO.

**BENCH MARK REFERENCE:** ACS STATION "10-J21", LOCATED AT THE INTERSECTION OF EUBANK BLVD. N.E. AND INDIAN SCHOOL ROAD N.E.; M.S.L.D. ELEVATION (1929) = 5466.20; PROJECT BENCH MARK AS SHOWN ON THE PLAN HEREON.

#### LEGEND:

EXISTING FINISH CONTOUR =  $\text{---} 82 \text{---}$   
 EXISTING SPOT ELEVATION =  $\text{---} 82.10 \text{---}$   
 TOP OF CURB ELEVATION =  $\text{---} 82.13 \text{---}$   
 CURB FLOWLINE ELEVATION =  $\text{---} 82.42 \text{---}$   
 DIRECTION OF FLOWS =  $\text{---} \text{---}$   
 EXISTING CONCRETE =  $\text{---} \text{---}$



#### EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

#### CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 765-1234 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

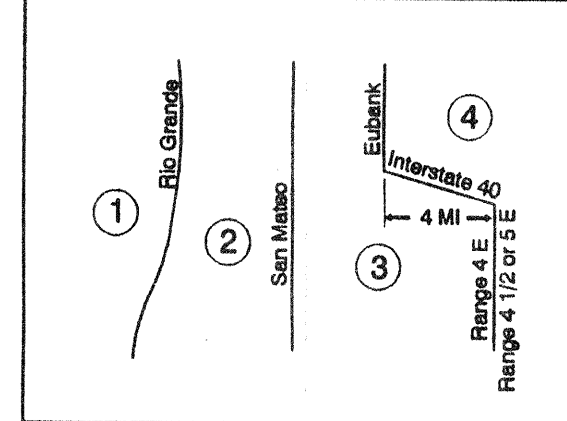
NOTE: ALL WORK PERFORMED WITHIN PUBLIC EASEMENT SHALL BE UNDER SEPARATE PERMIT BY THE CITY OF ALBUQUERQUE.

#### A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

FIGURE A-1



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

DPM SECTION 22.2 - HYDROLOGY  
January, 1993 Page A-4

TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands. Unlined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

#### DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE PLAN HEREON, THE SUBJECT SITE IS LOCATED ON THE WEST SIDE OF EUBANK BLVD. N.E. BETWEEN MENAUL BLVD. N.E. AND SNOWHEIGHTS CIRCLE N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1.) IS ENCLOSED BY A FLOODPLAIN THAT IS WITHIN EUBANK BLVD. N.E. (AO-1.0' DEPTH) AS SHOWN ON F.E.M.A. PANEL NO. 24 OF 50, 2.) WILL HAVE PROPOSED BUILDING ADDITION IMPROVEMENTS THAT ARE APPROXIMATELY ONE-THIRD (1/3) OF THE EXISTING BUILDING IMPROVEMENTS IN AREA, 3.) IS PRESENTLY AN IMPROVED COMMERCIAL PROPERTY (KFC RESTAURANT), 4.) DOES NOT CONTRIBUTE OFFSITE FLOWS TO ADJACENT PROPERTIES, 4.) DOES ACCEPT, AND WILL CONTINUE TO ACCEPT OFFSITE FLOWS FROM THE ADJACENT PROPERTY TO THE NORTH OF THE SUBJECT SITE (THESE OFFSITE FLOWS ARE CONSIDERED MINIMAL), 5.) WILL HAVE ALL EXISTING AND PROPOSED DEVELOPED FLOWS DIRECTED THROUGH DRIVEPADS ALONG SNOW HEIGHTS CIRCLE BLVD. N.E. AS SHOWN ON THE PLAN HEREON, 6.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE.

#### CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, DATED JANUARY, 1993.

SITE AREA: 0.38 ACRE

PRECIPITATION ZONE: THREE (3)

PEAK INTENSITY 5.38

#### EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
A	0.00	X 1.87	= 0.00
B	0.00	X 2.60	= 0.00
C	0.08	X 3.45	= 0.28
D	0.60	X 5.02	= 3.01

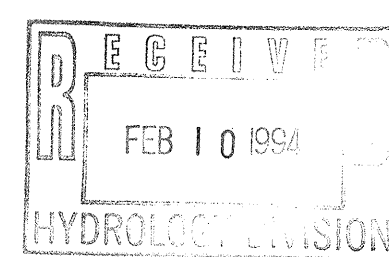
"Q<sub>p</sub>" = 3.29 CFS

#### PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
A	0.00	X 1.87	= 0.00
B	0.00	X 2.60	= 0.00
C	0.11	X 3.45	= 0.38
D	0.57	X 5.02	= 2.86

"Q<sub>p</sub>" = 3.24 CFS

\*\*\* DECREASE - 0.05 CFS



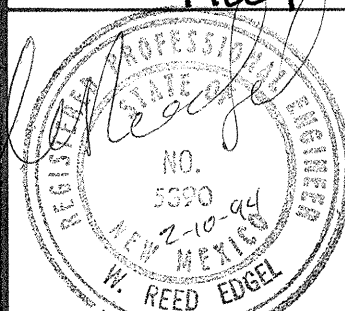
2201 EUBANK N.E.  
ALBUQUERQUE, NM  
W250-007



KFC P.O. BOX 34550 LOUISVILLE, KENTUCKY 40232 (502)456-8300

FEBRUARY, 1994

JOB NO. 94009



ENGINEER'S SEAL