

DUMPSTER PAD: OWNER'S OPTION. REMOVE & DISPOSE EXISTING CONCRETE SLAB AND CONSTRUCT NEW ON COMPACTED FILL AT DESIGNED ELEVATIONS, OR COMPACT CLEAN, GRANULAR FILL OVER EXISTING CONCRETE TO 95%min (ASTM D-1557), WITH MINIMUM COMPACTED THICKNESS 6 INCHES, THEN POUR NEW SLAB TO DESIGN GRADES.

SCALE: 1"=20'

BENCHMARK: ACS BRASS CAP MONUMENT "14-H19" NWSP COORD. NAD 27, CENTRAL ZONE N=1493778.31 E=410196.57 ELEV=4945.07 (SLD 1929) GND TO GRD FACTOR 0.99965193 DELTA ALPHA -0°10'22"

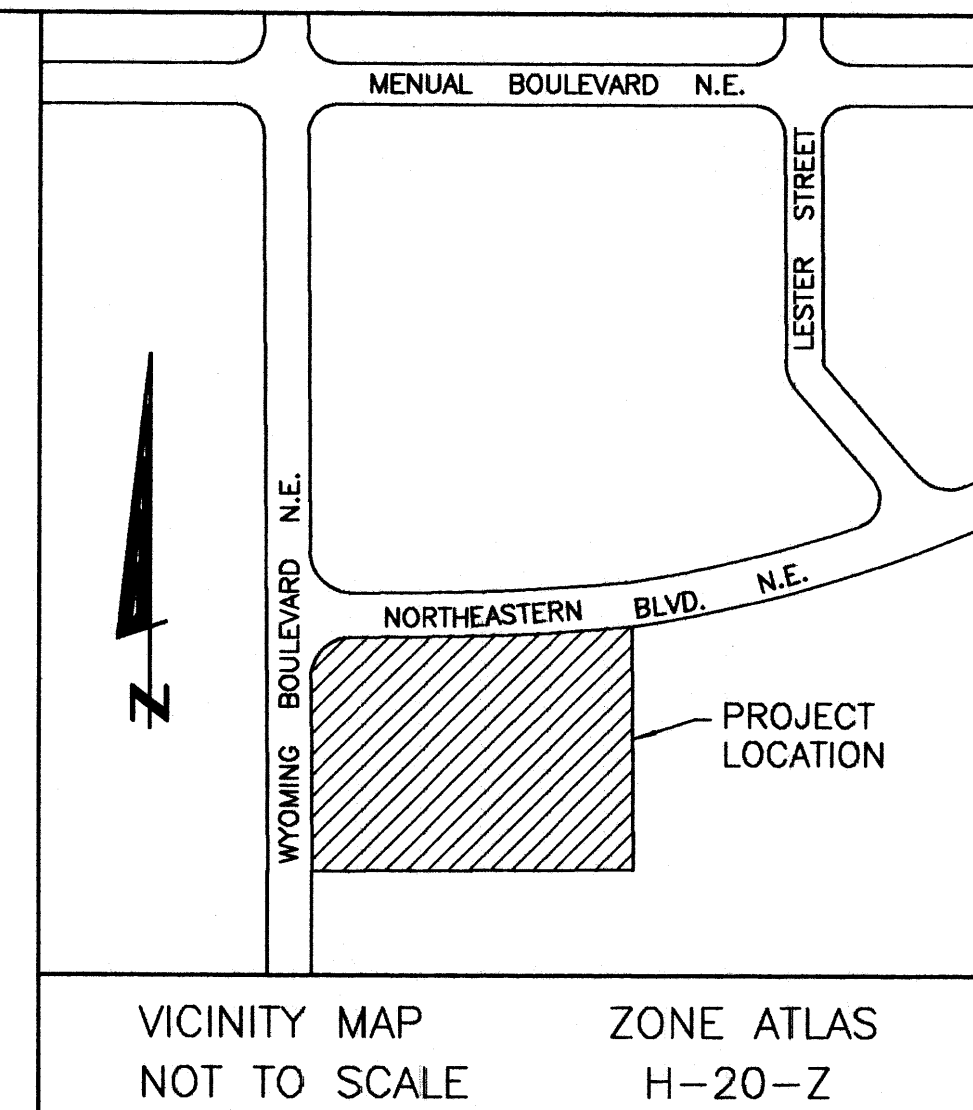
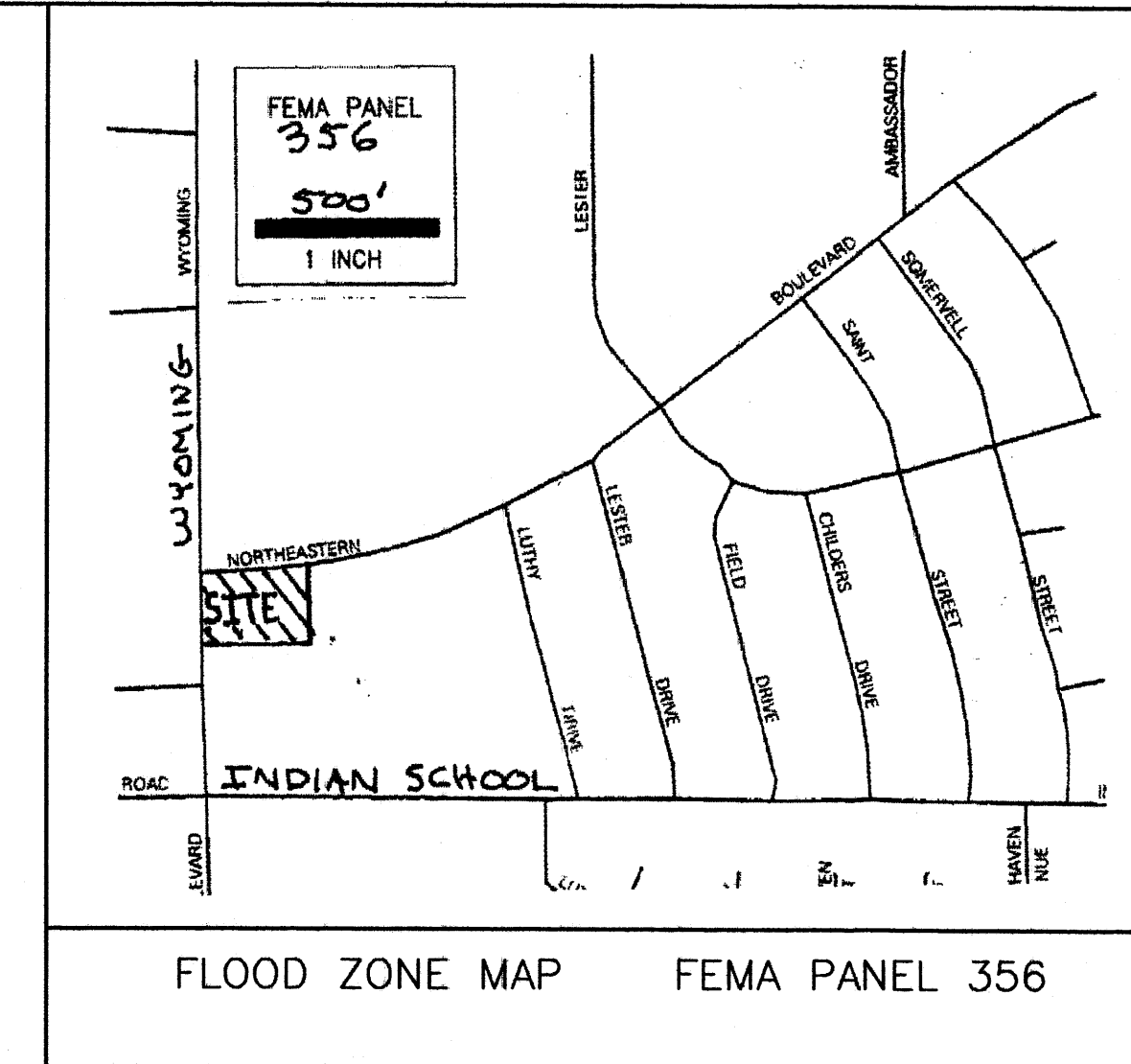
T.B.M. SW PROPERTY CORNER, NAIL IN PAVEMENT, ELEV 5372.31

NEW CURB AND GUTTER ON SITE TO BE 6" MEDIAN TYPE PER DWG 2415, TYPICAL CURB & GUTTER AT VALLEY CUTTERS & IN R/W TO BE 8" STANDARD PER 2415

SEE ARCH'L PLANS FOR: *LAYOUT CONTROL FOR CURB & GUTTER *ITEMS TO BE DEMOLISHED & REMOVED

S.O. 19 APPROVALS FOR WORK IN CITY R.O.W.

APPROVALS	NAME	DATE
A.C.E./HYDROLOGY		
INSPECTOR		
A.C.E./FIELD		



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Under these conditions it does not seem necessary to calculate runoff in detail. However, assuming 90% impervious and 10% landscaping in Albuquerque rain zone 3, and using DPM Section 22.2 (Jan, 1993) small area methods, the approximate peak runoff rate is $0.9 \text{ acre} \times (5.02 \times 0.9 + 2.60 \times 0.1) = 4.30 \text{ cfs}$.

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2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction, 1986 edition, through Update 6.
3. Two working days prior to any excavation, contractor must contact Line Locating Service (260-1990) for location of existing utilities.
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5. Backfill compaction in the City right of way shall be according to the appropriate class of street or road. Backfill compaction in Wyoming ROW shall be according to arterial standards. Backfill in parking lots and driveways shall be as for residential streets unless noted otherwise.
6. Maintenance of these facilities, specifically including facilities in the City ROW, shall be the responsibility of the Owner of the property served.
7. The Contractor shall be responsible for determining, prior to construction, whether overhead or underground utilities (and/or their support and ancillary structures) are obstructions to construction activities or would be harmed by such activities. If any problem is evident, the Contractor shall be responsible for coordinating with the utilities to have the utility supported, protected, or removed. The Contractor shall be responsible for any cost involved. Underground utility cables (such as for telephone, television, or power) shall be supported at intervals not to exceed 15'.
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9. If any utility lines, pipelines, or underground utility lines are shown on these drawings, they are shown in an approximate manner only, and such lines may exist even if they are not shown. The Engineer has undertaken no field verification of such utility lines etc. and the information on which the locations shown are based may be inaccurate, incomplete, or obsolete by the time construction occurs. The Contractor shall inform himself of the locations of such utilities etc. in or near the work before and during excavation and construction. The Contractor shall be fully responsible for any and all damage caused by his failure to locate, identify, and preserve such utilities.
10. Contractor shall take all appropriate measures to ensure that dirt, mud, and construction debris do not enter City ROW or adjacent private property. Contractor shall immediately clean up any dirt, mud, debris, or mess that does enter City ROW or adjacent private property.
11. Work in Arterial ROW requires 24-hour construction.

LEGEND

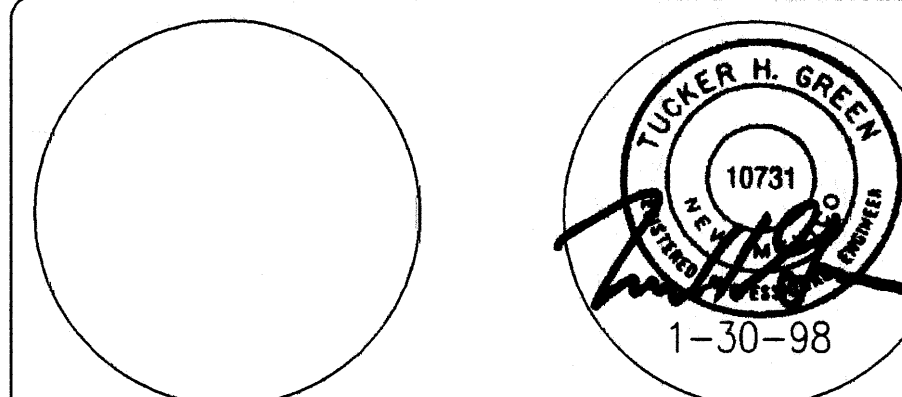
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PER SE ENGINEERING
Drainage, Utilities, and Site Design
 9109 La Barranca NE Albuquerque NM 87111
 (505) 275-0451 239-7855 mobile

Van H. Gilbert Architect PC

ARCHITECTURE PLANNING
 2428 BAYLOR DRIVE SE ALBUQUERQUE, NM 87106 505.247.9955



NORWEST BANKS
 - WYOMING & NORTHEASTERN

DATE: DRN BY: © Copyright 1998
 FILE: CHK BY: PLOT:

GRADING & DRAINAGE C2 2
 SHEET OF

D

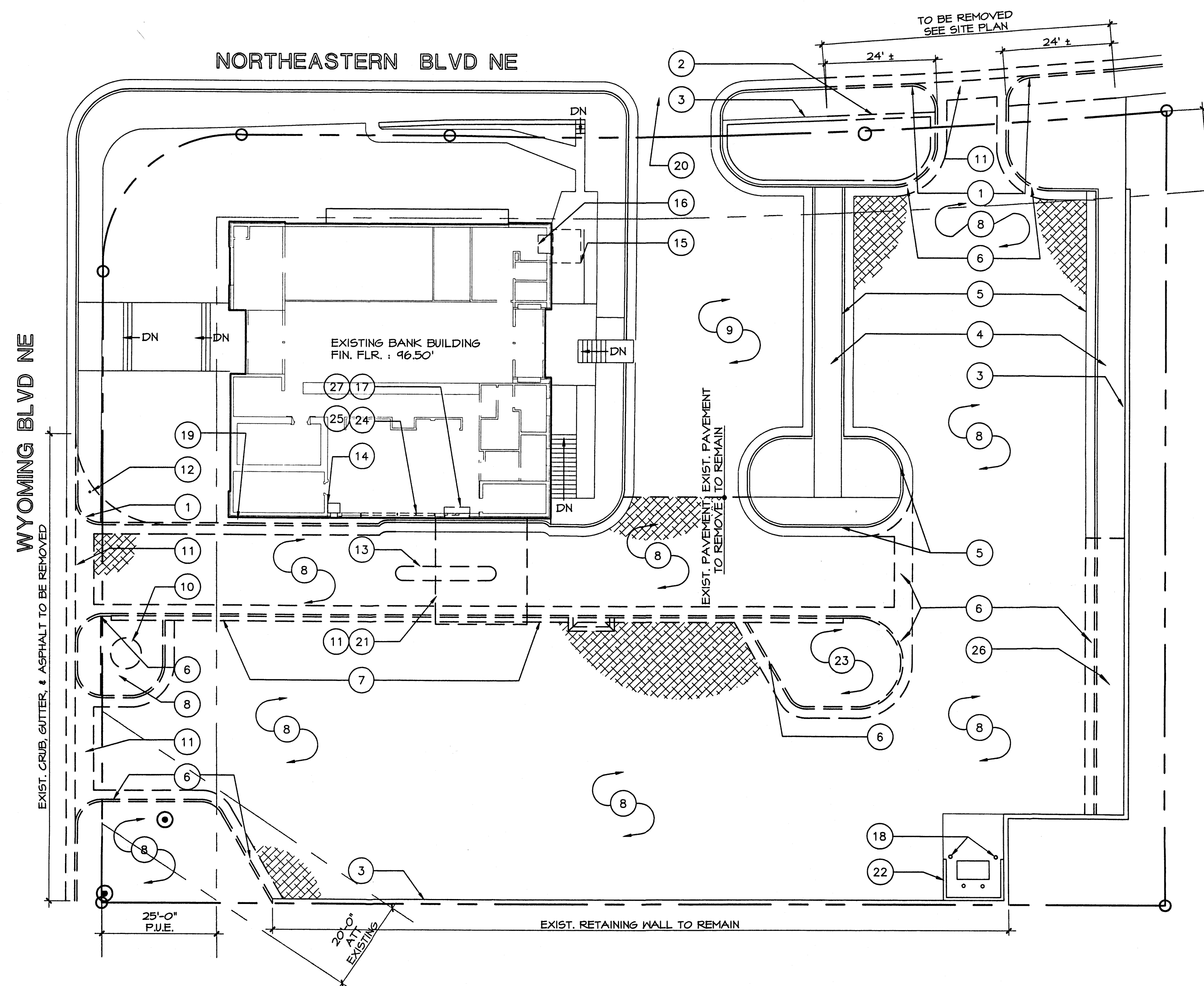
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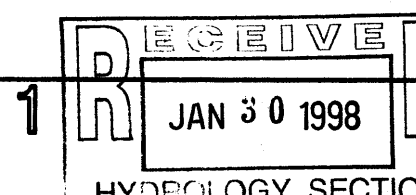
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KEYNOTES

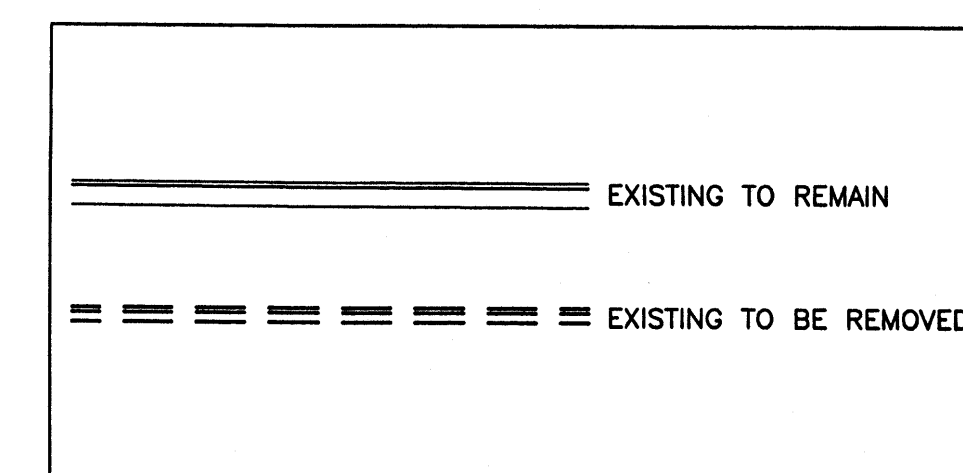
1. SIDEWALK, CURB & GUTTER TO BE REMOVED FOR NEW DRIVE PAD & H.C. RAMPS
2. PORTION OF PLANTER WALL TO BE REMOVED TO ALLOW FOR NEW DRIVE RADIUS.
3. EXISTING WALL TO REMAIN.
4. EXISTING SIDEWALK TO REMAIN.
5. EXISTING CURB & GUTTER TO REMAIN.
6. EXISTING CURB & GUTTER TO BE REMOVED.
7. EXISTING RETAINING WALL TO BE REMOVED COMPLETELY, INCLUDING STAIRS & RAILS.
8. EXISTING ASPHALT TO BE REMOVED.
9. EXISTING ASPHALT TO REMAIN.
10. EXISTING CONC. PEDESTAL TO BE REMOVED.
11. EXISTING DRIVE PAD TO BE REMOVED.
12. REMOVE SIGN POST.
13. EXISTING CONC. TELLER ISLAND TO BE REMOVED COMPLETELY. SALVAGE ALL BANK EQUIPMENT TO OWNER.
14. EXISTING NIGHT DROP TO BE REMOVED.
15. EXISTING OPENING TO BE INFILLED TO MATCH ADJACENT BRICK
16. EXISTING ATM ENCLOSURE TO BE REMOVED. CONC. PAD TO REMAIN.
17. EXISTING ATM TO BE REMOVED BY OWNER. INFILL OPENING TO MATCH ADJACENT CONST. BY CONTRACTOR.
18. EXISTING DRIVE UP WINDOW UNIT TO BE REMOVED COMPLETELY. INFILL TO MATCH ADJACENT CONST.
19. REMOVE EXISTING BOLLARDS. CUT FLUSH W/PAVEMENT.
20. EXISTING PIPE TO BE REMOVED.
21. EXISTING DRIVE PAD TO REMAIN.
22. EXISTING STEEL CANOPY TO BE REMOVED COMPLETELY.
23. EXISTING TRASH ENCLOSURE TOP REMAIN.
24. EXISTING LANDSCAPE TO BE REMOVED, REUSE ROCK WHERE PRACTICAL
25. PROVIDE OPENING FOR NEW DRIVE UP WINDOW. SEE DETAIL B5/A3.1 & C4/A3.1.
26. PROVIDE OPENING IN WALL FOR PNEUMATIC TUBES. SEE MFR DRAWINGS FOR LOCATION & SIZE. ALSO DET. A1/A3.
27. SAW CUT SIDEWALK & REMOVE. COORDINATE WITH GRADING & DRAINAGE PLAN
28. REMOVE WALL AS REQ'D TO PLACE NIGHT DROP AS SHOWN D2/3.1



DEMOLITION PLAN A1
SCALE: 1'-0\"/>



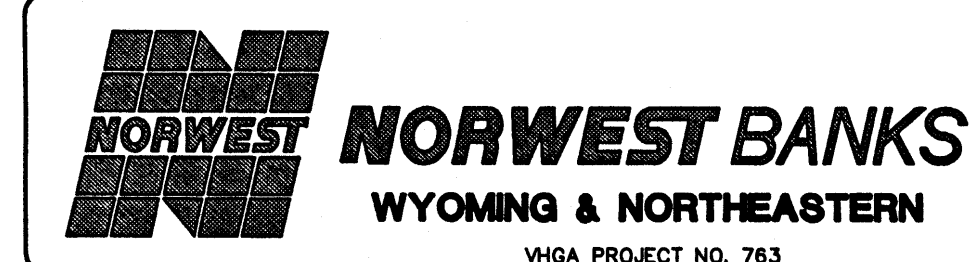
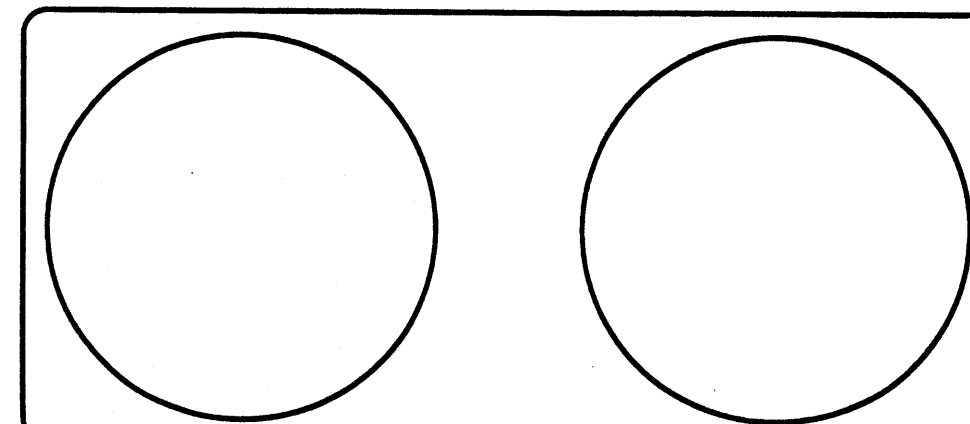
DEMO LEGEND



SCHEMATIC DESIGN

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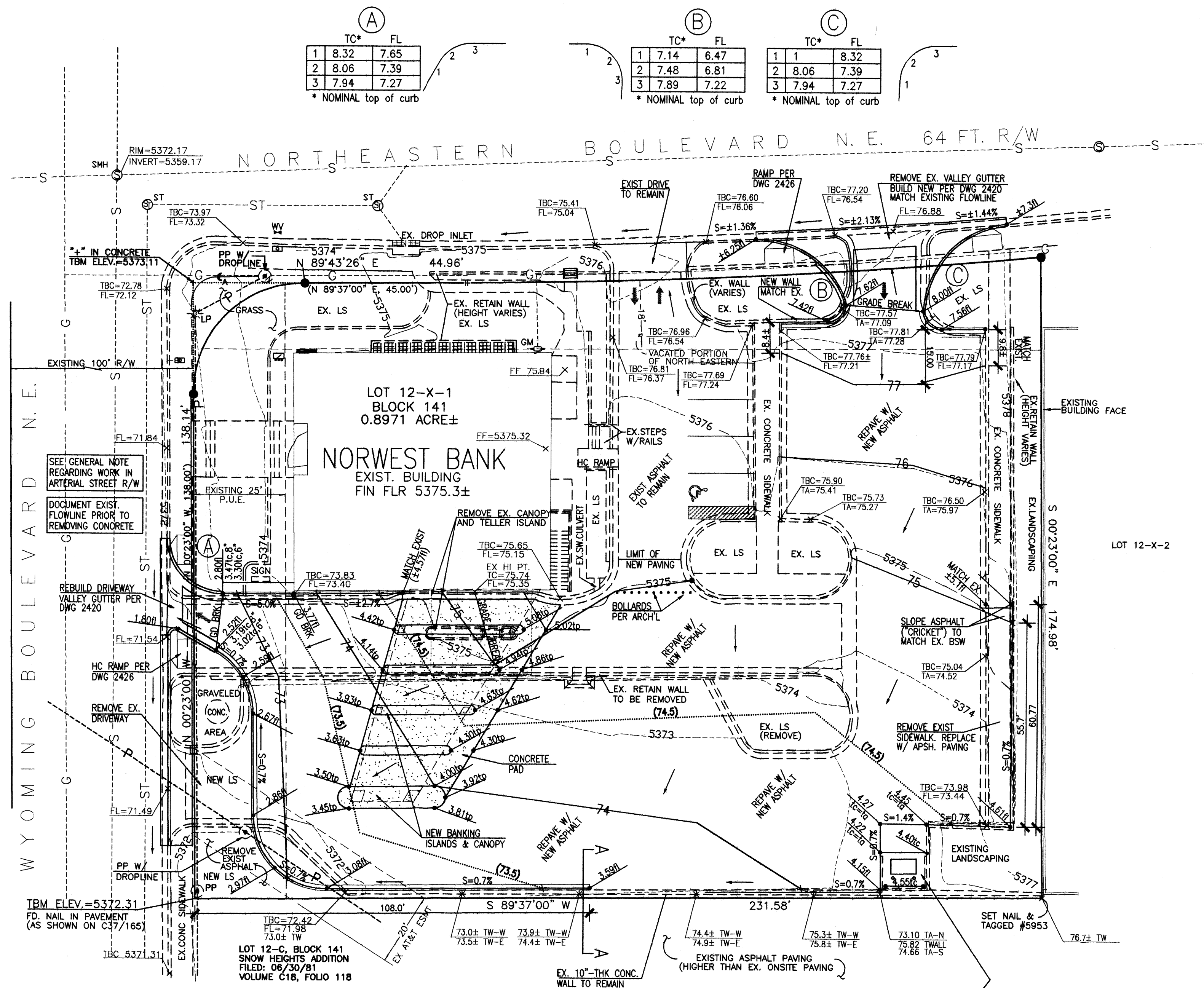
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2428 BAYLOR DRIVE SE ALBUQUERQUE, NM 87106 505.247.9955



DATE: 12-16-97 DRN BY: JP © Copyright 1997
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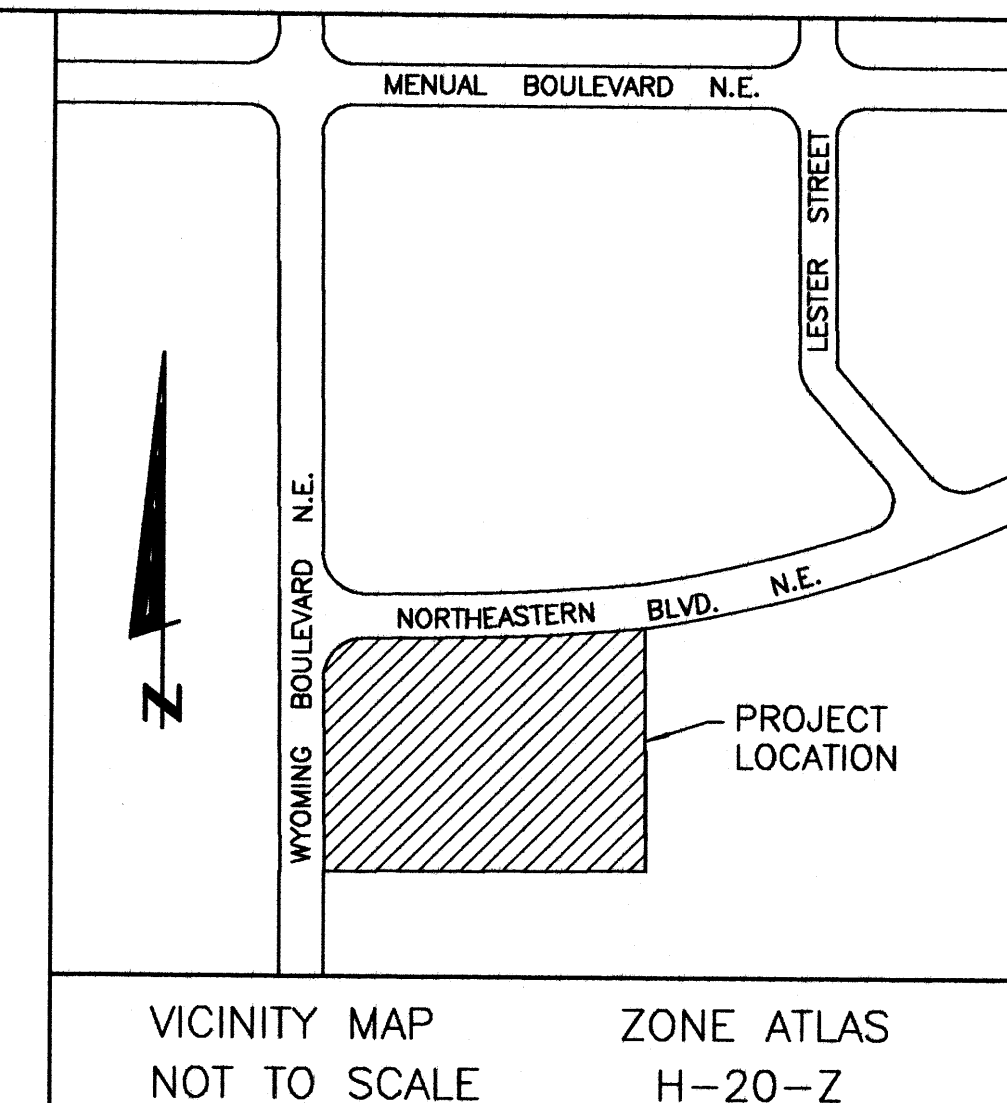
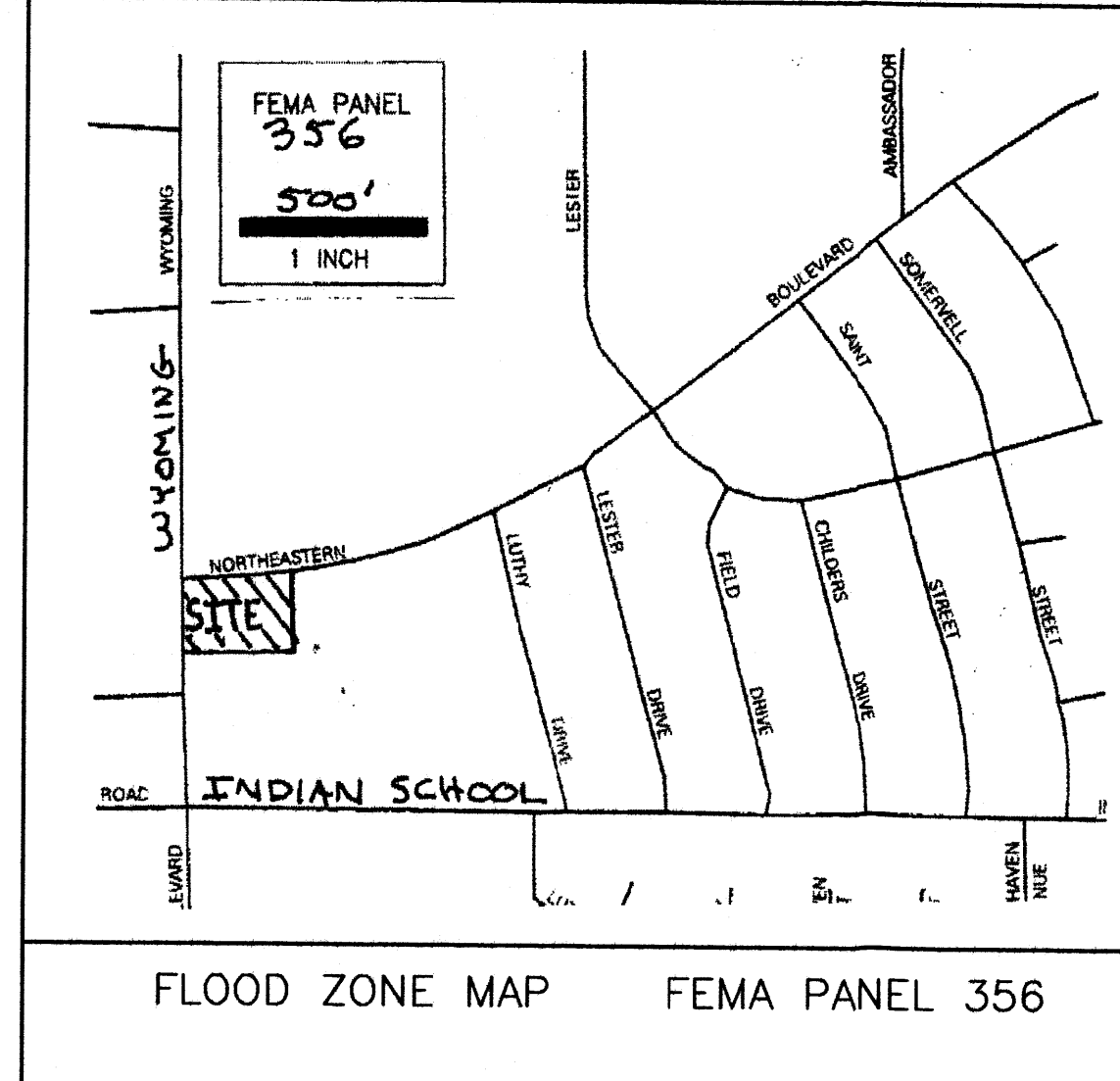
SITE DEMOLITION PLAN

C1.1
SHEET OF



A		B		C	
TC*	FL	TC*	FL	TC*	FL
1	8.32	1	7.14	1	8.32
2	8.06	2	7.48	2	8.06
3	7.94	3	7.89	3	7.94

* NOMINAL top of curb



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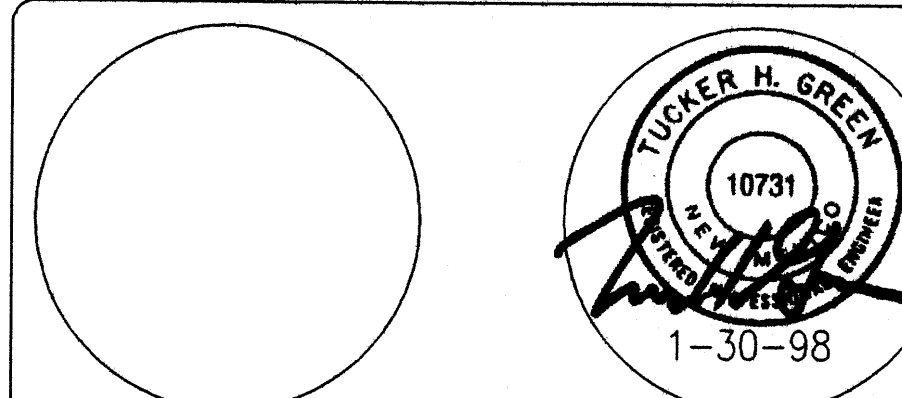
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- 74 NEW CONTOURS
- 5372 EXISTING CONTOURS
- 5372 FLOW DIRECTION
- NEW CURB AND GUTTER
- EXISTING CURB AND GUTTER
- 5.67ft NEW SPOT ELEVATION
- FL=73.40 EXISTING SPOT ELEVATION

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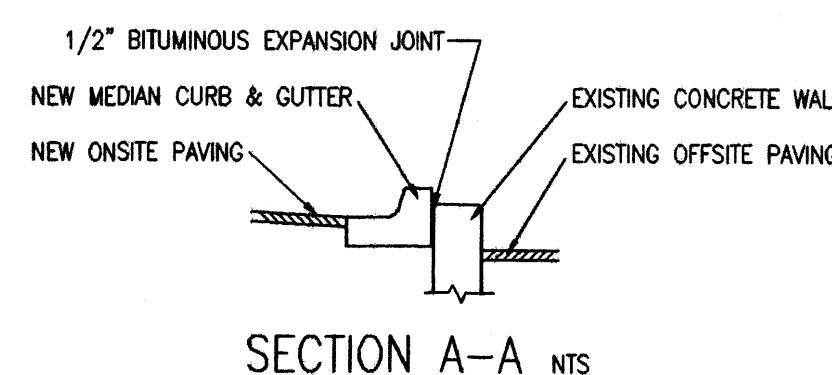
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