



**Planning Department
Transportation Development Services**

September 23, 2015

Mark De Pree
Westwork Architects
PO Box 10921
Albuquerque, NM 87184

**Re: Aztec Special Education Facility
2611 Eubank Blvd., NE
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated 9-22-15 (H20-D033)

Dear Mr. De Pree,

The TCL submittal received 9-22-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Albuquerque

New Mexico 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: AZTEC SPECIAL EDUCATION FACILITY Building Permit #: _____ City Drainage #: H20/D33
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: TRACTS E AND F, LANDS OF BOARD OF EDUCATION, AZTEC ELEM. SCHOOL
 City Address: 2611 EUBANK BLVD NE, ALBUQUERQUE NM 87110

Engineering Firm: High Mesa Consulting Group Contact: Graeme Means #13676
 Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109
 Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: gmeans@highmesacg.com

Owner: Albuquerque Public Schools Contact: Annelle Darby
 Address: 915 Oak Street SE, 87106
 Phone#: 848-8829 Fax#: _____ E-mail: annelle.darby@aps.edu

Architect: Westwork Architects Contact: Mark DePree
 Address: PO Box 10921, Albuquerque NM 87184
 Phone#: 884-5252 Fax#: 884-5255 E-mail: westwork@swcp.com

Surveyor: High Mesa Consulting Group Contact: Chuck Cala NMPS#11184
 Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109
 Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: ccala@highmesacg.com

Contractor: To be selected Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT (DMP)
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL) *RESUBMIT*
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

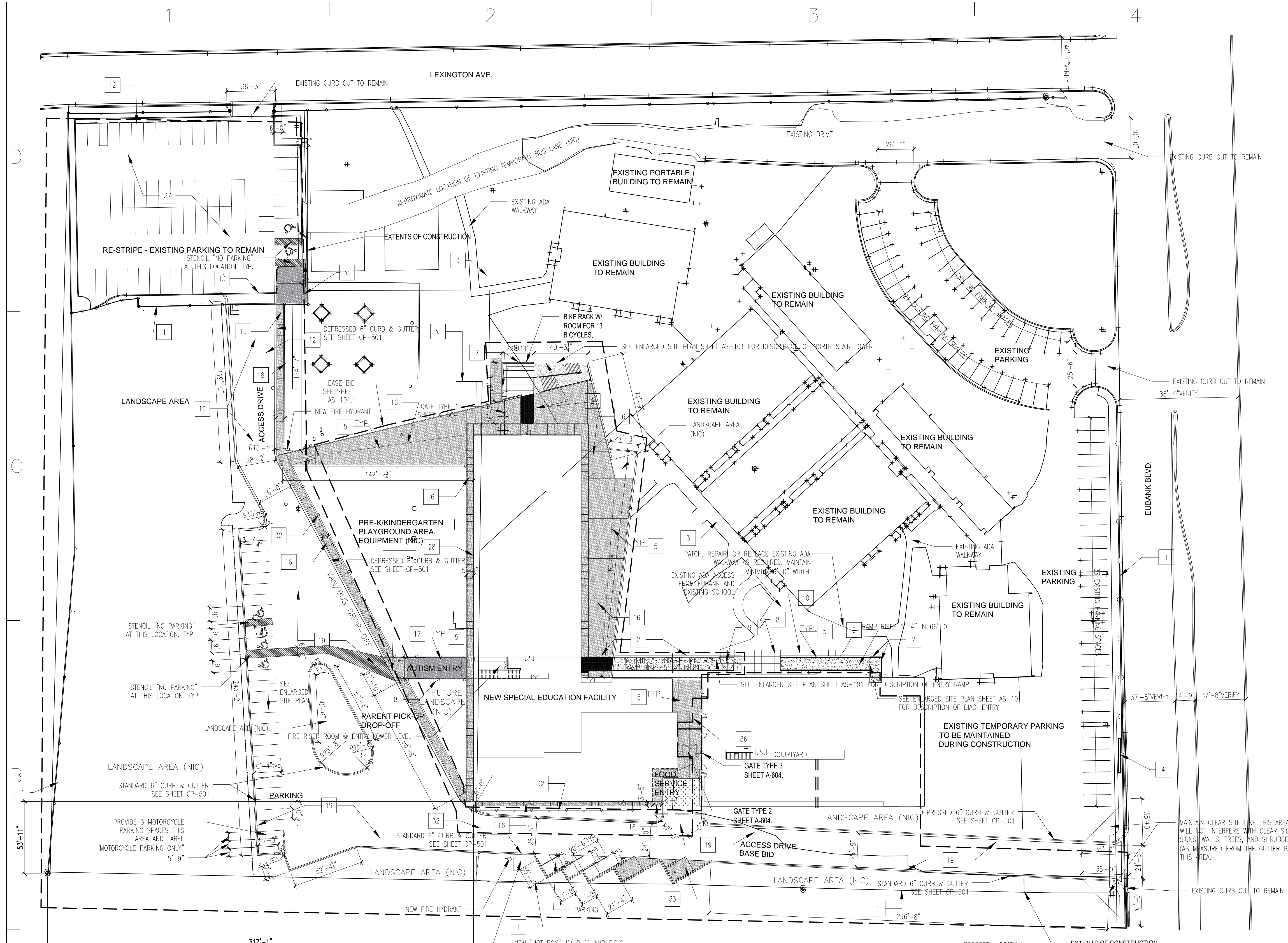
- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (DMP)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided _____
 DATE SUBMITTED: 09/22/2015 By: Mark De Free

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



SITE PLAN

Scale 1" = 40'
SEQUENCE OF WORK

- REMOVAL OF 7 PORTABLES (BY OWNER)
 - CONSTRUCTION OF NEW BUILDING
- BASE BID:**
Complete Construction of the entire Lower Level.
Warm Shell Construction of the Homebound Classrooms, IAES Classrooms and Private School Area. The only rooms north of gridline E to be finished in the Base Bid are M104, M105 and M106.
Construction of CMU walls around rooms M107 and M108.
Construction of the CMU walls on the north and east side of the Cafeteria Courtyard.
Construction of Cast-In-Place retaining walls on the east and north side of the school.
Construction of the North Stairs.
Include Frame Type 26 on Sheet A-604. Note: Omit with acceptance of Bid Lot 4.
- BID LOT 1:**
HVAC Warranty Service
HVAC Maintenance Agreement.
- BID LOT 2:**
Turnkey Photovoltaic System.
- BID LOT 3:**
Construction of the entire west Wing of the Facility west of Grid Line 12, both lower and upper level. Including but not limited to Autism, Homebound and Administrative Areas.
The total floor area to be constructed in Bid Lot 3 is - 45,107 Square Feet.
Total Area to be constructed within the exterior perimeter - 48,397 Square Feet.
- FUTURE SITE WORK IS NOT IN THIS CONTRACT.**
DEMOLITION OF EXISTING BUILDINGS, CURBS, DRIVES, PARKING AREAS, AND SITE ELEMENTS, REMOVAL OF PORTABLE (BY OWNER) IN PREPARATION FOR NEW SITE WORK.
CONSTRUCTION OF NEW ACCESS DRIVE, PARKING AREAS, AND PLAYGROUNDS

The Scope of work described by these documents includes a Base Bid and 3 Bid Lots which are:
BASE BID:
Complete Construction of the entire Diag. Wing east of Gridline 12.
The total floor area to be constructed in the Base Bid is - 14,982 Square Feet.
Total Area to be constructed within the exterior perimeter - 18,211 Square Feet.

BID LOT 1:
HVAC Warranty Service
HVAC Maintenance Agreement.

BID LOT 2:
Turnkey Photovoltaic System.

BID LOT 3:
Construction of the entire west Wing of the Facility west of Grid Line 12, both lower and upper level. Including but not limited to Autism, Homebound and Administrative Areas.
The total floor area to be constructed in Bid Lot 3 is - 45,107 Square Feet.
Total Area to be constructed within the exterior perimeter - 48,397 Square Feet.

FUTURE SITE WORK IS NOT IN THIS CONTRACT.
DEMOLITION OF EXISTING BUILDINGS, CURBS, DRIVES, PARKING AREAS, AND SITE ELEMENTS, REMOVAL OF PORTABLE (BY OWNER) IN PREPARATION FOR NEW SITE WORK.
CONSTRUCTION OF NEW ACCESS DRIVE, PARKING AREAS, AND PLAYGROUNDS



KEYED NOTES

- LINE OF EXISTING CHAIN LINK FENCE TO REMAIN. PROTECT DURING CONSTRUCTION.
- SEE ELEVATIONS AND SECTIONS FOR DESCRIPTIONS OF GUARDRAILS AND HANDRAILS.
- APPROXIMATE CONSTRUCTION FENCE LOCATION. VERIFY FINAL LOCATION WITH OWNER.
- JOB SIGN LOCATION. CONTRACTOR TO PROVIDE AND INSTALL SIGN PER SPECIFICATIONS.
- SAW CUT CONTROL JOINT. CAULK PER SPECIFICATIONS.
- PROTECT DURING CONSTRUCTION. SEE WORK SEQUENCE. THIS SHEET.
- EXISTING FIRE HYDRANT. SEE CIVIL DRAWINGS.
- LIGHT BROOM FINISH CONCRETE. PROVIDE SAMPLE FOR ARCHITECT APPROVAL.
- NEW ACCESSIBLE CONCRETE RAMP. SEE 5/AS-101. SEE STRUCTURAL SHEETS.
- CONCRETE BENCH. SEE ELEVATIONS SHEET A-201.
- CRUSHER FINE WALKING PATH, NIC.
- ASPHALT DRIVE. SEE CIVIL DRAWINGS.
- GENERAL CONTRACTOR TO INSTALL NEW CHAINLINK FENCE & GATE. HEIGHT TO MATCH EXISTING ADJACENT FENCING.

KEYED NOTES CONT'D

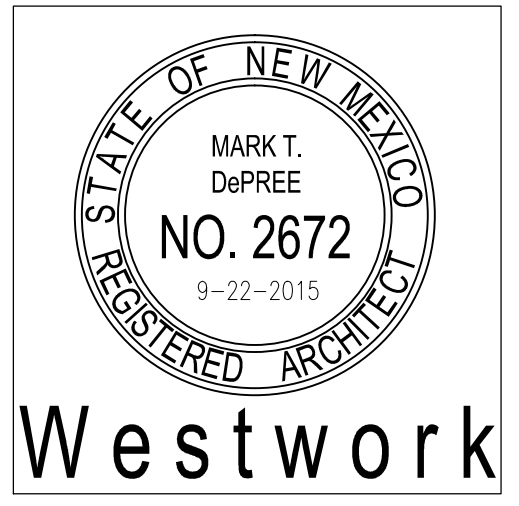
- GENERAL CONTRACTOR TO INSTALL NEW CHAINLINK FENCE & GATE. HEIGHT TO MATCH EXISTING ADJACENT FENCING.
- CAFETERIA DELIVERY AREA. SEE SHEET 1/AS-101.
- LOCATION OF NEW BUILDING. SEE FLOOR PLAN ON SHEET A-100.
- NEW EXTERIOR CONCRETE: 4" THICK CONCRETE. SEE FLOOR PLAN SHEET A-101. CIVIL AND STRUCTURAL DRAWINGS. SEE SPECIFICATIONS.
- NEW ASPHALT PAVING AT PARENT PICK UP / DROP OFF AND ACCESS DRIVE. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK. SEE ENLARGED PLAN. SEE CIVIL FOR THICKNESS AND DETAILS.
- EXISTING CONCRETE SIDEWALK TO REMAIN. PROTECT DURING CONSTRUCTION.
- NEW ACCESS ROAD AND PARKING AREA. SEE ENLARGED PLAN FOR CURBS, GUTTERS AND PAVING. STRIPE AS SHOWN, INCLUDING ALL ADA GRAPHICS, ETC. SEE CIVIL.
- AFTER REMOVAL OF PORTABLES BY OWNER'S SUBCONTRACTOR, CONTRACTOR TO CONSTRUCT SIDEWALK, HARD-SCAPE AND PLAYGROUND CURBS IN AREA OF PLAYGROUNDS. SEE ENLARGED PLAYGROUND PLANS.
- AFTER REMOVAL OF EXISTING CURB CUT, NEW CURB, GUTTER, AND SIDEWALK TO BE INSTALLED TO MEET ADJACENT. SEE DETAILS ON CIVIL.
- CONCRETE SIDEWALK. SWALE SIDEWALK TO CENTERLINE OF WALKWAY. SEE CIVIL DRAWINGS.
- GRASS PLAY FIELD, GRASS NIC AND TO BE DESCRIBED BY OTHERS.
- BURNISHED CMU. TYP. SEE STRUCTURAL DRAWINGS FOR SIZE. COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF PREMIUM COLORS. ALL EXPOSED EXTERIOR JOINTS SHALL BE CONCAVE STRUCK. ALL INTERIOR JOINTS SHALL BE RAKED. CMU WALL AREAS INCLUDING BUT NOT LIMITED TO THOSE AREAS BELOW GRADE OR IN INTERSTITIAL SPACES (WHICH INCLUDE ALL AREA FROM THE NEAREST MASONRY JOINT ABOVE CEILING CLOUDS AND ABOVE, UNLESS OTHERWISE SPECIFIED) MAY BE CONSTRUCTED WITH GREY CMU AND MORTAR. SEAL ALL EXPOSED EXTERIOR CMU WITH ECGOWARE TROJAN MASONRY & CONCRETE SEALER (15 YEAR WARRANTY), OR EQUAL.
- NOT USED.
- REMOVE EXISTING TREE OR SHRUB.
- INSTALL DRAIN AND TRAP. SEE MECHANICAL AND CIVIL SHEETS.
- OVERFLOW ROOF DRAIN DISCHARGE. SEE MECHANICAL SHEETS. MAIN ROOF DRAIN LINE TO BE CONNECTED DIRECTLY TO DISCHARGE AT PONDING AREA. SEE CIVIL SHEETS.
- ROOF DRAIN AND OVERFLOW ROOF DRAIN DISCHARGE. SEE MECHANICAL AND CIVIL SHEETS.
- BID LOT 2 - PHOTOVOLTAIC SOLAR COLLECTORS. SEE SHEET PV-100. NOTE PRICING FOR COLLECTORS ON ROOF OF BID LOT SHOULD BE INCLUDED AS A SEPARATE LINE ITEM IN BID LOT 2.
- ROOF DRAIN AND OVERFLOW ROOF DRAIN. SEE ROOF PLAN SHEET A-106.
- NEW COMMERCIAL WELDED WIRE FENCE SYSTEM. SEE SPECIFICATIONS. PROVIDE OPENINGS AS SHOWN. PROVIDE MOCK-UP FOR ARCHITECT APPROVAL.
- DUMPSTER ENCLOSURE. SEE DETAIL 6/AS-101.
- REMOVE EXISTING FENCE THIS AREA TO ALLOW FOR NEW CONSTRUCTION.
- CONSTRUCT NEW SIDEWALK AND ADA RAMP. SLOPE TO BE 1:20. REMOVE EXISTING CURB AND GUTTER TO ALLOW FOR ADA SIDEWALK AND RAMP.
- UNASSIGNED.
- RE-STRIPE EXISTING PARKING SPACES @ WEST PARKING AREA ONLY. COLOR: TRAFFIC WHITE; TYPICAL: BLUE @ ADA SPACES.

PARKING

- TOTAL NUMBER OF PARKING SPACES = 62
- REQUIRED MOTORCYCLE SPACES PER COA ZONING ORDINANCE = 3
- REQUIRED DISABLED PARKING SPACES PER COA ZONING ORDINANCE = 4, ONE OF WHICH SHALL BE VAN ACCESSIBLE.

GENERAL SHEET NOTES

- CONTRACTOR, SUBCONTRACTOR, AND ALL OTHERS PROVIDING SERVICES WITHIN THIS SCOPE OF WORK SHALL PROTECT ALL BUILDING COMPONENTS WHICH ARE TO REMAIN OR ARE TO BE SALVAGED TO OWNER FROM ANY DAMAGE DURING DEMOLITION.
- CONTRACTOR, SUBCONTRACTORS AND ALL OTHERS PROVIDING SERVICES WITHIN THIS SCOPE OF WORK SHALL PROTECT STUDENTS, STAFF, FACILITY WORKERS, AND ALL OTHER GROUPS OF PEOPLE AND INDIVIDUALS FROM HARM DURING THE DEMOLITION PHASE AND ALL OTHER PHASES OF THE CONSTRUCTION PROCESS.
- CONSTRUCT TEMPORARY BARRIER BETWEEN CONSTRUCTION ZONE AND REMAINING SCHOOL AREA. SAID BARRIERS SHALL MEET THE REQUIREMENTS OF ALL JURISDICTIONAL CODES, ZONING LAWS, ETC.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL GIVE OWNER FIRST RIGHT OF REFUSAL TO ALL SALVAGEABLE MATERIAL. CONTRACTOR SHALL COORDINATE CAREFUL AND TIMELY TRANSFER OF ALL MATERIALS REQUESTED BY OWNER TO BE SALVAGED TO OWNER.
- CONTRACTOR SHALL DISPOSE OF ALL MATERIAL REMOVED FROM SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES OR OTHER APPLICABLE GOVERNANCES.
- SITE DEMOLITION OUTSIDE THE DOMAIN OF THE ADMINISTRATIVE ALTERATION AND ADDITION IS DESCRIBED ON SHEET ASP-10.
- CONTRACTOR SHALL PROTECT EXISTING TREES WHICH ARE TO REMAIN FROM DAMAGE DURING THE CONSTRUCTION PROCESS.
- SEE ELECTRICAL, PLUMBING AND MECHANICAL SHEETS FOR ADDITIONAL REMOVALS. DEMOLITION OF FLOORS, WALLS, CEILING AND ROOFS IMPLIES REMOVAL OF ALL ASSOCIATED ELECTRICAL, MECHANICAL AND PLUMBING FIXTURES, EQUIPMENT ETC. UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL REMOVE ALL FIXTURES ASSOCIATED WITH REMOVAL OF SUSPENDED CEILING AS DESCRIBED HEREIN.
- CONTRACTOR SHALL IMMEDIATELY CONTACT ARCHITECT WITH ANY QUESTIONS CONCERNING OR CLARIFICATION.
- EXISTING BUILDING TO BE DEMOLISHED AFTER COMPLETION OF NEW BUILDING.



Westwork ARCHITECTS
10 Box 1001
ALBUQUERQUE, NEW MEXICO 87104-0921
505.884.5252 FAX: 505.213.0002

CONSULTANTS

CIVIL: High Mesa Consulting Group
6018 Midway Park Blvd NE
Albuquerque, NM 87119
Phone: (505) 345-4250
Fax: (505) 345-4254

STRUCTURAL: Chavez-Greaves Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87119
O: 505-344-4080
C: 505-259-7486

MECHANICAL/PLUMBING/ELECTRICAL:
T & D Services
6001 Indian School Rd. NE
Albuquerque, NM 87110-4153
Phone: 314-7508 Direct
(955) 314-7500 Office
(955) 314-7501 FAX

AZTEC SPECIAL EDUCATION FACILITY

Albuquerque Public Schools
2611 Eubank Blvd. Albuquerque, New Mexico 87112

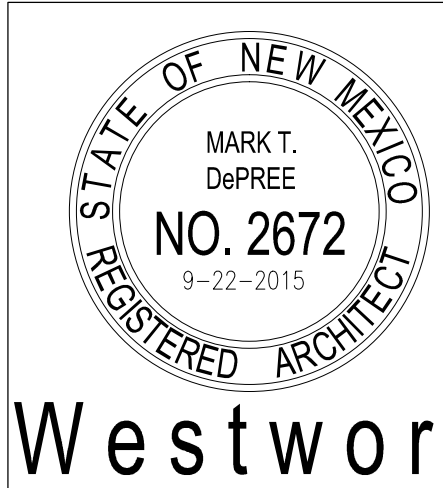
ADDENDUM COMPILATION SET

DRAWING SUBMITTAL:	
01	06/21/14 TRANSITION PLAN
02	09/04/14 50% Construction Documents Review Set
03	02/23/15 95% Construction Documents Review Set
04	04/20/15 100% C.O.A. Permit Documents
05	05/06/15 ADDENDUM I
06	06/02/15 ADDENDUM II
07	06/18/15 ADDENDUM III
08	06/22/15 ADDENDUM IV
09	07/27/15 ADDENDUM V Supercedes, replaces, & voids all previous addendum drawings and sketches. REVISION: 9.28.2015

PROJECT NO: 150713
CAD DWG FILE:
DRAWN BY: Mark De Pree & Leonard Perez
CHK'D BY: Cindy Terry
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TRAFFIC CONTROL LAYOUT PLAN

TCL-100



Westwork ARCHITECTS

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CONSULTANTS

CIVIL: High Mesa Consulting Group
60118 Midway Park Blvd. NE
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Fax: (505) 345-4254

STRUCTURAL: Chavez-Greaves Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87110
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C: 505-259-7486

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6001 Indian School Rd. NE
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AZTEC SPECIAL EDUCATION FACILITY
Albuquerque Public Schools
2611 Eubank Blvd. Albuquerque, New Mexico 87112
ADDENDUM COMPILATION SET

DRAWING SUBMITTAL:

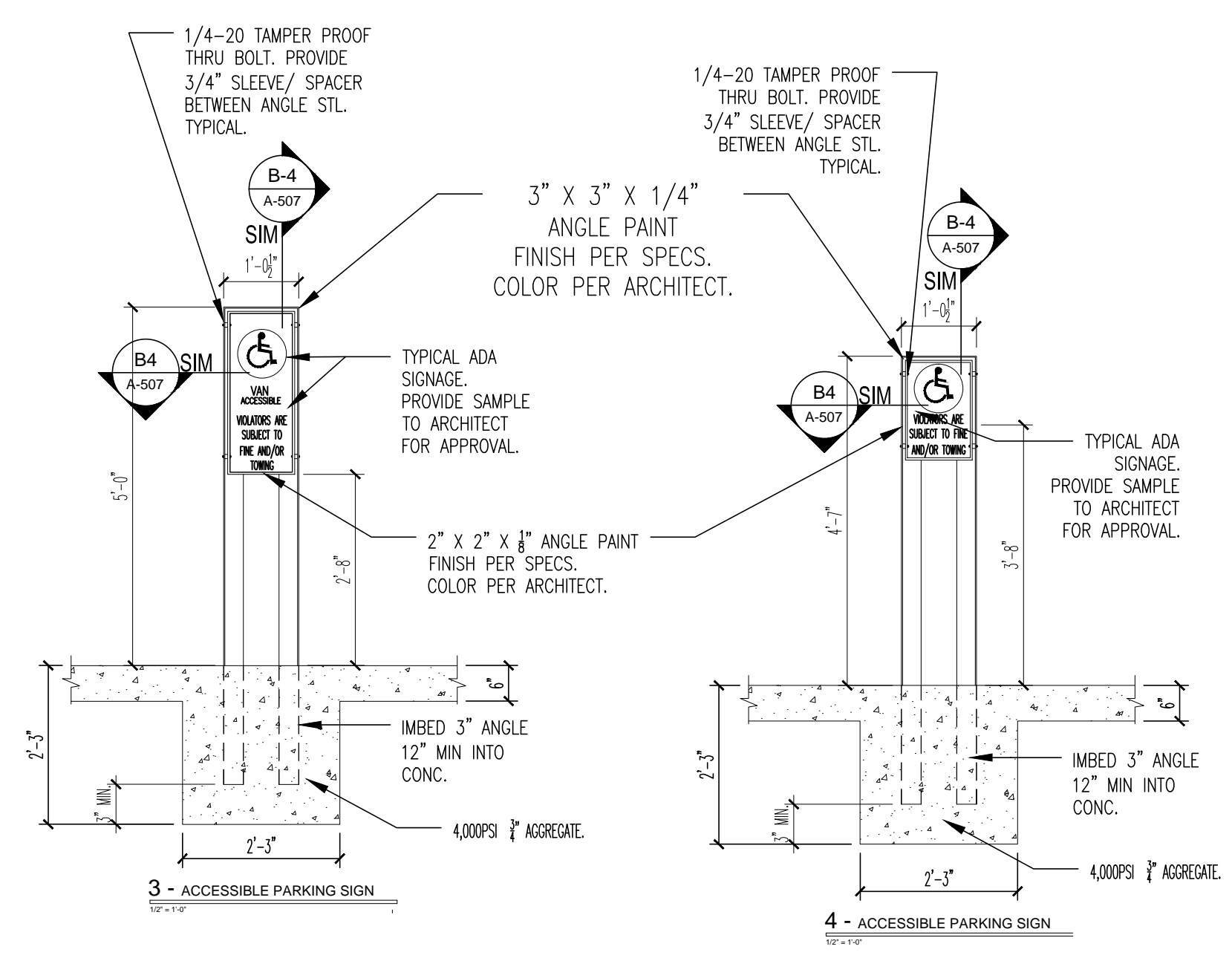
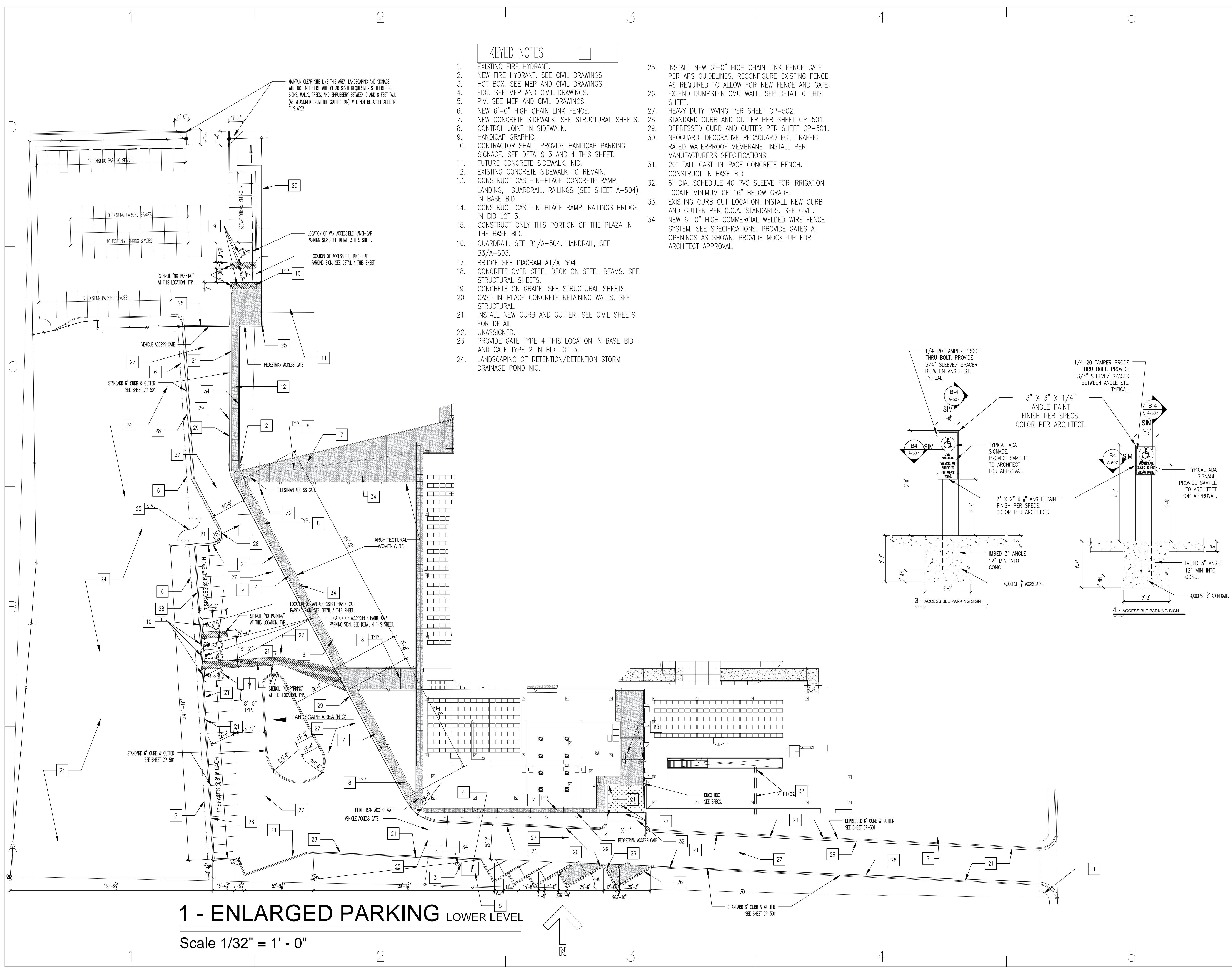
01	06/21/14	TRANSITION PLAN
02	09/04/14	50% Construction Documents Review Set
03	02/23/15	95% Construction Documents Review Set
04	04/20/15	100% C.O.A. Permit Documents
05	05/05/15	ADDENDUM I
06	06/02/15	ADDENDUM II
07	06/18/15	ADDENDUM III
08	06/22/15	ADDENDUM IV
09	07/27/15	ADDENDUM V Supercedes, replaces, & voids all previous addendum drawings and sketches. REVISION 0.28.2015.

PROJECT NO: 150713
CAD DWG FILE:
DRAWN BY:
CHK'D BY:
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SHEET TITLE
ENLARGED TRAFFIC CONTROL PLAN
TCL-101

KEYED NOTES

- EXISTING FIRE HYDRANT.
- NEW FIRE HYDRANT. SEE CIVIL DRAWINGS.
- HOT BOX. SEE MEP AND CIVIL DRAWINGS.
- FDC. SEE MEP AND CIVIL DRAWINGS.
- PIV. SEE MEP AND CIVIL DRAWINGS.
- NEW 6'-0" HIGH CHAIN LINK FENCE.
- NEW CONCRETE SIDEWALK. SEE STRUCTURAL SHEETS.
- CONTROL JOINT IN SIDEWALK.
- HANDICAP GRAPHIC.
- CONTRACTOR SHALL PROVIDE HANDICAP PARKING SIGNAGE. SEE DETAILS 3 AND 4 THIS SHEET.
- FUTURE CONCRETE SIDEWALK. NIC.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- CONSTRUCT CAST-IN-PLACE CONCRETE RAMP, LANDING, GUARDRAIL, RAILINGS (SEE SHEET A-504) IN BASE BID.
- CONSTRUCT CAST-IN-PLACE RAMP, RAILINGS BRIDGE IN BID LOT 3.
- CONSTRUCT ONLY THIS PORTION OF THE PLAZA IN THE BASE BID.
- GUARDRAIL. SEE B1/A-504. HANDRAIL, SEE B3/A-503.
- BRIDGE SEE DIAGRAM A1/A-504.
- CONCRETE OVER STEEL DECK ON STEEL BEAMS. SEE STRUCTURAL SHEETS.
- CONCRETE ON GRADE. SEE STRUCTURAL SHEETS.
- CAST-IN-PLACE CONCRETE RETAINING WALLS. SEE STRUCTURAL.
- INSTALL NEW CURB AND GUTTER. SEE CIVIL SHEETS FOR DETAIL.
- UNASSIGNED.
- PROVIDE GATE TYPE 4 THIS LOCATION IN BASE BID AND GATE TYPE 2 IN BID LOT 3.
- LANDSCAPING OF RETENTION/DETENTION STORM DRAINAGE POND NIC.
- INSTALL NEW 6'-0" HIGH CHAIN LINK FENCE GATE PER APS GUIDELINES. RECONFIGURE EXISTING FENCE AS REQUIRED TO ALLOW FOR NEW FENCE AND GATE.
- EXTEND DUMPSTER CMU WALL. SEE DETAIL 6 THIS SHEET.
- HEAVY DUTY PAVING PER SHEET CP-502.
- STANDARD CURB AND GUTTER PER SHEET CP-501.
- DEPRESSED CURB AND GUTTER PER SHEET CP-501.
- NEOGUARD "DECORATIVE PEDAGUARD FC". TRAFFIC RATED WATERPROOF MEMBRANE. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 20" TALL CAST-IN-PLACE CONCRETE BENCH. CONSTRUCT IN BASE BID.
- 6" DIA. SCHEDULE 40 PVC SLEEVE FOR IRRIGATION. LOCATE MINIMUM OF 16" BELOW GRADE.
- EXISTING CURB CUT LOCATION. INSTALL NEW CURB AND GUTTER PER C.O.A. STANDARDS. SEE CIVIL.
- NEW 6'-0" HIGH COMMERCIAL WELDED WIRE FENCE SYSTEM. SEE SPECIFICATIONS. PROVIDE GATES AT OPENINGS AS SHOWN. PROVIDE MOCK-UP FOR ARCHITECT APPROVAL.



1 - ENLARGED PARKING LOWER LEVEL
Scale 1/32" = 1' - 0"