

# CITY OF ALBUQUERQUE



February 16, 2017

Cindy Terry R.A.  
Westwork Architects  
PO Box 10921  
Albuquerque, NM 87184

**Re: Aztec Special Education Facility**  
**Request for Certificate of Occupancy- Transportation Development**  
Architect's Stamp dated 09-22-15 (H20-D033)  
Certification dated 01-12-17

Dear Ms. Terry,

Based upon the information provided in your submittal received 02-16-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz  
Senior Engineer, Planning Dept.  
Development Review Services

LWP via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: ARETEL SP. ED. COMPLEX Building Permit #: 201591072 Hydrology File #: 201591072  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: TRACTS E+F, LANDS OF THE BOARD OF EDUCATION, ARETEL ELEMENTARY SCHOOL  
City Address: 2611 EURANK BUD. NE ALBUQUERQUE, NM 87112

Applicant: THOMPSON CONSTRUCTION, INC. Contact: ZACH THOMPSON  
Address: 8200 VENICE AVE NE  
Phone#: 505-856-1412 Fax#: 505-856-1375 E-mail: ZACH@TCI-NM.COM

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE AND DEVELOPMENT SECTION  
☒ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 1/24/17 By: [Signature] / ZACH THOMPSON

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



January 11, 2017

office  
PO Box 10921  
Albuquerque New  
Mexico 87184

phone  
(505)884-5252

email  
[westwork@swcp.com](mailto:westwork@swcp.com)

website

**Traffic Certification**

Project: Aztec Special Education Facility, Albuquerque Public Schools  
Address: 2600 Eubank Blvd NE Alb. NM

I, Cindy Terry AIA, New Mexico Registered Architect, of the firm Westwork Architects P.A. Hereby Certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated September 28, 2015. The record information edited onto the original design document has been obtained by Cindy Terry of Westwork Architects P.A. I further certify that I personally have visited the project site on January 10, 2017 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is summated in support of a request for a certificate of occupancy.

Revisions:

1. ASI 42: Owner requested ADA spaces be moved closer to entry door.
2. RFI 144: Parking spaces and Trash Enclosures Orientation changed for Waste Management approach.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

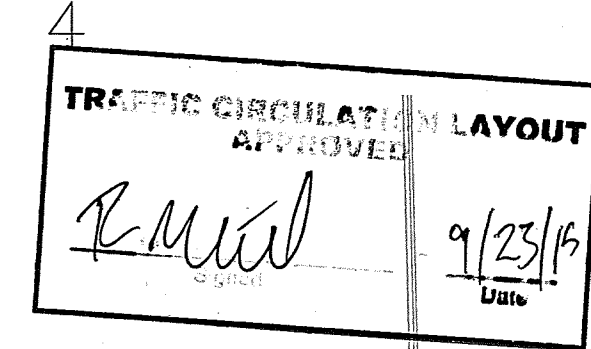
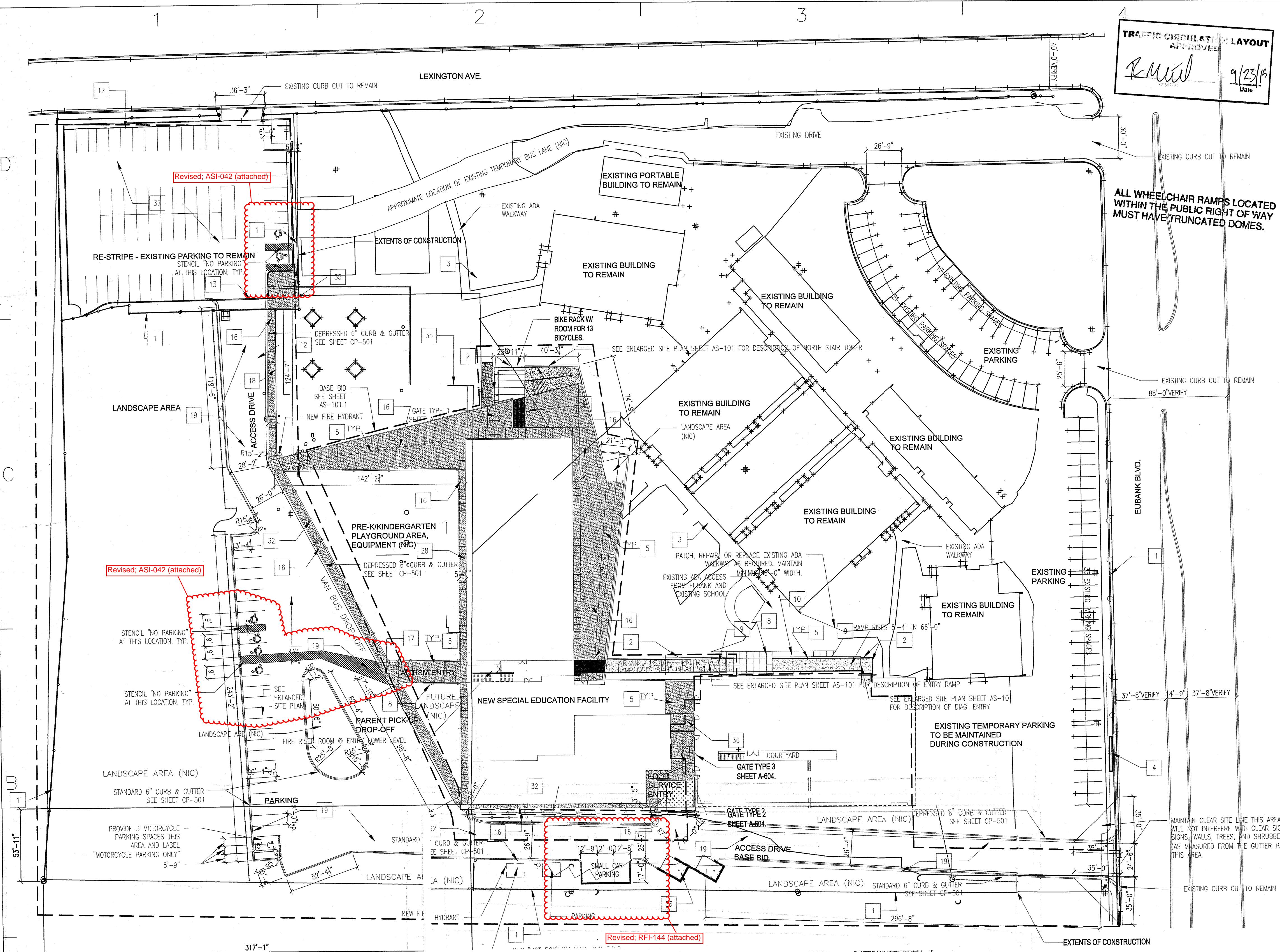
A handwritten signature in black ink, appearing to read "Cindy Terry", written over a horizontal line.

Signature of Engineer or Architect

January 12, 2017  
Date







KEYED NOTES CONT'D

- 13. GENERAL CONTRACTOR TO INSTALL NEW CHAINLINK FENCE & GATE. HEIGHT TO MATCH EXISTING ADJACENT FENCING.
- 14. CAFETERIA DELIVERY AREA. SEE SHEET 1/AS-101.
- 15. LOCATION OF NEW BUILDING. SEE FLOOR PLAN ON SHEET A-100.
- 16. NEW EXTERIOR CONCRETE 4" THICK CONCRETE. SEE FLOOR PLAN SHEET A-101, CIVIL AND STRUCTURAL DRAWINGS. SEE SPECIFICATIONS.
- 17. NEW ASPHALT PAVING AT PARENT PICK UP DROP OFF AND ACCESS DRIVE. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK. SEE ENLARGED PLAN. SEE CIVIL FOR THICKNESS AND DETAILS.
- 18. EXISTING CONCRETE SIDEWALK TO REMAIN. PROTECT DURING CONSTRUCTION.
- 19. NEW ACCESS ROAD AND PARKING AREA. SEE ENLARGED PLAN FOR CURBS, GUTTERS AND PAVING. STRIPE AS SHOWN, INCLUDING ALL ADA GRAPHICS, ETC. SEE CIVIL.
- 20. AFTER REMOVAL OF PORTABLE BY OWNER'S SUBCONTRACTOR, CONTRACTOR TO CONSTRUCT SIDEWALK, HARD-SCAPE AND PLAYGROUND CURBS IN AREA OF PLAYGROUNDS. SEE ENLARGED PLAYGROUND PLANS.
- 21. AFTER REMOVAL OF EXISTING CURB CUT, NEW CURB, GUTTER, AND SIDEWALK TO BE INSTALLED TO MEET ADJACENT. SEE DETAILS ON CIVIL.
- 22. CONCRETE SIDEWALK, SWALE SIDEWALK TO CENTERLINE OF WALKWAY. SEE CIVIL DRAWINGS.
- 23. GRASS PLAY FIELD, GRASS ING AND TO BE DESCRIBED BY OTHERS.
- 24. BURNISHED CMU. TYP. SEE STRUCTURAL DRAWINGS FOR SIZE. COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF PREMIUM COLORS. ALL EXPOSED EXTERIOR JOINTS SHALL BE CONCAVE STRUCK. ALL INTERIOR JOINTS SHALL BE RAKED. CMU WALL AREAS INCLUDING BUT NOT LIMITED TO THOSE AREAS BELOW GRADE OR IN INTERSTITIAL SPACES (WHICH INCLUDE ALL AREA FROM THE NEAREST MASONRY JOINT ABOVE CEILING CLOUDS AND ABOVE, UNLESS OTHERWISE SPECIFIED) MAY BE CONSTRUCTED WITH GREY CMU AND MORTAR. SEAL ALL EXPOSED EXTERIOR CMU WITH EOWARE TROJAN MASONRY & CONCRETE SEALER (15 YEAR WARRANTY), OR EQUAL.
- 25. NOT USED.
- 26. REMOVE EXISTING TREE OR SHRUB.
- 27. INSTALL DRAIN AND TRAP. SEE MECHANICAL AND CIVIL SHEETS.
- 28. OVERFLOW ROOF DRAIN DISCHARGE. SEE MECHANICAL SHEETS. MAIN ROOF DRAIN LINE TO BE CONNECTED DIRECTLY TO DISCHARGE AT PONDING AREA. SEE CIVIL SHEETS.
- 29. ROOF DRAIN AND OVERFLOW ROOF DRAIN DISCHARGE. SEE MECHANICAL AND CIVIL SHEETS.
- 30. BID LOT 2 - PHOTOVOLTAIC SOLAR COLLECTORS. SEE SHEET PV-100. NOTE PRICING FOR COLLECTORS ON ROOF OF BID LOT SHOULD BE INCLUDED AS A SEPARATE LINE ITEM IN BID LOT 2.
- 31. ROOF DRAIN AND OVERFLOW ROOF DRAIN. SEE ROOF PLAN SHEET A-106.
- 32. NEW COMMERCIAL WELDED WIRE FENCE SYSTEM. SEE SPECIFICATIONS. PROVIDE OPENINGS AS SHOWN. PROVIDE MOCKUP FOR ARCHITECT APPROVAL.
- 33. DUMPSTER ENCLOSURE. SEE DETAIL 6/AS-101.
- 34. REMOVE EXISTING FENCE THIS AREA TO ALLOW FOR NEW CONSTRUCTION.
- 35. CONSTRUCT NEW SIDEWALK AND ADA RAMP. SLOPE TO BE 1:20. REMOVE EXISTING CURB AND GUTTER TO ALLOW FOR ADA SIDEWALK AND RAMP.
- 36. UNASSIGNED.
- 37. RE-STRIP EXISTING PARKING SPACES @ WEST PARKING AREA ONLY. COLOR: TRAFFIC WHITE. TYPICAL: BLUE @ ADA SPACES.

PARKING

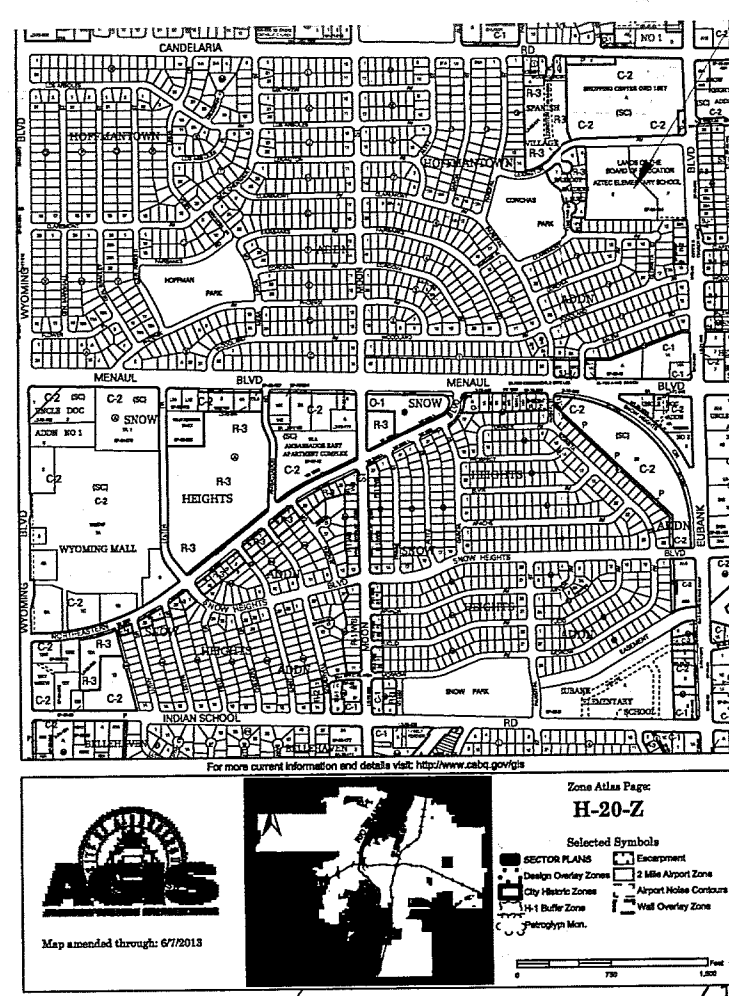
- 1. TOTAL NUMBER OF PARKING SPACES = 82
- 2. REQUIRED MOTORCYCLE SPACES PER COA ZONING ORDINANCE = 3.
- 3. REQUIRED DISABLED PARKING SPACES PER COA ZONING ORDINANCE = 4, ONE OF WHICH SHALL BE VAN ACCESSIBLE.

GENERAL SHEET NOTES

- 1. CONTRACTOR, SUBCONTRACTOR, AND ALL OTHERS PROVIDING SERVICES WITHIN THIS SCOPE OF WORK SHALL PROTECT ALL BUILDING COMPONENTS WHICH ARE TO REMAIN OR ARE TO BE SALVAGED TO OWNER FROM ANY DAMAGE DURING DEMOLITION.
- 2. CONTRACTOR, SUBCONTRACTORS AND ALL OTHERS PROVIDING SERVICES WITHIN THIS SCOPE OF WORK SHALL PROTECT STUDENTS, STAFF, FACULTY, WORKERS, AND ALL OTHER GROUPS OF PEOPLE AND INDIVIDUALS FROM HARM DURING THE DEMOLITION PHASE AND ALL OTHER PHASES OF THE CONSTRUCTION PROCESS.
- 3. CONSTRUCT TEMPORARY BARRIER BETWEEN CONSTRUCTION ZONE AND REMAINING SCHOOL AREA. SAID BARRIERS SHALL MEET THE REQUIREMENTS OF ALL JURISDICTIONAL CODES, ZONING LAWS, ETC.
- 4. DO NOT SCALE DRAWINGS.
- 5. CONTRACTOR SHALL GIVE OWNER FIRST RIGHT OF REFUSAL TO ALL SALVAGEABLE MATERIAL. CONTRACTOR SHALL COORDINATE CAREFUL AND TIMELY TRANSFER OF ALL MATERIALS REQUESTED BY OWNER TO BE SALVAGED TO OWNER.
- 6. CONTRACTOR SHALL DISPOSE OF ALL MATERIAL REMOVED FROM SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES OR OTHER APPLICABLE GOVERNANCES.
- 7. SITE DEMOLITION OUTSIDE THE DOMAIN OF THE ADMINISTRATIVE ALTERATION AND ADDITION IS DESCRIBED ON SHEET AS/A.
- 8. CONTRACTOR SHALL PROTECT EXISTING TREES WHICH ARE TO REMAIN FROM DAMAGE DURING THE CONSTRUCTION PROCESS.
- 9. SEE ELECTRICAL, PLUMBING AND MECHANICAL SHEETS FOR ADDITIONAL REMOVALS. DEMOLITION OF FLOORS, WALLS, CEILINGS AND ROOFS IMPLIES REMOVAL OF ALL ASSOCIATED ELECTRICAL, MECHANICAL AND PLUMBING FIXTURES, EQUIPMENT ETC. UNLESS OTHERWISE SPECIFIED.
- 9. CONTRACTOR SHALL REMOVE ALL FIXTURES ASSOCIATED WITH REMOVAL OF SUSPENDED CEILING AS DESCRIBED HEREIN.
- 10. CONTRACTOR SHALL IMMEDIATELY CONTACT ARCHITECT WITH ANY QUESTIONS CONCERNING OR CLARIFICATION.
- 11. EXISTING BUILDING TO BE DEMOLISHED AFTER COMPLETION OF NEW BUILDING.

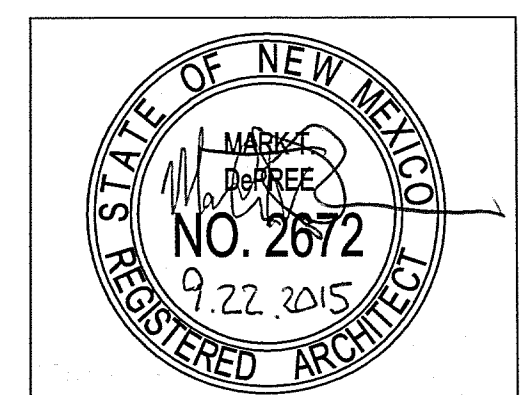
SITE PLAN  
Scale 1" = 40'  
SEQUENCE OF WORK

- 1. REMOVAL OF 7 PORTABLES (BY OWNER)
  - 2. CONSTRUCTION OF NEW BUILDINGS
- BASE BID:  
Complete Construction of the entire Lower Level.  
Warm Shell Construction of the Homebound Classrooms, IAS Classrooms and Private School Area. The only rooms north of gridline E to be finished in the Base Bid are M104, M105 and M130.  
Complete Construction of the Administrative Areas, including all rooms and areas south of gridline D, east of gridline 1 and west of gridline 12.  
Construction of CMU walls around rooms M107 and M108.  
Construction of the CMU walls on the north and east side of the Cafeteria Courtyard.  
Construction of Cast-In-Place retaining walls on the east and north side of the school.  
Construction of the North Stair.  
Include Frame Type 36 on Sheet A-604. Note: Omit with acceptance of Bid Lot 4.
- BID LOT 1:  
HVAC Warranty Service.  
HVAC Maintenance Agreement.
- BID LOT 2:  
Turnkey Photovoltaic System.
- BID LOT 3:  
Construction of the entire west Wing of the Facility west of Grid Line 12, both lower and upper level. Including but not limited to: Autism, Homebound and Administrative Areas.  
The total floor area to be constructed in Bid Lot 3 is 45,107 Square Feet.  
Total Area to be constructed within the exterior perimeter 46,397 Square Feet.
- FUTURE SITE WORK IS NOT IN THIS CONTRACT.  
DEMOLITION OF EXISTING BUILDINGS, CURBS, DRIVES, PARKING AREAS, AND SITE ELEMENTS; REMOVAL OF PORTABLE (BY OWNER) IN PREPARATION FOR NEW SITE WORK.  
CONSTRUCTION OF NEW ACCESS DRIVE, PARKING AREAS, AND PLAYGROUNDS



KEYED NOTES

- 1. LINE OF EXISTING CHAIN LINK FENCE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 2. SEE ELEVATIONS AND SECTIONS FOR DESCRIPTIONS OF GUARDRAILS AND HANDRAILS.
- 3. APPROXIMATE CONSTRUCTION FENCE LOCATION. VERIFY FINAL LOCATION WITH OWNER.
- 4. JOB SIGN LOCATION. CONTRACTOR TO PROVIDE AND INSTALL SIGN PER SPECIFICATIONS.
- 5. SAW CUT CONTROL JOINT. CAULK PER SPECIFICATIONS.
- 6. PROTECT DURING CONSTRUCTION. SEE SEE WORK SEQUENCE. THIS SHEET.
- 7. EXISTING FIRE HYDRANT. SEE CIVIL DRAWINGS.
- 8. LIGHT BROOM FINISH CONCRETE. PROVIDE SAMPLE FOR ARCHITECT APPROVAL.
- 9. NEW ACCESSIBLE CONCRETE RAMP. SEE S/AS-101. SEE STRUCTURAL SHEETS.
- 10. CONCRETE BENCH. SEE ELEVATIONS SHEET A-201.
- 11. CRUSHER FINE WALKING PATH. NIC.
- 12. ASPHALT DRIVE. SEE CIVIL DRAWINGS.
- 13. GENERAL CONTRACTOR TO INSTALL NEW CHAINLINK FENCE & GATE. HEIGHT TO MATCH EXISTING ADJACENT FENCING.



**Westwork ARCHITECTS**  
P.O. Box 19291  
ALBUQUERQUE, NEW MEXICO 87184-0921  
505.884.5252 FAX: 505.213.0002

**CONSULTANTS**

**CIVIL:** High Mesa Consulting Group  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109  
Phone: (505) 345-4250  
Fax: (505) 345-4254

**STRUCTURAL:** Chavez-Greaves Consulting Engineers, Inc.  
4700 Lincoln Road NE, Suite 102  
Albuquerque, NM 87110  
O: 505-344-4080  
C: 505-259-7486

**MECHANICAL/PLUMBING/ELECTRICAL:**  
T & D Services  
6001 Indian School Rd. NE  
Albuquerque, NM 87110-4183  
(505) 314-7508 Direct  
(505) 314-7500 Office  
(505) 314-7501 FAX

**AZTEC SPECIAL EDUCATION FACILITY**  
Albuquerque Public Schools  
2611 Eubank Blvd. Albuquerque, New Mexico 87112  
**ADDENDUM COMPILATION SET**

**DRAWING SUBMITTAL:**

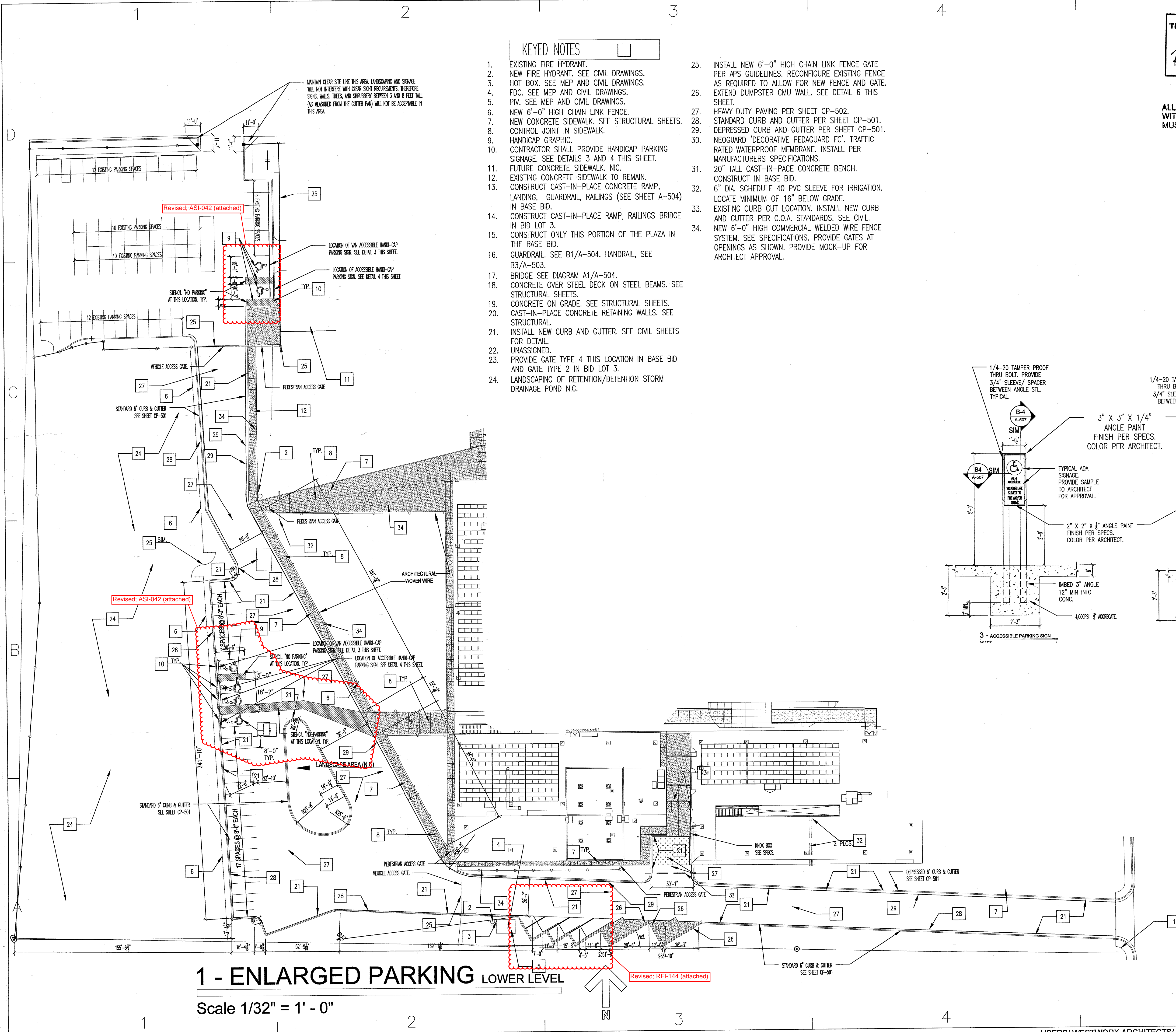
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02	09/04/14	50% Construction Documents Review Set
03	02/23/15	95% Construction Documents Review Set
04	04/20/15	100% C.O.A. Permit Documents
05	05/05/15	ADDENDUM I
06	06/02/15	ADDENDUM II
07	06/18/15	ADDENDUM III
08	06/22/15	ADDENDUM IV
09	07/27/15	ADDENDUM V Supercedes, replaces, & voids all previous addendum drawings and sketches.

PROJECT NO: 150713  
CAD DWG FILE:  
DRAWN BY: Mark De Pre & Leonard Perez  
CHK'D BY: Cindy Terry  
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**TRAFFIC CONTROL LAYOUT PLAN**

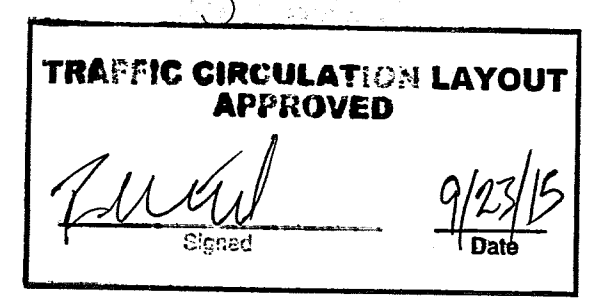
TCL-100



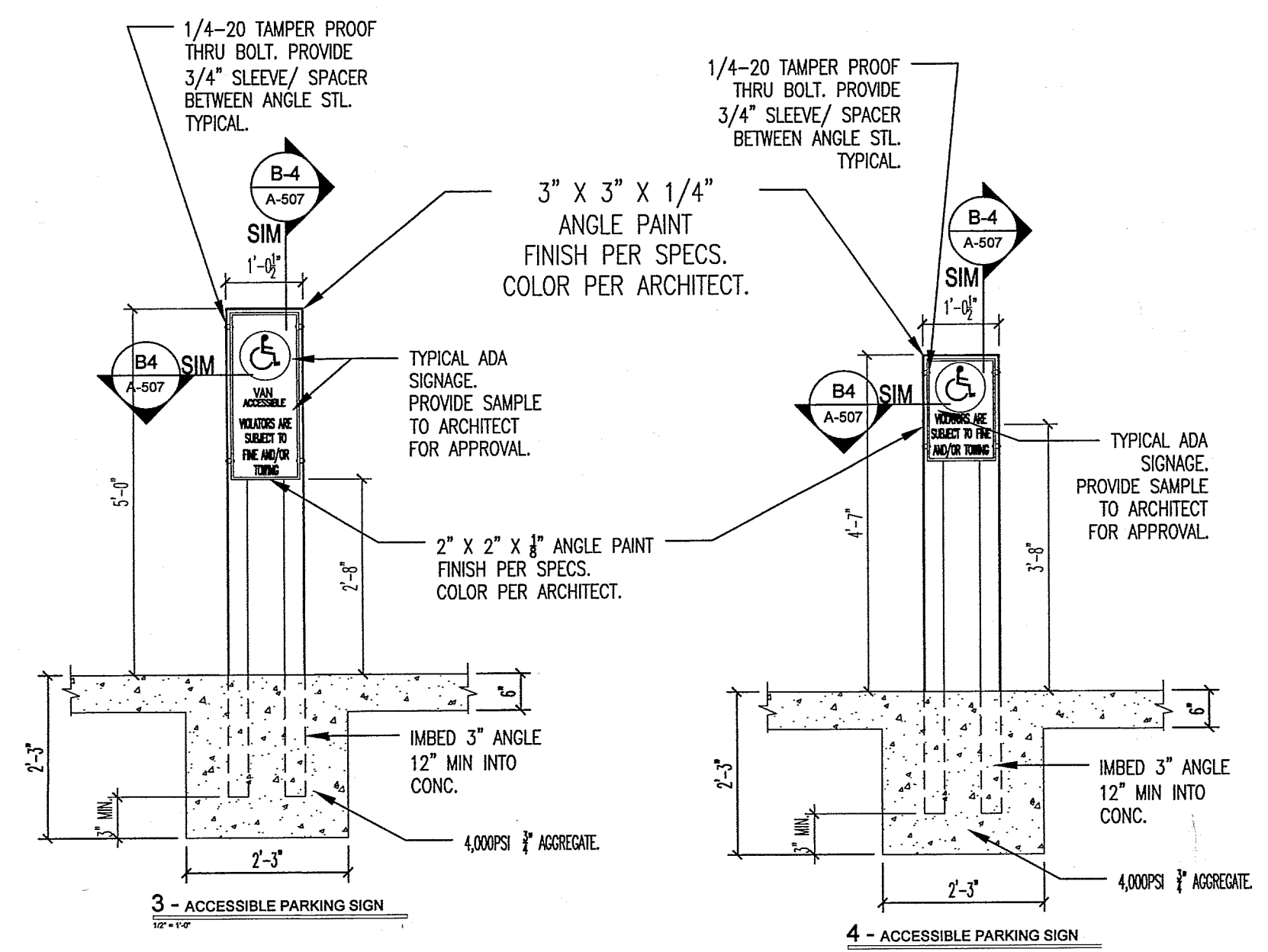


KEYED NOTES

- EXISTING FIRE HYDRANT.
- NEW FIRE HYDRANT. SEE CIVIL DRAWINGS.
- HOT BOX. SEE MEP AND CIVIL DRAWINGS.
- FDC. SEE MEP AND CIVIL DRAWINGS.
- P.V. SEE MEP AND CIVIL DRAWINGS.
- NEW 6'-0" HIGH CHAIN LINK FENCE.
- NEW CONCRETE SIDEWALK. SEE STRUCTURAL SHEETS.
- CONTROL JOINT IN SIDEWALK.
- HANDICAP GRAPHIC.
- CONTRACTOR SHALL PROVIDE HANDICAP PARKING SIGNAGE. SEE DETAILS 3 AND 4 THIS SHEET.
- FUTURE CONCRETE SIDEWALK. NIC.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- CONSTRUCT CAST-IN-PLACE CONCRETE RAMP, LANDING, GUARDRAIL, RAILINGS (SEE SHEET A-504) IN BASE BID.
- CONSTRUCT CAST-IN-PLACE RAMP, RAILINGS BRIDGE IN BID LOT 3.
- CONSTRUCT ONLY THIS PORTION OF THE PLAZA IN THE BASE BID.
- GUARDRAIL. SEE B1/A-504. HANDRAIL, SEE B3/A-503.
- BRIDGE. SEE DIAGRAM A1/A-504.
- CONCRETE OVER STEEL DECK ON STEEL BEAMS. SEE STRUCTURAL SHEETS.
- CONCRETE ON GRADE. SEE STRUCTURAL SHEETS.
- CAST-IN-PLACE CONCRETE RETAINING WALLS. SEE STRUCTURAL.
- INSTALL NEW CURB AND GUTTER. SEE CIVIL SHEETS FOR DETAIL.
- UNASSIGNED.
- PROVIDE GATE TYPE 4 THIS LOCATION IN BASE BID AND GATE TYPE 2 IN BID LOT 3.
- LANDSCAPING OF RETENTION/DETENTION STORM DRAINAGE POND NIC.
- INSTALL NEW 6'-0" HIGH CHAIN LINK FENCE GATE PER APS GUIDELINES. RECONFIGURE EXISTING FENCE AS REQUIRED TO ALLOW FOR NEW FENCE AND GATE.
- EXTEND DUMPSTER CMU WALL. SEE DETAIL 6 THIS SHEET.
- HEAVY DUTY PAVING PER SHEET CP-502.
- STANDARD CURB AND GUTTER PER SHEET CP-501.
- DEPRESSED CURB AND GUTTER PER SHEET CP-501.
- NEOGUARD 'DECORATIVE PEDAGUARD FC'. TRAFFIC RATED WATERPROOF MEMBRANE. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 20" TALL CAST-IN-PLACE CONCRETE BENCH. CONSTRUCT IN BASE BID.
- 6" DIA. SCHEDULE 40 PVC SLEEVE FOR IRRIGATION. LOCATE MINIMUM OF 16" BELOW GRADE.
- EXISTING CURB CUT LOCATION. INSTALL NEW CURB AND GUTTER PER C.O.A. STANDARDS. SEE CIVIL.
- NEW 6'-0" HIGH COMMERCIAL WELDED WIRE FENCE SYSTEM. SEE SPECIFICATIONS. PROVIDE GATES AT OPENINGS AS SHOWN. PROVIDE MOCK-UP FOR ARCHITECT APPROVAL.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



1 - ENLARGED PARKING LOWER LEVEL  
Scale 1/32" = 1' - 0"



CONSULTANTS  
CIVIL: High Mesa Consulting Group  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109  
Phone: (505) 345-4250  
Fax: (505) 345-4254  
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C: 505-344-4080  
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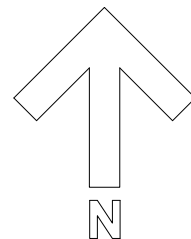
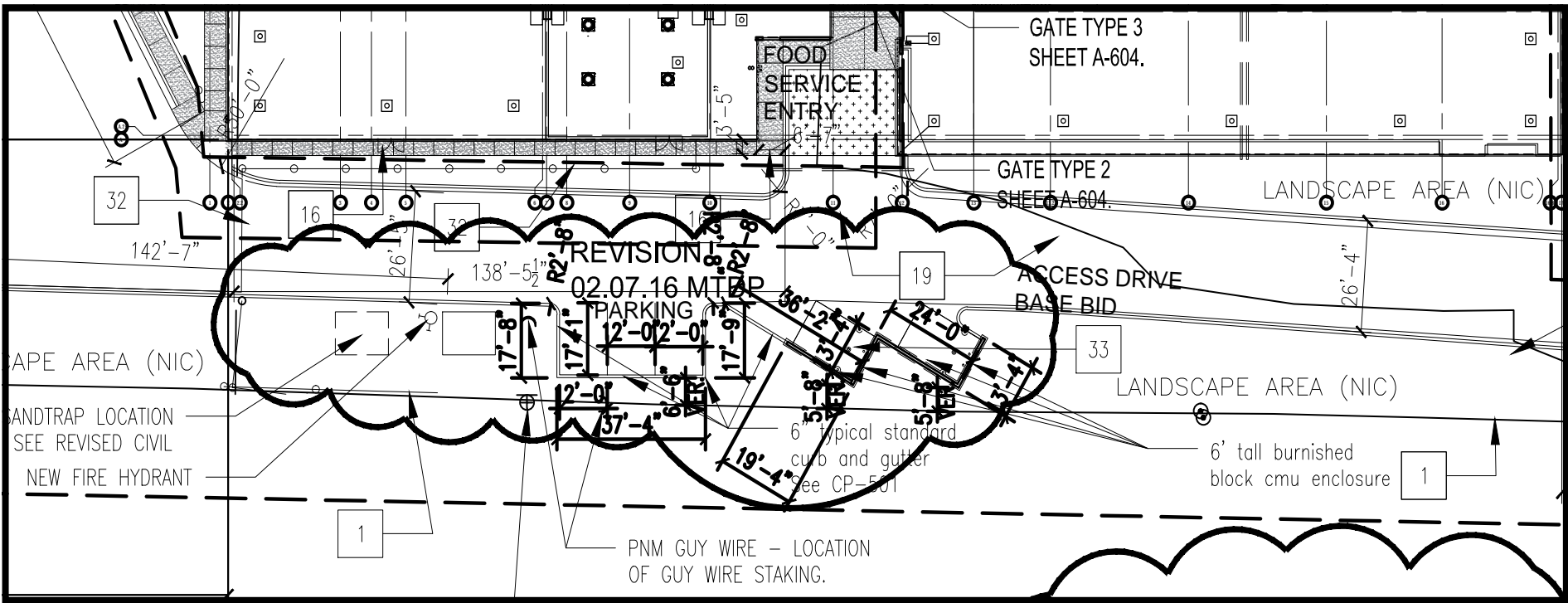
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ADDENDUM COMPILATION SET

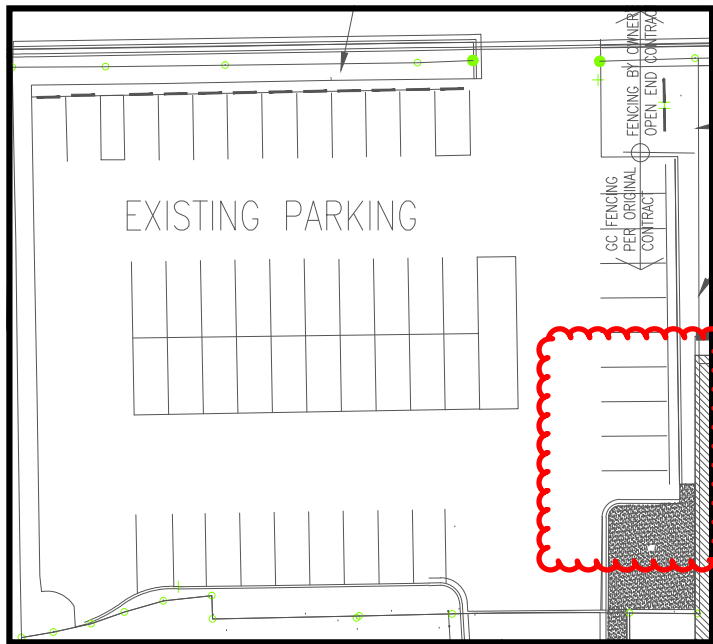
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06	06/02/15 ADDENDUM II
07	06/18/15 ADDENDUM III
08	06/22/15 ADDENDUM IV
09	07/27/15 ADDENDUM V Supersedes, replaces, & voids all previous addendum drawings and sketches.
PROJECT NO: 150713	
CAD DWG FILE:	
DRAWN BY:	
CHK'D BY:	
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SHEET TITLE	

ENLARGED  
TRAFFIC CONTROL PLAN  
TCL-101

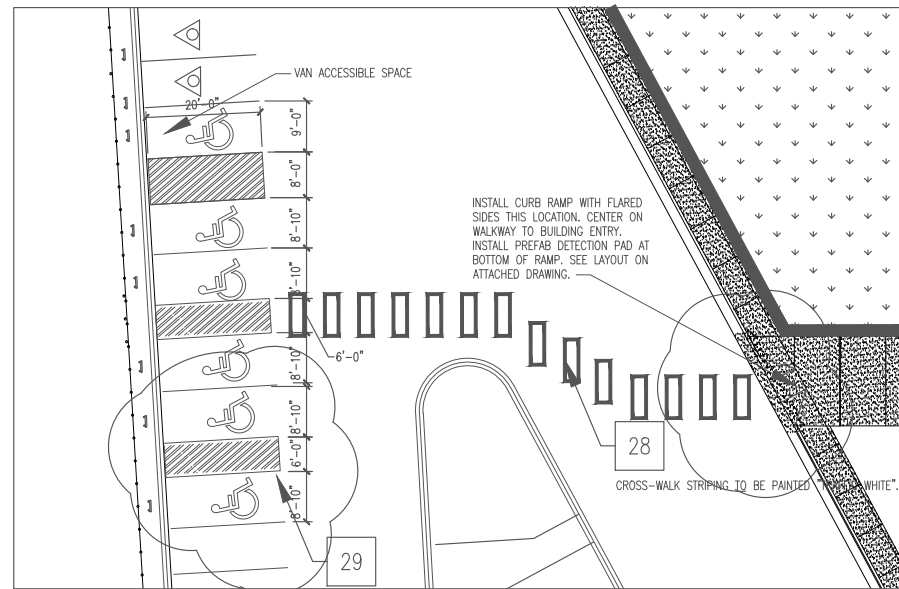
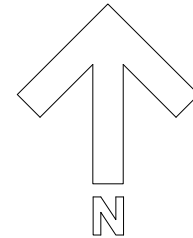


RFI-144





**ASI-042**



10/28/16 REVISION C42.2: WEST PARKING AREA—INCREASE THE WIDTH OF ONE ACCESSIBLE PARKING SPACE TO 9'-0" TO ALLOW FOR VAN ACCESSIBLE SPACE WITH VAN ACCESSIBLE SIGNAGE, STRIPING, DIAGONAL STRIPING AT AISLES AND "INTERNATIONAL SIGN OF ACCESSIBILITY" TO BE PAINTED BLUE.

**AZTEC SPECIAL EDUCATION FACILITY**  
**DEMOLITION AND SITE IMPROVEMENTS**  
 2611 Eubank Blvd. Albuquerque, New Mexico 87112

**Westwork**  
**ARCHITECTS**  
1000 1000  
 ALBUQUERQUE, NEW MEXICO 87104-9921  
 505.884.1332 FAX 505.251.2802