

CITY OF ALBUQUERQUE



July 18, 2017

Cindy A. Terry
Westwork Architects
Po Box 10921
Albuquerque, NM 87184

Re: Aztec Special Education Facility
2611 Eubank Blvd.
Traffic Circulation Layout
Architect's Stamp XX-XX-XX (H20D033)

Dear Ms. Terry ,

Based upon the information provided in your submittal received 7-13-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
3. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking.
4. Identify the right of way width, medians, curb cuts, and street widths on Eubank and Lexington.
5. Clarify existing property lines and proposed property lines.
6. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
7. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
8. The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
9. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
10. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
11. Show all drive aisle widths and radii. Some dimensions are not shown.
12. Show all sidewalk widths. Some dimensions are not shown.

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13. Please provide the details sheet number C-42.2

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

MA/LP via: email
C: CO Clerk, File

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New Mexico 87103

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Aztec Spec Ed FAC. Building Permit #: 2015 Hydrology File #: H202033
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: 2611 EUBANK BLVD. ALB. NM 87112
Applicant: ALBUQ PUBLIC SCHOOLS Contact: DAVID RITCHIE
Address: _____ AIA
Phone#: _____ Fax#: _____ E-mail: _____
Other Contact: CINDY TERRY-WESTWORK ARCHITECTS Contact: _____
Address: PO BOX 10921 ALB NM 87184
Phone#: 884-5252 Fax#: _____ E-mail: westwork@swcp.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

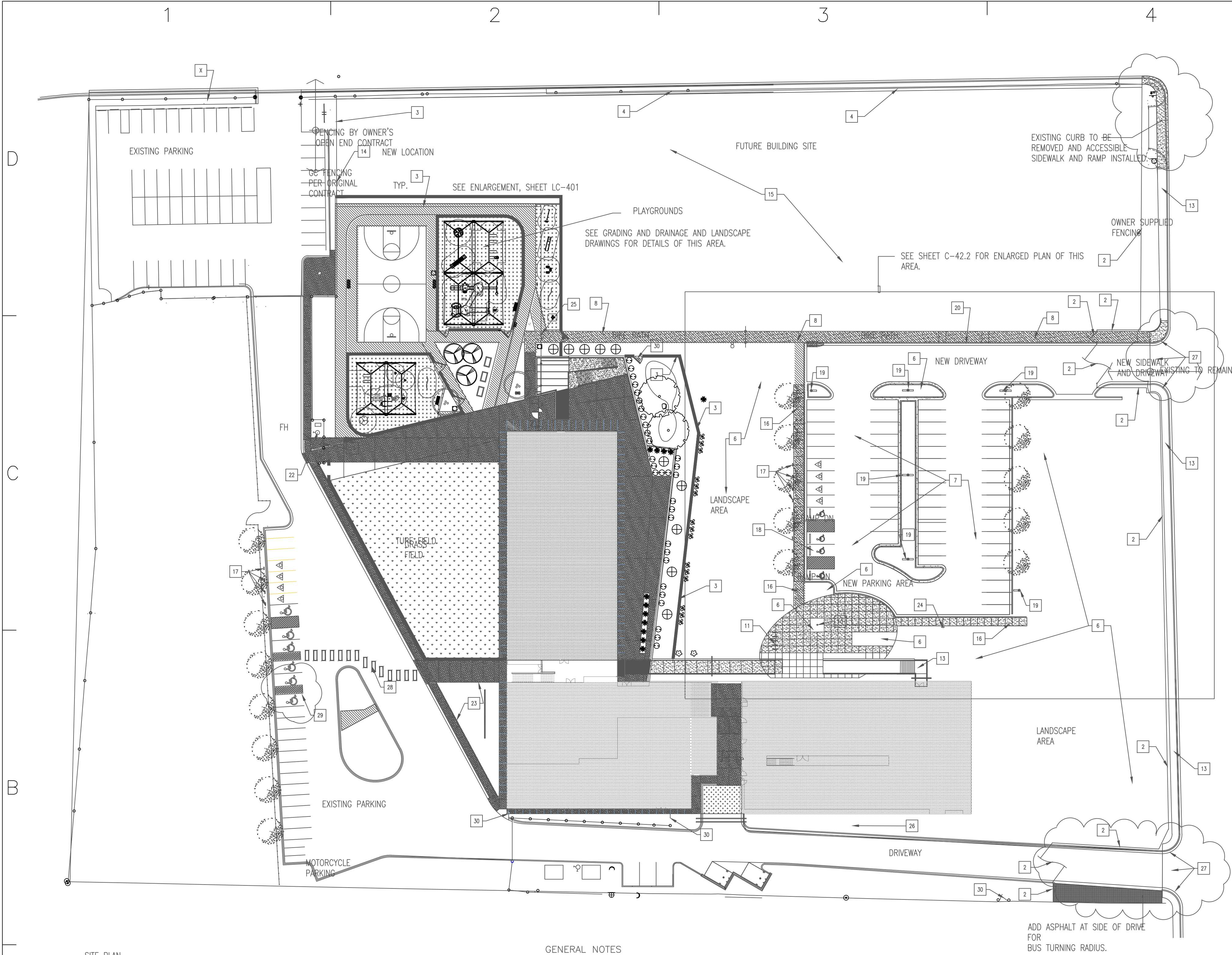
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 7.13.17 By: Cindy Terry

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



SITE PLAN

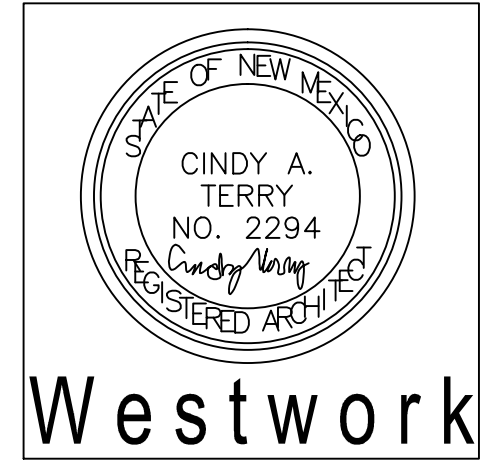
1"=40'-0"

GENERAL NOTES

- A. A.P.S. HAS FIRST RIGHT OF REFUSAL FOR ALL SALVAGEABLE MATERIALS. MAINTAIN CONSTRUCTION FENCE BETWEEN NEW WORK AND DEMOLITION DURING CONSTRUCTION.
- B. MAINTAIN A CLEAR, UNOBSTRUCTED MEANS OF ACCESS BETWEEN TEMPORARY PARKING AND NEW FACILITIES DURING DEMOLITION AND NEW SITEWORK.
- C. PROTECT NEW FACILITIES DURING DEMOLITION AND NEW SITEWORK CONSTRUCTION.
- D. THE DRAWINGS ON THIS SHEET HAVE BEEN PREPARED FROM INFORMATION CONTAINED WITHIN DRAWINGS THAT WERE CREATED BY AND PROVIDED TO THE ARCHITECT BY THE OWNER. IT IS UP TO THE GENERAL CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL FOR THIS WORK.
- E. COORDINATE WITH ELECTRICAL AND CIVIL CD'S FOR CONSTRUCTION.
- F. PROVIDE SAFE AND REASONABLE ACCESS TO THE NEW BUILDING DURING DEMOLITION OF THE EXISTING BUILDING. COORDINATE WITH OWNER.
- G. PROTECT ALL IMPROVEMENTS ON ADJACENT SCHOOL AREAS. REPLACE IF DAMAGED.
- H. REMOVE ALL DESIGNATED BUILDINGS, FOUNDATIONS, BREEZEWAY COVERS AND YARDWALLS & FENCING COMPLETE.
- I. REMOVE UNDERBUILDING UTILITIES COMPLETE. PROTECT AND COORDINATE REMOVALS WITH MAINTAINING AREAS CONNECTING AND NECESSARY TO NEW BUILDINGS. REFER TO SURVEY SHEET SHOWING UNDERGROUND AND POLE MOUNTED UTILITIES TO BE REMOVED IN AREA.
- J. REMOVE ALL CONCRETE AND MASONRY WALLS, PLANTER WALLS, FOUNDATIONS AND LANDSCAPE COMPLETE.
- K. REMOVE ALL ASPHALT PAVING IN DEMO AREA. PREPARE FOR RE-GRADING OF SITE. SEE CIVIL GRADING SHEET PROVIDED THIS ASI.
- L. REMOVE ALL CONCRETE WALLS, SIDEWALKS, RAMPS AND STAIRS.
- M. REMOVE ALL BREEZEWAY COVERS AND OVERHANGS ASSOCIATED WITH BUILDINGS.
- N. REMOVE ALL CHAIN LINK FENCES AND GATES IN DEMOLITION AREA.
- O. REMOVE ALL UTILITY POLES AND OVERHEAD ELECTRICAL AND TELECOMMUNICATION LINES.
- P. PROVIDE VERTICAL AND HORIZONTAL DATA ON ALL CAPPED AND/OR RELOCATED UTILITIES OR UTILITIES TO REMAIN. INDICATE LOCATIONS AND DATA IN AS-BUILT DRAWINGS.
- Q. IF A UTILITY LINE IS LOCATED AND IT IS NOT NOTED ON DRAWINGS INFORM OWNER IMMEDIATELY.
- R. MAINTAIN TEMPORARY FENCING TO PROTECT PERSONNEL AND PROPERTY DURING DEMOLITION.

KEYED NOTES

- 1 EXISTING CURB CUT, AND CONCRETE APRON TO REMAIN. SAWCUT EXISTING CURB, GUTTER AND SIDEWALK TO QUADRANT OF RADIUS TO INSTALL NEW CURB AND GUTTER TO EXISTING.
- 2 NEW FENCING BY OWNER. SEE FENCING PLAN PROVIDED BY SITES SOUTHWEST.
- 3 G.C. TO PROVIDE AND INSTALL NEW ARCHITECTURAL VINYL COATED FENCING. SEE SPECIFICATIONS.
- 4 EXISTING CHAINLINK FENCE TO BE REPLACED. SEE FENCING PLAN PROVIDED BY SITES SOUTHWEST.
- 5 SITE STABILIZATION IN THIS AREA AFTER DEMOLITION AND GRADING BY G.C. SEE GRADING PLAN.
- 6 LANDSCAPING IN THIS AREA BY OWNER. REFERENCE C.D.'S FOR LOCATIONS OF IRRIGATION SLEEVING BY G.C.
- 7 NEW PARKING LOT. ASPHALT PAVING, SIDEWALKS, CURB AND GUTTER, SIGNAGE BY GENERAL CONTRACTOR. SEE ENLARGED PARKING PLAN C-42.2 FOR DESCRIPTION.
- 8 NEW 8' WIDE BIKE PATH/SIDEWALK. SEE ENLARGED PARKING PLAN ON C-42.2 FOR DESCRIPTION.
- 9 SIDEWALK OR RAMP FROM BASE CONTRACT. PROTECT DURING DEMOLITION AND NEW SITE CONSTRUCTION.
- 10 FLAGPOLE. SEE DESCRIPTION ON ENLARGED PARKING PLAN. SEE SPECIFICATIONS PROVIDED.
- 11 BIKE RACK. SEE DESCRIPTION ON C-42.2.
- 12 FIRE LANE: PAINT CURB 'TRAFFIC RED' AS SHOWN ON SHEET C-42.2.
- 13 EXISTING SIDEWALK TO REMAIN.
- 14 138' OF BASE CONTRACT FENCING AT AUTISM ENTRY TO BE INSTALLED AT LOCATION NEAR PARKING AREA INDICATED ON THIS PLAN. SEE FENCING PLAN PROVIDED BY SITES SOUTHWEST.
- 15 THIS PORTION OF SITE TO REMAIN UNDEVELOPED. GRADING AND NEW FENCING ONLY IN THIS AREA. STABILIZATION OF SOIL TO BE PERFORMED BY OWNER'S LANDSCAPE CONTRACTOR.
- 16 NEW SIDEWALK. SEE DESCRIPTION ON SHEET C-42.2, ENLARGED PARKING PLAN.
- 17 PROVIDE AND INSTALL SIGNAGE AT LOW-EMITTING ALTERNATIVE FUEL PARKING SPACES. SEE ENLARGED PARKING PLAN FOR DESCRIPTION.
- 18 ACCESSIBLE PARKING SPACES. SEE DESCRIPTION ON ENLARGED PARKING PLAN.
- 19 NEW ELECTRICAL POLE MOUNTED SITE LIGHTING AS SHOWN ON ES-101 IN C.D.'S. INSTALL ON CONCRETE SUPPORT AS DETAILED ON ES-101.
- 20 INSTALL ROLL OVER CURB FOR 26' AT THIS LOCATION. SLOPE BIKE PATH DOWN TO ROLL OVER CURB HEIGHT AT BOTH ENDS.
- 21 INSTALL CONCRETE SIDEWALKS AS SHOWN FOR PLAYGROUND IN LANDSCAPE PLAYGROUND DRAWINGS. SPECIFICATION FOR SIDEWALKS TO REMAIN THE SAME.
- 22 INSTALL FENCE TO CLEAR FIRE HYDRANT AND INLET.
- 23 FENCING THIS SIDE OF LANDSCAPED AREA TO BE INSTALLED SEST SIDE OF PLAYGROUND SEE NOTE 14. SEE ALSO FENCING PLAN FROM SITES SOUTHWEST.
- 24 INSTALL SIGNAGE THIS LOCATION READING: DROP-OFF CARPOOL/LOW EMITTING EFFICIENT FUEL VEHICLES.
- 25 PROVIDE POWER AND DATA FOR CARD SWIPE ACTIVATED GATE. COORDINATE WITH OWNER'S SPECIAL SYSTEMS CONTRACTOR.
- 26 PROVIDE POWER AND DATA FOR IRRIGATION CONTROLLER. CORRDATE WITH OWNER'S LANDSCAPE INSTALLER. EXTEND TO GROUND LEVEL MDF ROOM. CONTROLLER TO BE INSTALLED WITHIN 300' L.F. OF IDF ROOM. REFER TO LANDSCAPE DRAWINGS BY LANDSCAPE CONSULTANT AS PROVIDED BY OWNER.
- 27 EXISTING CONCRETE AT CURB CUT TO BE DEMOLISHED AND REPLACED WITH NEW CONCRETE CURB CUT AS SHOWN ON REVISED CIVIL DRAWING.
- 28 CROSSWALK STRIPING TO MATCH STRIPING ON LANDSCAPE DRAWINGS AT OTHER AREAS.
- 29 ACCESSIBLE PARKING SPACES FROM NORTHWEST PARKING AREA TO BE INSTALLED AT THIS LOCATION. CREDIT RAMP CONSTRUCTION TO ASI 42 COST. SHOW AS LINE TIME CREDIT IN MCR.
- 30 GATES ORIGINALLY SHOWN NEAR MULTI-PURPOSE AREA TO BE USED THIS LOCATION.



Westwork
ARCHITECTS

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ALBUQUERQUE, NEW MEXICO 87118-0821
815-884-5252 FAX: 505-273-0092

CONSULTANTS

CIVIL: High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109
Phone: (505) 345-4250
Fax: (505) 345-4254

**AZTEC SPECIAL EDUCATION FACILITY
DEMOLITION AND SITE IMPROVEMENTS**
2611 Eubank Blvd. Albuquerque, New Mexico 87112

DRAWING SUBMITTAL:

01	06/17/16	FUTURE SITE PLAN
02	8/20/16	ASI 42
03	10/10/16	ASI 42 REVISIONS
PROJECT NO:	####	
CAD DWG FILE:		
DRAWN BY:		
CHK'D BY:		
COPYRIGHT:	WESTWORK ARCHITECTS 2016	
SHEET TITLE		

T.C.L.-1

REVISED 10/1/16