

CITY OF ALBUQUERQUE



January 26, 2017

Cindy Terry R.A.
Westwork Architects
PO Box 10921
Albuquerque, NM 87184

Re: Aztec Special Education Facility
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 09-22-15 (H20-D033)
Certification dated 01-12-17

Dear Ms. Terry,

Based upon the information provided in your submittal received 01-24-16, Transportation Development cannot issue Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The site had construction equipment, material, and debris throughout the parking lot. The site should be safe and ready for use by the general public at CO.
- The ADA access ramp on exhibit ASI-042 did not have the prefab detection pad or detectable warning surface as indicated on the plans.
- Motorcycle space should be labeled.

Once corrections are complete resubmit acceptable package along with a completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal please submit to PLNDRS@cabq.gov. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: KETEC SP. ED. COMPLEX Building Permit #: 201591072 Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACTS E+F, LANDS OF THE BOARD OF EDUCATION, KETEC ELEMENTARY SCHOOL
City Address: 2611 EUBANK BLVD. NE ALBUQUERQUE, NM 87112

Applicant: THOMPSON CONSTRUCTION, INC. Contact: EACH THOMPSON
Address: 8200 VENICE AVE NE
Phone#: 505-856-1412 Fax#: 505-856-1375 E-mail: EACH@TCL-NM.COM

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No OTHER (SPECIFY) _____

DATE SUBMITTED: 1/24/17 By: [Signature] / EACH THOMPSON

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



January 11, 2017

office
PO Box 10921
Albuquerque New
Mexico 87184

phone
(505)884-5252

email
westwork@swcp.com

website

Traffic Certification

Project: Aztec Special Education Facility, Albuquerque Public Schools
Address: 2600 Eubank Blvd NE Alb. NM

I, Cindy Terry AIA, New Mexico Registered Architect, of the firm Westwork Architects P.A. Hereby Certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated September 28, 2015. The record information edited onto the original design document has been obtained by Cindy Terry of Westwork Architects P.A. I further certify that I personally have visited the project site on January 10, 2017 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is summated in support of a request for a certificate of occupancy.

Revisions:

1. ASI 42: Owner requested ADA spaces be moved closer to entry door.
2. RFI 144: Parking spaces and Trash Enclosures Orientation changed for Waste Management approach.

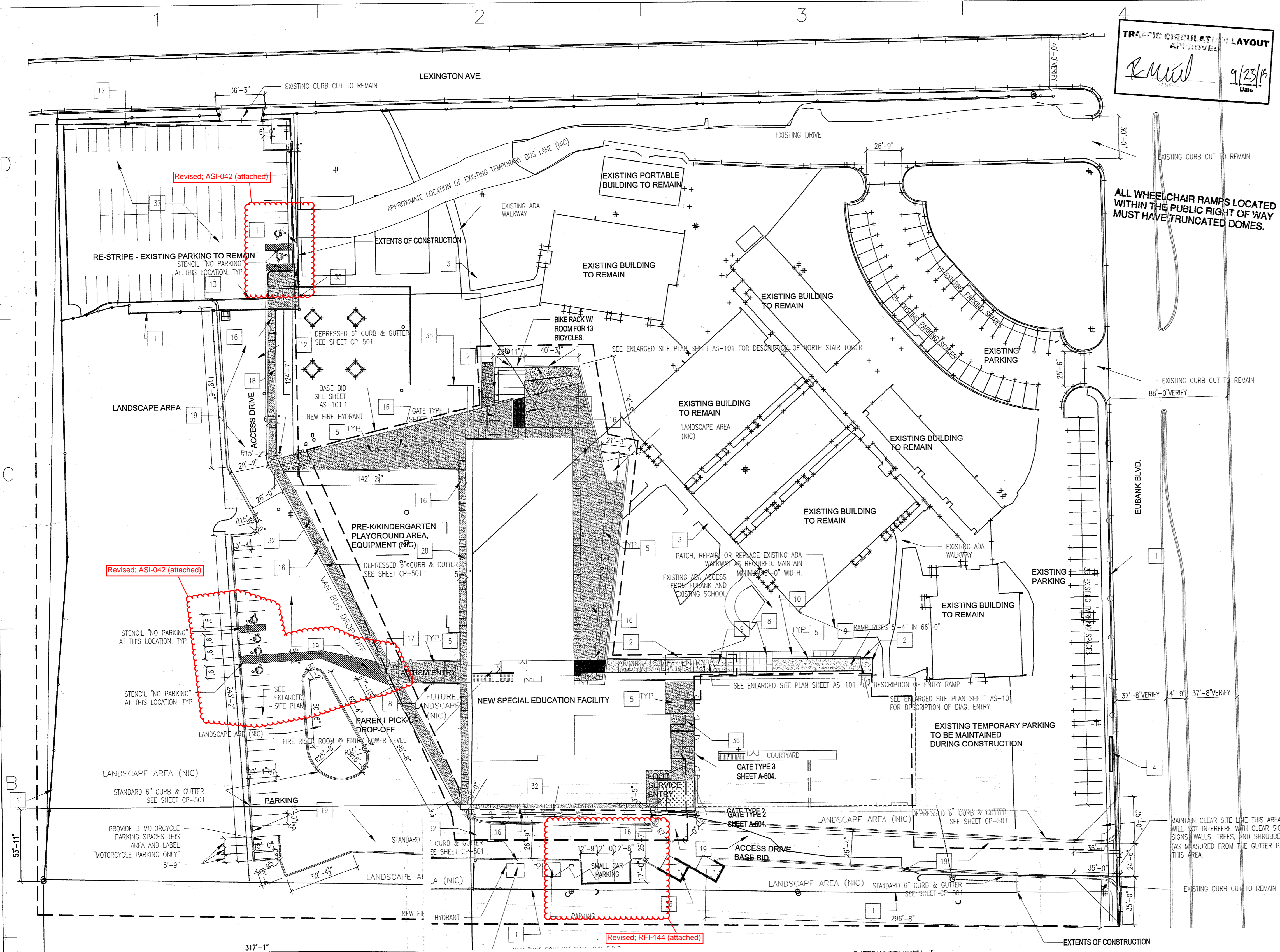
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

A handwritten signature in black ink, appearing to read "Cindy Terry", written over a horizontal line.

Signature of Engineer or Architect

January 12, 2017
Date





TRAFFIC CIRCULATION LAYOUT
APPROVED
9/23/15
Luis

KEYED NOTES CONT'D

13. GENERAL CONTRACTOR TO INSTALL NEW CHAINLINK FENCE & GATE. HEIGHT TO MATCH EXISTING ADJACENT FENCING.
14. CAFETERIA DELIVERY AREA. SEE SHEET 1/AS-101.
15. LOCATION OF NEW BUILDING. SEE FLOOR PLAN ON SHEET A-100.
16. NEW EXTERIOR CONCRETE 4" THICK CONCRETE. SEE FLOOR PLAN SHEET A-101, CIVIL AND STRUCTURAL DRAWINGS. SEE SPECIFICATIONS.
17. NEW ASPHALT PAVING AT PARENT PICK UP DROP OFF AND ACCESS DRIVE. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK. SEE ENLARGED PLAN. SEE CIVIL FOR THICKNESS AND DETAILS.
18. EXISTING CONCRETE SIDEWALK TO REMAIN. PROTECT DURING CONSTRUCTION.
19. NEW ACCESS ROAD AND PARKING AREA. SEE ENLARGED PLAN FOR CURBS, GUTTERS AND PAVING. STRIPE AS SHOWN, INCLUDING ALL ADA GRAPHICS, ETC. SEE CIVIL.
20. AFTER REMOVAL OF PORTABLES BY OWNER'S SUBCONTRACTOR, CONTRACTOR TO CONSTRUCT SIDEWALK, HARD-SCAPE AND PLAYGROUND CURBS IN AREA OF PLAYGROUNDS. SEE ENLARGED PLAYGROUND PLANS.
21. AFTER REMOVAL OF EXISTING CURB CUT, NEW CURB, GUTTER, AND SIDEWALK TO BE INSTALLED TO MEET ADJACENT. SEE DETAILS ON CIVIL.
22. CONCRETE SIDEWALK, SWALE SIDEWALK TO CENTERLINE OF WALKWAY. SEE CIVIL DRAWINGS.
23. GRASS PLAY FIELD, GRASS ING AND TO BE DESCRIBED BY OTHERS.
24. BURNISHED CMU. TYP. SEE STRUCTURAL DRAWINGS FOR SIZE, COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF PREMIUM COLORS. ALL EXPOSED EXTERIOR JOINTS SHALL BE CONCAVE STRUCK. ALL INTERIOR JOINTS SHALL BE RAKED. CMU WALL AREAS INCLUDING BUT NOT LIMITED TO THOSE AREAS BELOW GRADE OR IN INTERSTITIAL SPACES (WHICH INCLUDE ALL AREA FROM THE NEAREST MASONRY JOINT ABOVE CEILING CLOUDS AND ABOVE, UNLESS OTHERWISE SPECIFIED) MAY BE CONSTRUCTED WITH GREY CMU AND MORTAR. SEAL ALL EXPOSED EXTERIOR CMU WITH ECOMARE TROJAN MASONRY & CONCRETE SEALER (15 YEAR WARRANTY), OR EQUAL.
25. NOT USED.
26. REMOVE EXISTING TREE OR SHRUB.
27. INSTALL DRAIN AND TRAP. SEE MECHANICAL AND CIVIL SHEETS.
28. OVERFLOW ROOF DRAIN DISCHARGE. SEE MECHANICAL SHEETS. MAIN ROOF DRAIN LINE TO BE CONNECTED DIRECTLY TO DISCHARGE AT PONDING AREA. SEE CIVIL SHEETS.
29. ROOF DRAIN AND OVERFLOW ROOF DRAIN DISCHARGE. SEE MECHANICAL AND CIVIL SHEETS.
30. BID LOT 2 - PHOTOVOLTAIC SOLAR COLLECTORS. SEE SHEET PV-100. NOTE PRICING FOR COLLECTORS ON ROOF OF BID LOT SHOULD BE INCLUDED AS A SEPARATE LINE ITEM IN BID LOT 2.
31. ROOF DRAIN AND OVERFLOW ROOF DRAIN. SEE ROOF PLAN SHEET A-106.
32. NEW COMMERCIAL WELDED WIRE FENCE SYSTEM. SEE SPECIFICATIONS. PROVIDE OPENINGS AS SHOWN. PROVIDE MOCKUP FOR ARCHITECT APPROVAL.
33. DUMPSTER ENCLOSURE. SEE DETAIL 6/AS-101.
34. REMOVE EXISTING FENCE THIS AREA TO ALLOW FOR NEW CONSTRUCTION.
35. CONSTRUCT NEW SIDEWALK AND ADA RAMP. SLOPE TO BE 1:20. REMOVE EXISTING CURB AND GUTTER TO ALLOW FOR ADA SIDEWALK AND RAMP.
36. UNASSIGNED.
37. RE-STRIP EXISTING PARKING SPACES @ WEST PARKING AREA ONLY. COLOR: TRAFFIC WHITE. TYPICAL: BLUE @ ADA SPACES.

- PARKING
1. TOTAL NUMBER OF PARKING SPACES = 82
 2. REQUIRED MOTORCYCLE SPACES PER COA ZONING ORDINANCE = 3.
 3. REQUIRED DISABLED PARKING SPACES PER COA ZONING ORDINANCE = 4, ONE OF WHICH SHALL BE VAN ACCESSIBLE.

GENERAL SHEET NOTES

1. CONTRACTOR, SUBCONTRACTOR, AND ALL OTHERS PROVIDING SERVICES WITHIN THIS SCOPE OF WORK SHALL PROTECT ALL BUILDING COMPONENTS WHICH ARE TO REMAIN OR ARE TO BE SALVAGED TO OWNER FROM ANY DAMAGE DURING DEMOLITION.
2. CONTRACTOR, SUBCONTRACTORS AND ALL OTHERS PROVIDING SERVICES WITHIN THIS SCOPE OF WORK SHALL PROTECT STUDENTS, STAFF, FACULTY, WORKERS, AND ALL OTHER GROUPS OF PEOPLE AND INDIVIDUALS FROM HARM DURING THE DEMOLITION PHASE AND ALL OTHER PHASES OF THE CONSTRUCTION PROCESS.
3. CONSTRUCT TEMPORARY BARRIER BETWEEN CONSTRUCTION ZONE AND REMAINING SCHOOL AREA. SAID BARRIERS SHALL MEET THE REQUIREMENTS OF ALL JURISDICTIONAL CODES, ZONING LAWS, ETC.
4. DO NOT SCALE DRAWINGS.
5. CONTRACTOR SHALL GIVE OWNER FIRST RIGHT OF REFUSAL TO ALL SALVAGEABLE MATERIAL. CONTRACTOR SHALL COORDINATE CAREFUL AND TIMELY TRANSFER OF ALL MATERIALS REQUESTED BY OWNER TO BE SALVAGED TO OWNER.
6. CONTRACTOR SHALL DISPOSE OF ALL MATERIAL REMOVED FROM SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES OR OTHER APPLICABLE GOVERNANCES.
7. SITE DEMOLITION OUTSIDE THE DOMAIN OF THE ADMINISTRATIVE ALTERATION AND ADDITION IS DESCRIBED ON SHEET AS/A.
8. CONTRACTOR SHALL PROTECT EXISTING TREES WHICH ARE TO REMAIN FROM DAMAGE DURING THE CONSTRUCTION PROCESS.
9. SEE ELECTRICAL, PLUMBING AND MECHANICAL SHEETS FOR ADDITIONAL REMOVALS. DEMOLITION OF FLOORS, WALLS, CEILINGS AND ROOFS IMPLIES REMOVAL OF ALL ASSOCIATED ELECTRICAL, MECHANICAL AND PLUMBING FIXTURES, EQUIPMENT ETC. UNLESS OTHERWISE SPECIFIED.
9. CONTRACTOR SHALL REMOVE ALL FIXTURES ASSOCIATED WITH REMOVAL OF SUSPENDED CEILING AS DESCRIBED HEREIN.
10. CONTRACTOR SHALL IMMEDIATELY CONTACT ARCHITECT WITH ANY QUESTIONS CONCERNING OR CLARIFICATION.
11. EXISTING BUILDING TO BE DEMOLISHED AFTER COMPLETION OF NEW BUILDING.

SITE PLAN
Scale 1" = 40'
SEQUENCE OF WORK

1. REMOVAL OF 7 PORTABLES (BY OWNER)
 2. CONSTRUCTION OF NEW BUILDINGS
- BASE BID:
Complete Construction of the entire Lower Level.
Warm Shell Construction of the Homebound Classrooms, IAS Classrooms and Private School Area. The only rooms north of gridline E to be finished in the Base Bid are M104, M105 and M130.
Complete Construction of the Administrative Areas, including all rooms and areas south of gridline D, east of gridline 1 and west of gridline 12.
Construction of CMU walls around rooms M107 and M108.
Construction of the CMU walls on the north and east side of the Cafeteria Courtyard.
Construction of Cast-In-Place retaining walls on the east and north side of the school.
Construction of the North Stair.
Include Frame Type 36 on Sheet A-604. Note: Omit with acceptance of Bid Lot 4.

The Scope of work described by these documents includes a Base Bid and 3 Bid Lots which are:

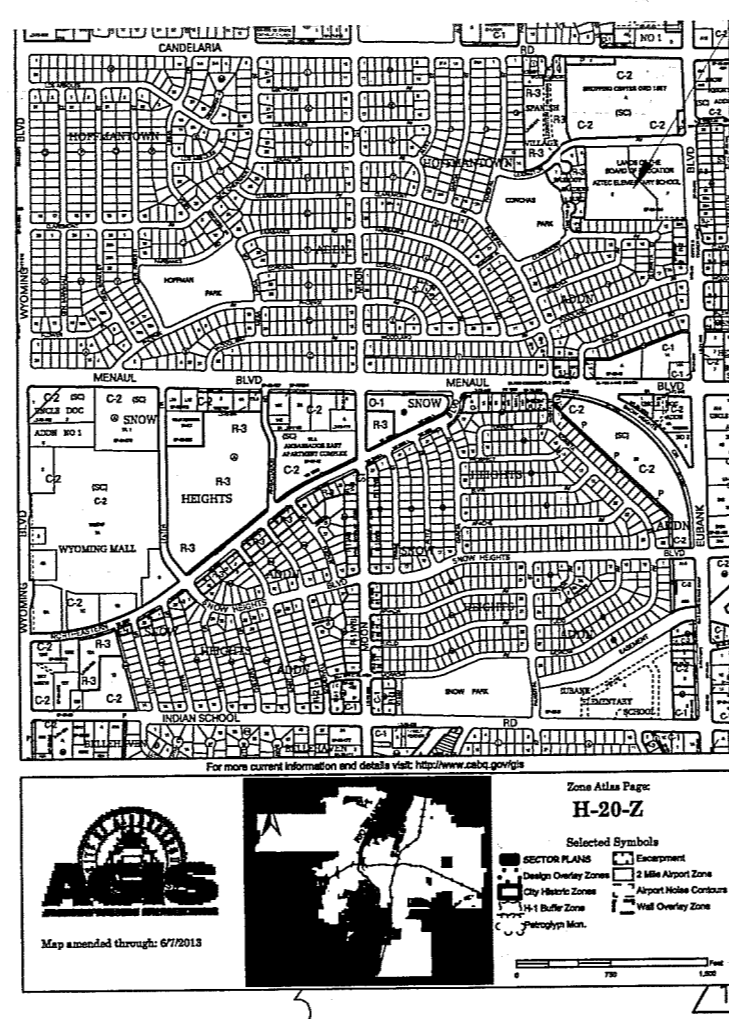
BASE BID:
Complete Construction of the entire Diag. Wing east of Gridline 12.
The total floor area to be constructed in the Base Bid is 14,982 Square Feet.
Total Area to be constructed within the exterior perimeter 15,211 Square Feet.

BID LOT 1:
HVAC Warranty Service.
HVAC Maintenance Agreement.

BID LOT 2:
Turnkey Photovoltaic System.

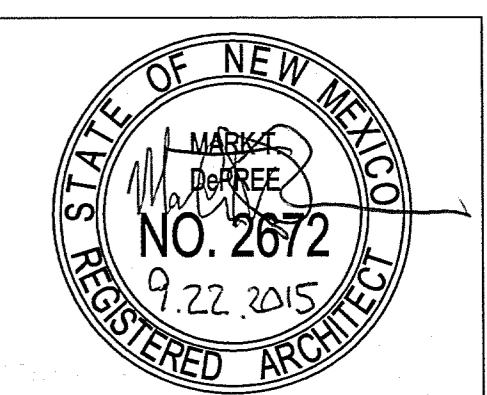
BID LOT 3:
Construction of the entire west Wing of the Facility west of Grid Line 12, both lower and upper level. Including but not limited to: Autism, Homebound and Administrative Areas.
The total floor area to be constructed in Bid Lot 3 is 45,107 Square Feet.
Total Area to be constructed within the exterior perimeter 46,397 Square Feet.

FUTURE SITE WORK IS NOT IN THIS CONTRACT.
DEMOLITION OF EXISTING BUILDINGS, CURBS, DRIVES, PARKING AREAS, AND SITE ELEMENTS; REMOVAL OF PORTABLE (BY OWNER) IN PREPARATION FOR NEW SITE WORK.
CONSTRUCTION OF NEW ACCESS DRIVE, PARKING AREAS, AND PLAYGROUNDS



KEYED NOTES

1. LINE OF EXISTING CHAIN LINK FENCE TO REMAIN. PROTECT DURING CONSTRUCTION.
2. SEE ELEVATIONS AND SECTIONS FOR DESCRIPTIONS OF GUARDRAILS AND HANDRAILS.
3. APPROXIMATE CONSTRUCTION FENCE LOCATION. VERIFY FINAL LOCATION WITH OWNER.
4. JOB SIGN LOCATION. CONTRACTOR TO PROVIDE AND INSTALL SIGN PER SPECIFICATIONS.
5. SAW CUT CONTROL JOINT. CAULK PER SPECIFICATIONS.
6. PROTECT DURING CONSTRUCTION. SEE SEE WORK SEQUENCE. THIS SHEET.
7. EXISTING FIRE HYDRANT. SEE CIVIL DRAWINGS.
8. LIGHT BROOM FINISH CONCRETE. PROVIDE SAMPLE FOR ARCHITECT APPROVAL.
9. NEW ACCESSIBLE CONCRETE RAMP. SEE S/AS-101. SEE STRUCTURAL SHEETS.
10. CONCRETE BENCH. SEE ELEVATIONS SHEET A-201.
11. CRUSHER FINE WALKING PATH. NIC.
12. ASPHALT DRIVE. SEE CIVIL DRAWINGS.
13. GENERAL CONTRACTOR TO INSTALL NEW CHAINLINK FENCE & GATE. HEIGHT TO MATCH EXISTING ADJACENT FENCING.



Westwork ARCHITECTS
P.O. Box 19291
ALBUQUERQUE, NEW MEXICO 87184-0921
505.884.5252 FAX: 505.213.0002

CONSULTANTS

CIVIL: High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109
Phone: (505) 345-4250
Fax: (505) 345-4254

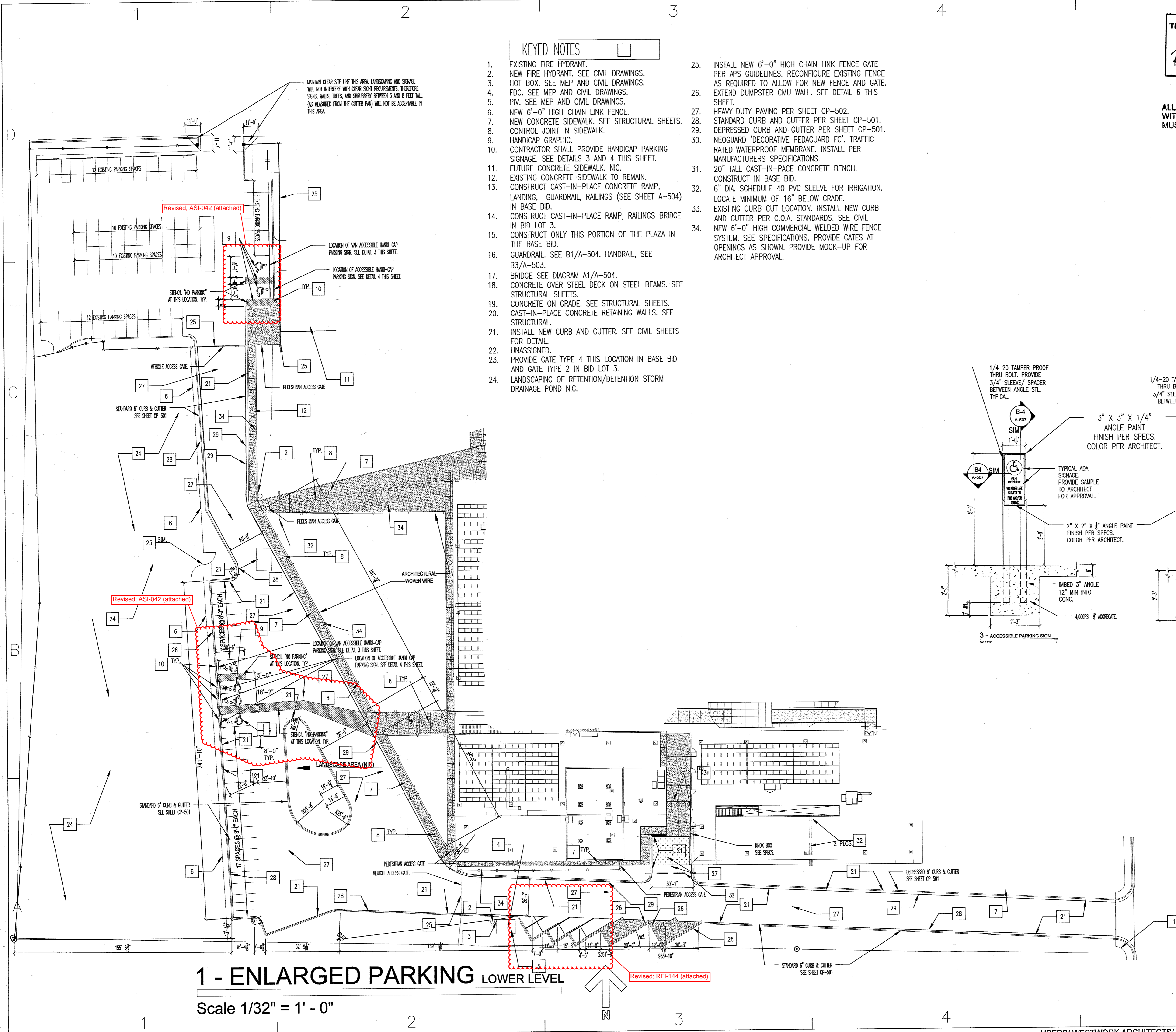
STRUCTURAL: Chavez-Greaves Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87110
O: 505-344-4080
C: 505-259-7486

MECHANICAL/PLUMBING/ELECTRICAL:
T & D Services
6001 Indian School Rd. NE
Albuquerque, NM 87110-4183
(505) 314-7508 Direct
(505) 314-7500 Office
(505) 314-7501 FAX

AZTEC SPECIAL EDUCATION FACILITY
Albuquerque Public Schools
2611 Eubank Blvd. Albuquerque, New Mexico 87112
ADDENDUM COMPILATION SET

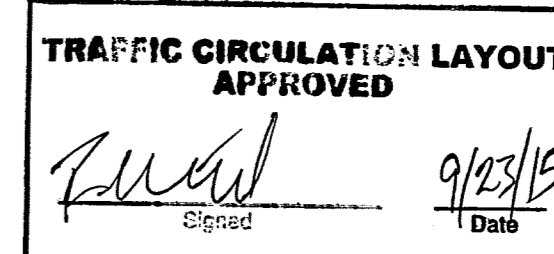
DRAWING SUBMITTAL:	
01	08/21/14 TRANSITION PLAN
02	09/04/14 50% Construction Documents Review Set
03	02/23/15 95% Construction Documents Review Set
04	04/20/15 100% C.O.A. Permit Documents
05	05/05/15 ADDENDUM I
06	06/02/15 ADDENDUM II
07	06/18/15 ADDENDUM III
08	06/22/15 ADDENDUM IV
09	07/27/15 ADDENDUM V Supercedes, replaces, & voids all previous addendum drawings and sketches.
PROJECT NO: 150713	
CAD DWG FILE:	
DRAWN BY: Mark De Pre & Leonard Perez	
CHK'D BY: Cindy Terry	
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SHEET TITLE	

TRAFFIC CONTROL LAYOUT PLAN
TCL-100

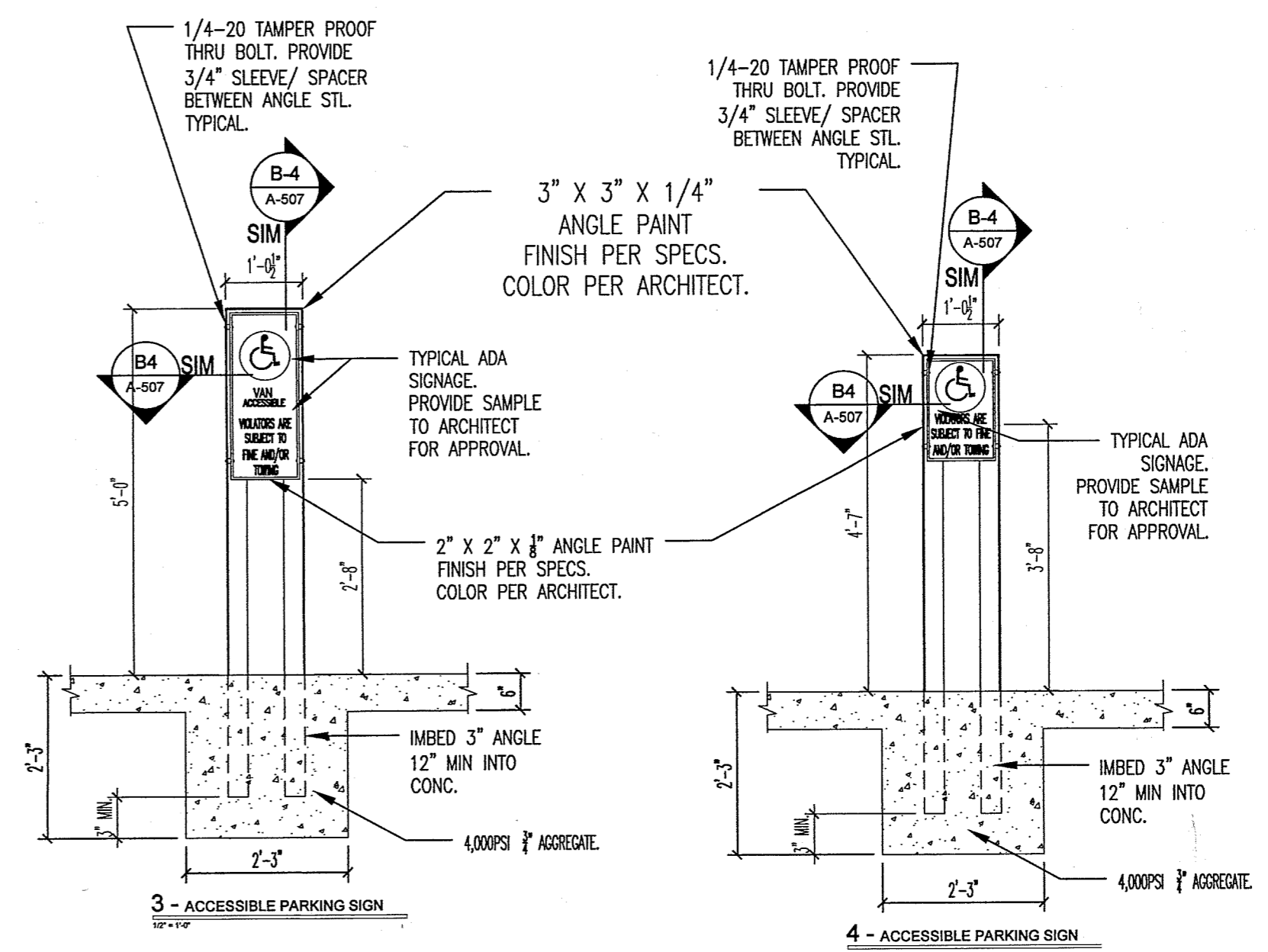


KEYED NOTES

- EXISTING FIRE HYDRANT.
- NEW FIRE HYDRANT. SEE CIVIL DRAWINGS.
- HOT BOX. SEE MEP AND CIVIL DRAWINGS.
- FDC. SEE MEP AND CIVIL DRAWINGS.
- P.V. SEE MEP AND CIVIL DRAWINGS.
- NEW 6'-0" HIGH CHAIN LINK FENCE.
- NEW CONCRETE SIDEWALK. SEE STRUCTURAL SHEETS.
- CONTROL JOINT IN SIDEWALK.
- HANDICAP GRAPHIC.
- CONTRACTOR SHALL PROVIDE HANDICAP PARKING SIGNAGE. SEE DETAILS 3 AND 4 THIS SHEET.
- FUTURE CONCRETE SIDEWALK. NIC.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- CONSTRUCT CAST-IN-PLACE CONCRETE RAMP, LANDING, GUARDRAIL, RAILINGS (SEE SHEET A-504) IN BASE BID.
- CONSTRUCT CAST-IN-PLACE RAMP, RAILINGS BRIDGE IN BID LOT 3.
- CONSTRUCT ONLY THIS PORTION OF THE PLAZA IN THE BASE BID.
- GUARDRAIL. SEE B1/A-504. HANDRAIL, SEE B3/A-503.
- BRIDGE SEE DIAGRAM A1/A-504.
- CONCRETE OVER STEEL DECK ON STEEL BEAMS. SEE STRUCTURAL SHEETS.
- CONCRETE ON GRADE. SEE STRUCTURAL SHEETS.
- CAST-IN-PLACE CONCRETE RETAINING WALLS. SEE STRUCTURAL.
- INSTALL NEW CURB AND GUTTER. SEE CIVIL SHEETS FOR DETAIL.
- UNASSIGNED.
- PROVIDE GATE TYPE 4 THIS LOCATION IN BASE BID AND GATE TYPE 2 IN BID LOT 3.
- LANDSCAPING OF RETENTION/DETENTION STORM DRAINAGE POND NIC.
- INSTALL NEW 6'-0" HIGH CHAIN LINK FENCE GATE PER APS GUIDELINES. RECONFIGURE EXISTING FENCE AS REQUIRED TO ALLOW FOR NEW FENCE AND GATE.
- EXTEND DUMPSTER CMU WALL. SEE DETAIL 6 THIS SHEET.
- HEAVY DUTY PAVING PER SHEET CP-502.
- STANDARD CURB AND GUTTER PER SHEET CP-501.
- DEPRESSED CURB AND GUTTER PER SHEET CP-501.
- NEOGUARD 'DECORATIVE PEDAGUARD FC'. TRAFFIC RATED WATERPROOF MEMBRANE. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 20" TALL CAST-IN-PLACE CONCRETE BENCH. CONSTRUCT IN BASE BID.
- 6" DIA. SCHEDULE 40 PVC SLEEVE FOR IRRIGATION. LOCATE MINIMUM OF 16" BELOW GRADE.
- EXISTING CURB CUT LOCATION. INSTALL NEW CURB AND GUTTER PER C.O.A. STANDARDS. SEE CIVIL.
- NEW 6'-0" HIGH COMMERCIAL WELDED WIRE FENCE SYSTEM. SEE SPECIFICATIONS. PROVIDE GATES AT OPENINGS AS SHOWN. PROVIDE MOCK-UP FOR ARCHITECT APPROVAL.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



CONSULTANTS

CIVIL: High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109
Phone: (505) 345-4250
Fax: (505) 345-4254

STRUCTURAL: Chavez-Grieco Consulting Engineers, Inc.
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87112
O: 505-344-4080
C: 505-299-7488

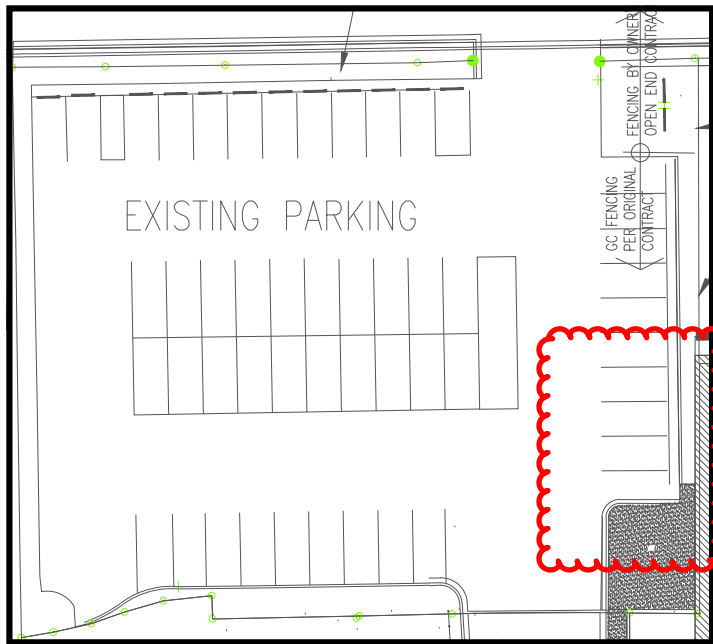
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Albuquerque, NM 87110-4183
(505) 314-7508 Direct
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AZTEC SPECIAL EDUCATION FACILITY
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ADDENDUM COMPILATION SET

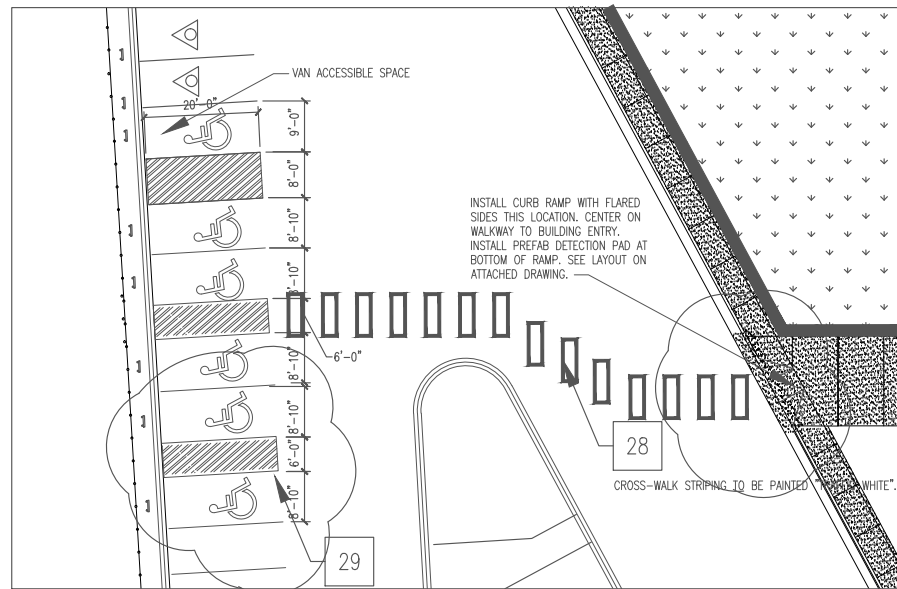
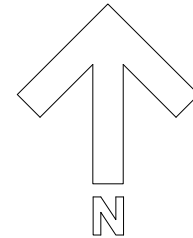
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08	06/22/15 ADDENDUM IV
09	07/27/15 ADDENDUM V Supersedes, replaces, & voids all previous addendum drawings and sketches.
PROJECT NO: 150713	
CAD DWG FILE:	
DRAWN BY:	
CHK'D BY:	
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SHEET TITLE	

City of Albuquerque
Building & Safety
SEP 22 2015
I.B.C.
Plan Check Section

ENLARGED
TRAFFIC CONTROL PLAN
TCL-101



ASI-042



10/28/16 REVISION C42.2: WEST PARKING AREA—INCREASE THE WIDTH OF ONE ACCESSIBLE PARKING SPACE TO 9'-0" TO ALLOW FOR VAN ACCESSIBLE SPACE WITH VAN ACCESSIBLE SIGNAGE, STRIPING, DIAGONAL STRIPING AT AISLES AND "INTERNATIONAL SIGN OF ACCESSIBILITY" TO BE PAINTED BLUE.

AZTEC SPECIAL EDUCATION FACILITY
DEMOLITION AND SITE IMPROVEMENTS
 2611 Eubank Blvd. Albuquerque, New Mexico 87112

Westwork
 ARCHITECTS
10000 1000
 ALBUQUERQUE, NEW MEXICO 87114-9921
 505.884.1332 FAX 505.251.2882