

CITY OF ALBUQUERQUE



August 9, 2004

Mr. Bruce Stidworthy, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson St. NE
Albuquerque, NM 87109

Re: ECKERD DRUG STORE – EUBANK BLVD. AND MENAUL BLVD.
9640 Menaul Blvd. NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 10/15/2003 (H-20/D038)
Certification dated 08/09/2004

P.O. Box 1293

Dear Bruce,

Albuquerque

Based upon the information provided in your submittal received 08/09/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services
BLB

C: Phyllis Villanueva
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Eckerd-Eubank and Menaul ZONE MAP/DRG. FILE # H-20/D38

DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Parcels 2-C, 3, 4 Uncle Doc Addition No. "2"
CITY ADDRESS: 9640 Menaul Blvd NE

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Bruce Stidworthy
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Archicon, L.C. CONTACT: Maneesh Dwevedi
ADDRESS: 4041 N. Central, Suite C-100 PHONE: 602-222-4266
CITY, STATE: Phoenix, AZ 85012 ZIP CODE: 85012

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

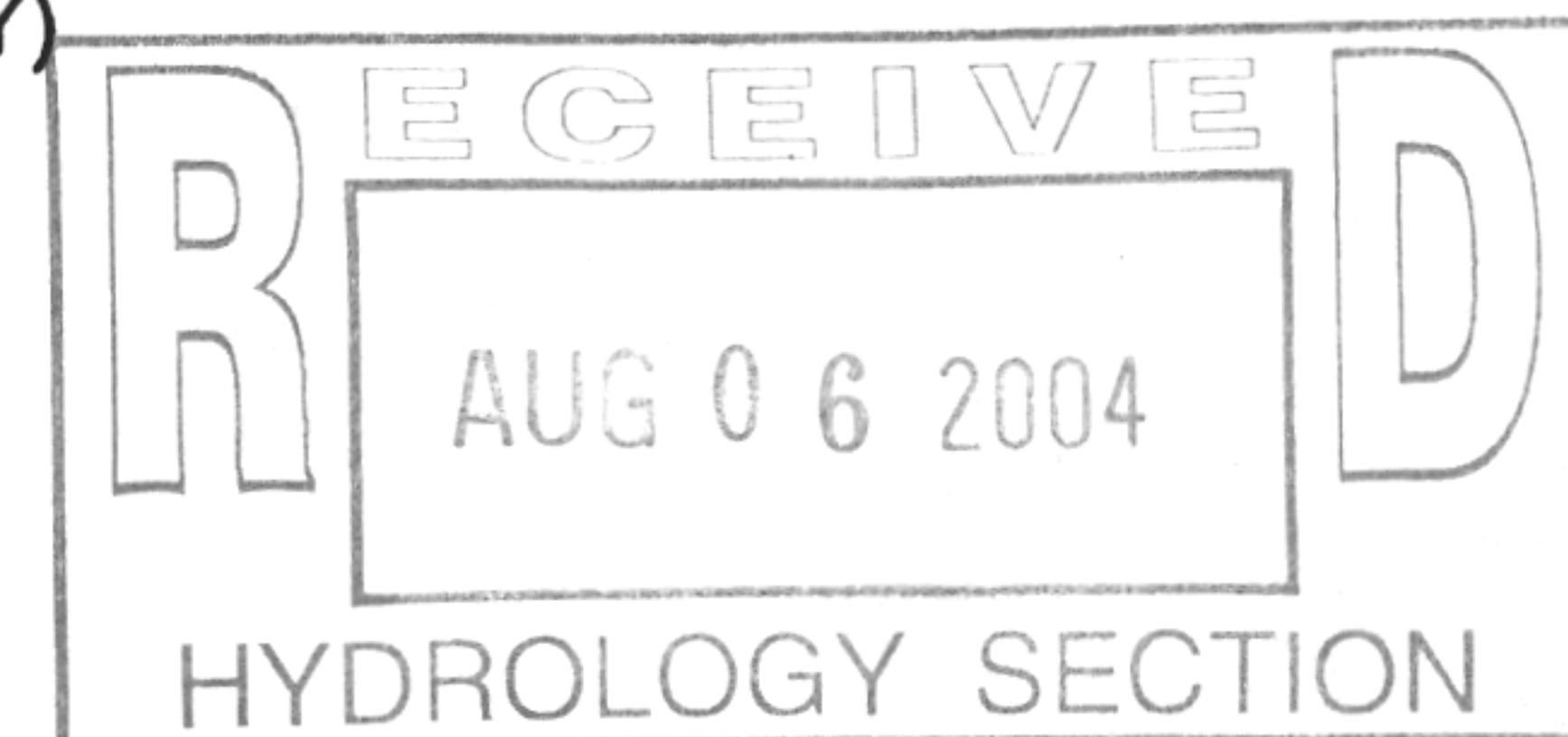
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 8/9/04 BY: Bruce Stidworthy/BHI

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

Courtyard I
7500 Jefferson NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
fax: 505.798.7988
toll free: 800.877.5332

August 9, 2004

Mr. Brad Bingham
City Drainage Engineer
City of Albuquerque
P O Box 1293
Albuquerque, NM 87103

Re: Eckerd Drug Store, Eubank and Menaul – Grading and Drainage Plan (H20/D38)

Dear Brad:

Attached is a copy of the approved grading plan. With this submittal we are seeking Permanent Certificate of Occupancy for the above referenced project. A site visit was performed on August 6, 2004 to visually inspect the site and verify that the site improvements have been completed and are in substantial compliance with the approved grading plan dated October 15, 2003.

All the deficiencies noted in the letter for Temporary Certificate of Occupancy dated June 18, 2004 were corrected with the exception of the west concrete rundown and a sidewalk culvert in Snow Heights Rd. as noted in deficiency number one. There was insufficient room to accommodate the concrete rundown. However, according to the as-built spot elevations, drainage will now exit the site via the drive pad into Snow Heights Rd. No additional work needs to be completed.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions regarding this engineer's certification, please give me a call.

Sincerely,



Bruce Stidworthy, P.E.
Community Development and Planning

BS
Enclosure

cc: Chad Hagle, Tricor (w/encl)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 5, 2004

Bruce Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Eckerds at Eubank and Menaul, 9640 Menaul Blvd NE, Traffic Circulation Layout
Engineer's Stamp dated 3-30-04 (H20/D38)

Dear Mr. Stidworthy,

The TCL submittal received 3-30-04 is approved for **Building Permit**. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

H-20/D38

PROJECT TITLE: EUBANK + MENAUL ECKERT ZONE MAP/DRG. FILE #: H20/D38
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: ECKERT @ EUBANK + MENAUL
CITY ADDRESS: 9640 MENAUL BLVD. NE

ENGINEERING FIRM: BH1
ADDRESS: 2000 JEFFERSON NW
CITY, STATE: ALBUQ. NM

CONTACT: BRUCE STOWMAN
PHONE: 823-1000
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

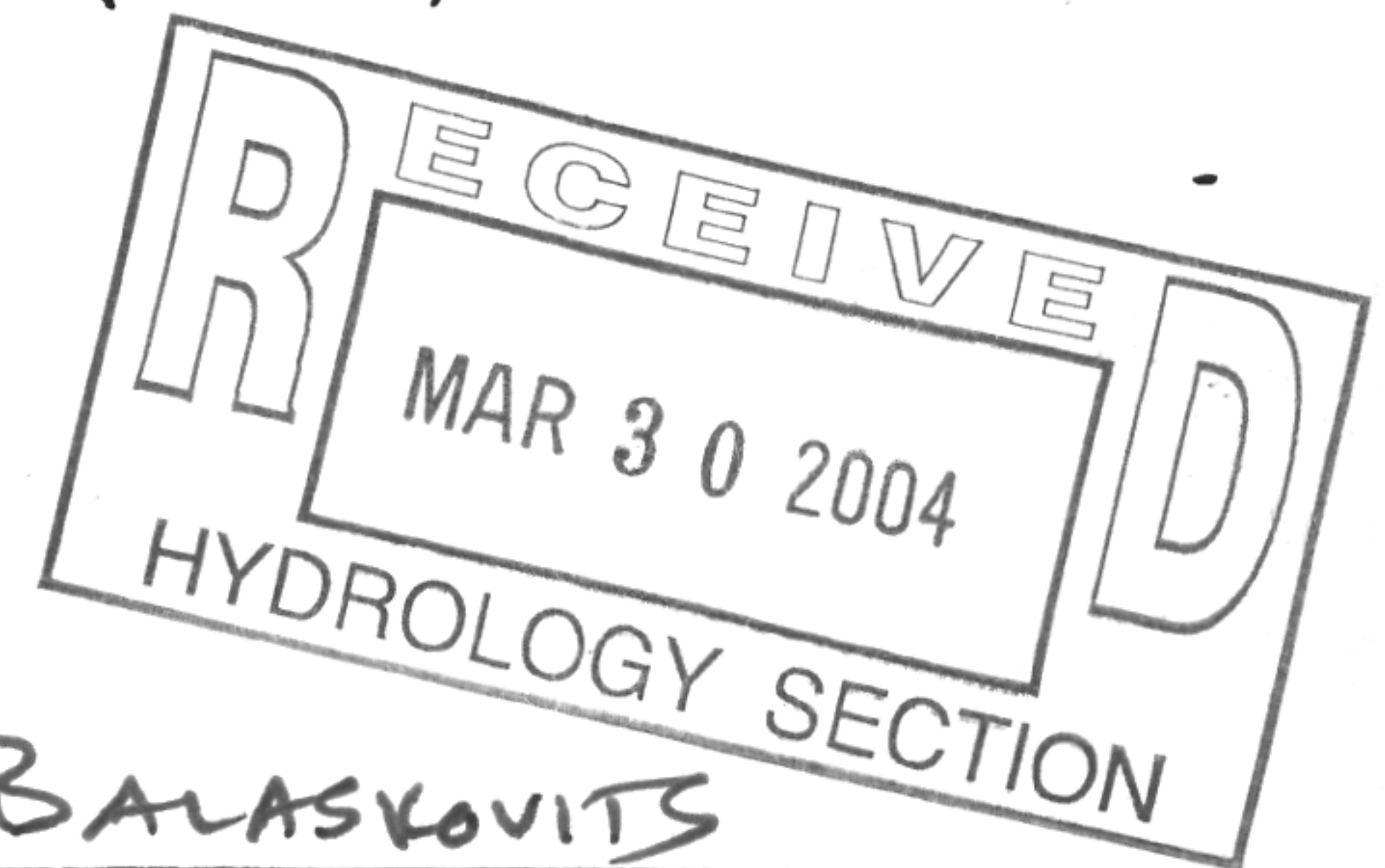
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

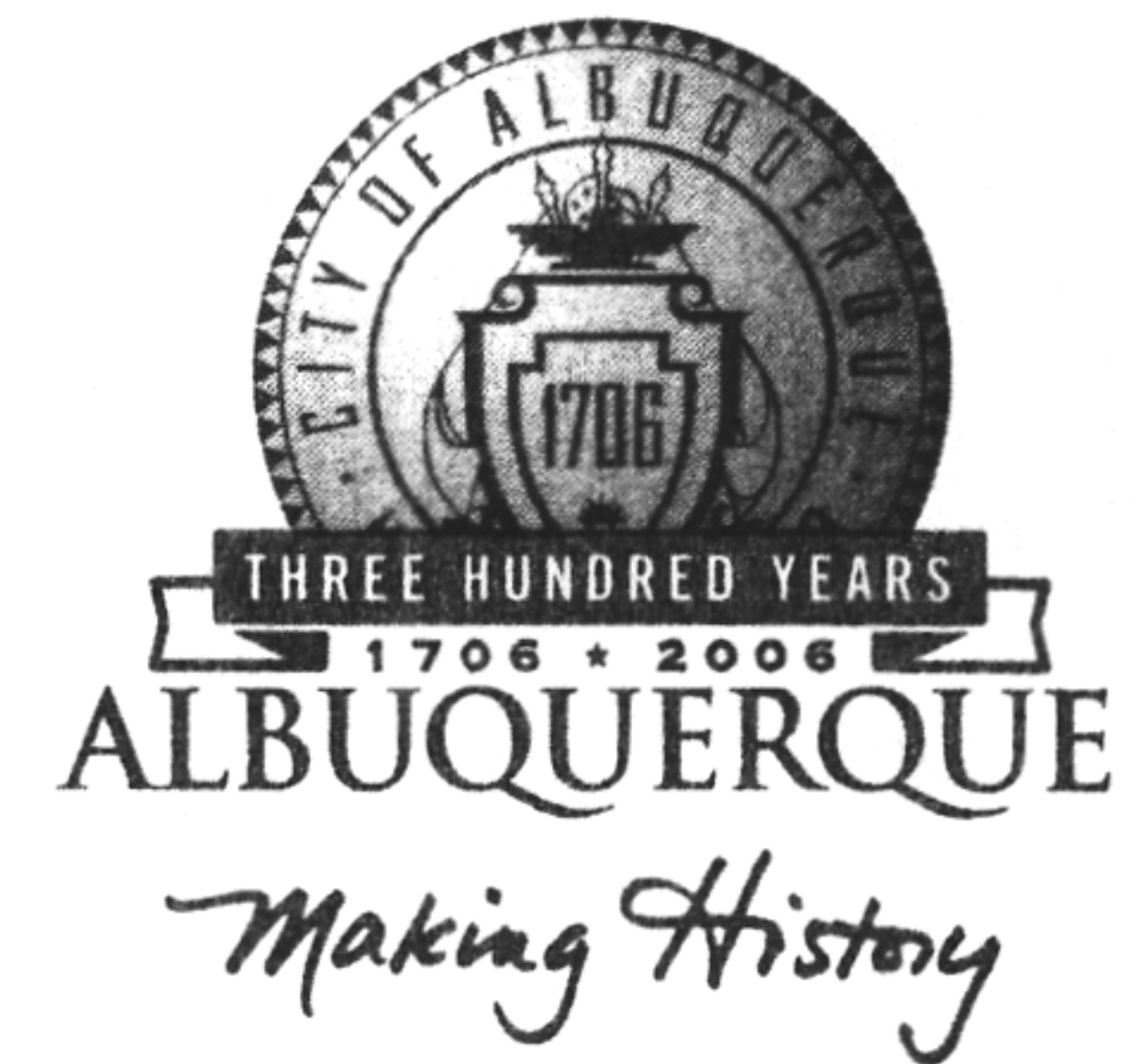
DATE SUBMITTED: 3/30/04 BY: MICHAEL BALASKOVITS



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 10, 2004

Bruce Stidworthy, P.E.
7500 Jefferson, Coutyard I
Albuquerque, NM 87109-4335

Re: Certification Submittal for Final Building Certificate of Occupancy for
Eckerd-Eubank and Manual, [H-20 / D38]
9640 Manual Blvd NE
Engineer's Stamp Dated 08/09/04

Dear Mr. Stidworthy:

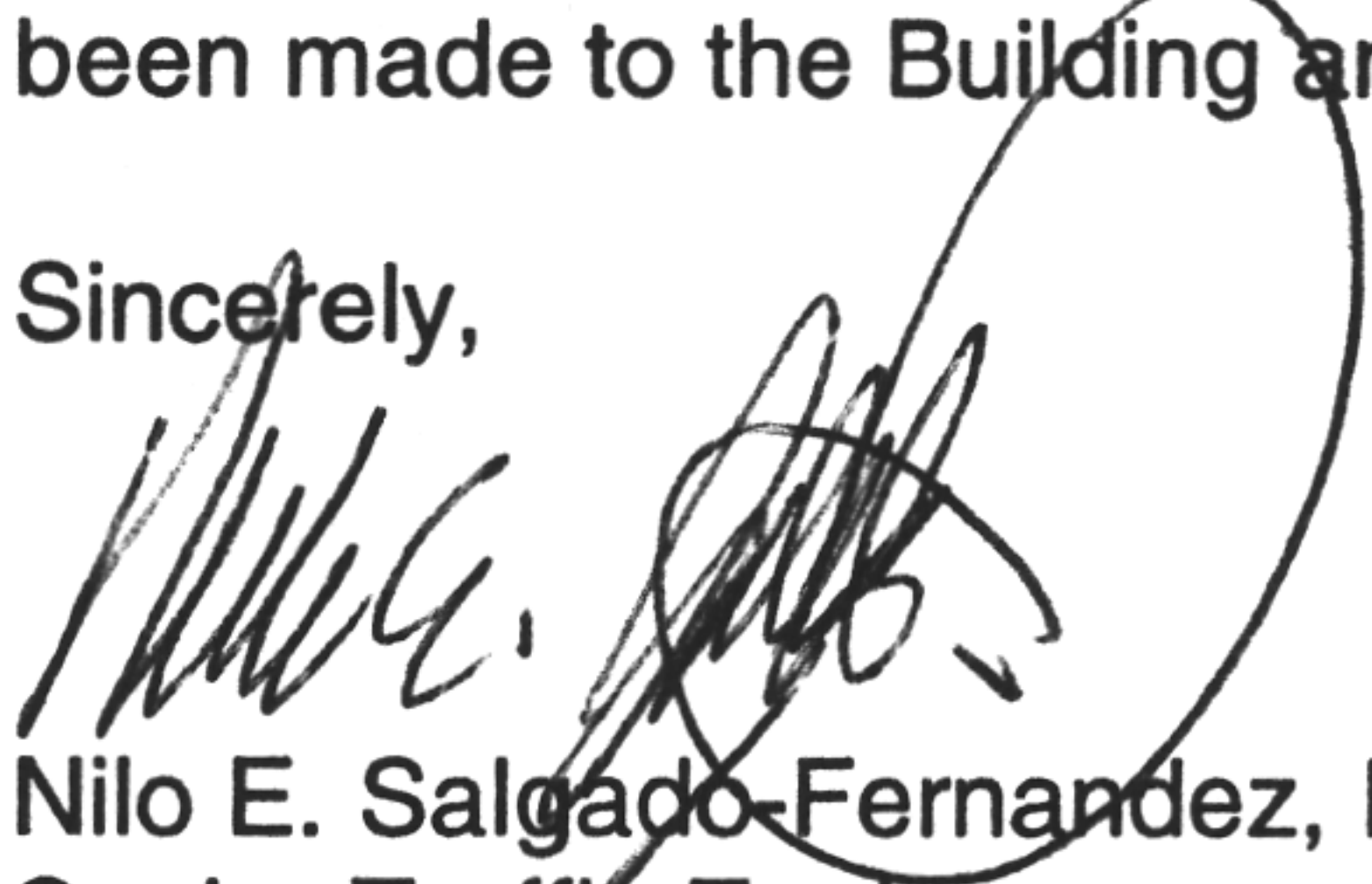
P.O. Box 1293

The TCL / Letter of Certification submitted on August 9, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Eckerd-Eubank and Menaul ZONE MAP/DRG. FILE # H-20/D38

DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Parcels 2-C, 3, 4 Uncle Doc Addition No. "2"
CITY ADDRESS: 9640 Menaul Blvd NE

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Bruce Stidworthy
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Archicon, L.C. CONTACT: Maneesh Dwevedi
ADDRESS: 4041 N. Central, Suite C-100 PHONE: 602-222-4266
CITY, STATE: Phoenix, AZ 85012 ZIP CODE: 85012

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

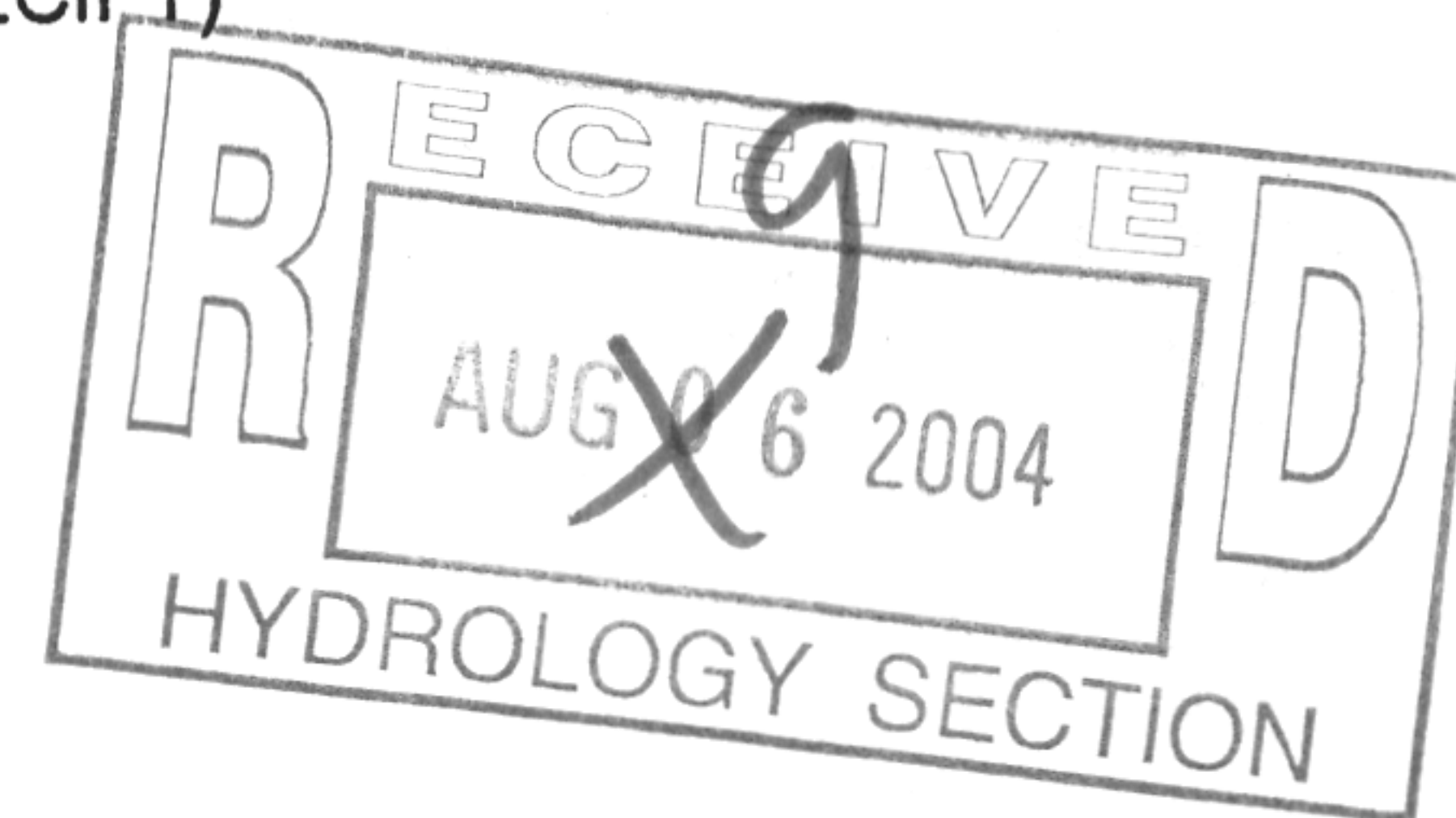
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 8/9/04 BY: Bruce Stidworthy/BHI

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

August 9, 2004

Kristal D. Metro
Engineering Associate
City of Albuquerque
P O Box 1293
Albuquerque, NM 87103

Re: Eckerd Drug Store, Eubank and Menaul– Traffic Circulation Layout (H20/D38)

Dear Kristal:

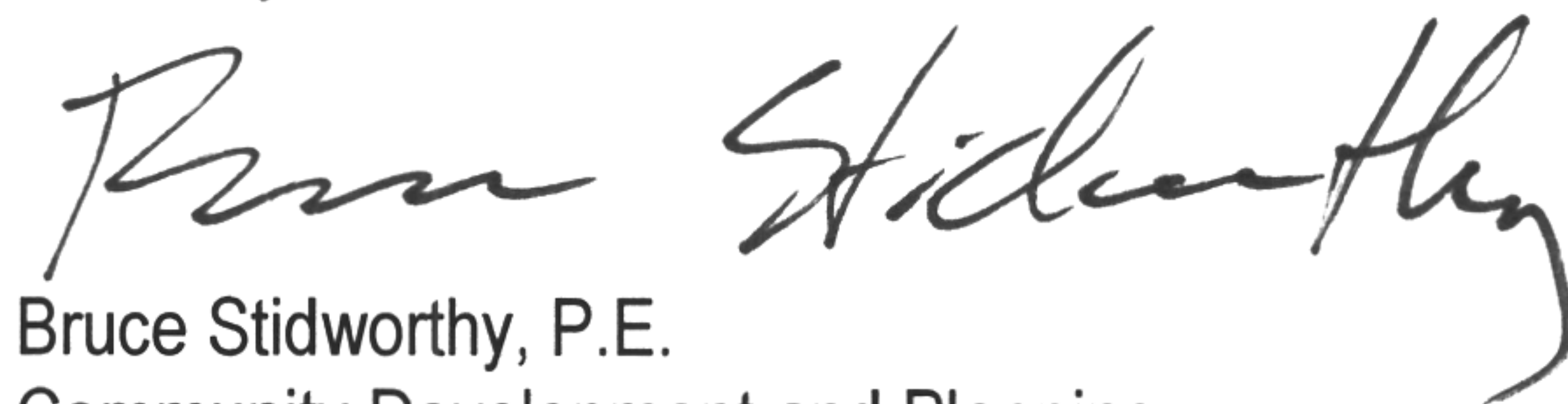
Attached is a copy of the approved traffic circulation layout. With this submittal we are seeking permanent Certificate of Occupancy for the above referenced project. A site visit was performed on August 6, 2004 to visually inspect the site and verify that the site improvements have been completed and are in substantial compliance with the approved traffic circulation layout dated March 30, 2004.

All the deficiencies noted in the letter for Temporary Certificate of Occupancy dated June 18, 2004 were corrected with the exception of number 5. The handicap ramp was not constructed according to the plans. However, Lorraine Koike, Inspector with the City of Albuquerque Public Works inspected and approved the handicap ramp. On account of her approval, this deficiency is omitted and no additional work needs to be completed.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic circulation layout aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions regarding this engineer's certification, please give me a call.

Sincerely,



Bruce Stidworthy, P.E.
Community Development and Planning

BS
Enclosure

cc: Chad Hagle, Tricor (w/encl)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

June 21, 2004

Bruce J. Stidworthy, P.E.,
Bohannon Huston Inc.
7500 Jefferson St NE, Courtyard I
Albuquerque, NM 87109-4335

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Eckerd, [H-20 / D38]
9640 Manual Blvd NE
Engineer's Stamp Dated 06/18/04

Dear Mr. Stidworthy:

Based on the information provided on your submittal dated June 21, 2004, the above referenced project is approved for a 30-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding issues (issues mentioned on letter dated June 18, 2004) to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead- stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3620.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 21, 2004

Mr. Bruce Stidworthy, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson St. NE
Albuquerque, NM 87109

Re: ECKERD DRUG STORE – EUBANK BLVD. AND MENAUL BLVD.
9640 Menaul Blvd. NE
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 10/15/2003 (H-20/D038)
Certification dated 06/18/2004

Dear Bruce,

Based upon the information provided in your submittal received 06/21/2004, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

Upon completion of the deficiencies listed in your correspondence, please resubmit an updated certification.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services
BLB

C: Phyllis Villanueva
File ✓



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 7, 2003

Bruce Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Eckerd – Eubank and Menaul, 9640 Menaul Blvd. NE, Grading and Drainage Plan

Engineer's Stamp dated 10-15-03 (H20/D38)

Dear Mr. Stidworthy,

Based upon the information provided in your submittal received 10-16-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions regarding this permit please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, Public Works Hydrology
file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 18, 2003

Bruce Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

**Re: Eckerd – Eubank and Menaul, 9640 Menaul Blvd. NE, Traffic Circulation
Layout**

Engineer's Stamp dated 12-04-03 (H20/D38)

Dear Mr. Stidworthy,

Based upon the information provided in your submittal received 12-04-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Transportation.

Prior to Certificate of Occupancy release, Engineer Certification of this plan will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 11, 2003

Bruce Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Eckerd – Eubank and Menaul, 9640 Menaul Blvd. NE, Traffic Circulation Layout

Engineer's Stamp dated 10-15-03 (H20/D38)

Dear Mr. Stidworthy,

Based upon the information provided in your submittal received 10-16-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide plats to show existing cross access.
2. Please correctly dimension the handicap parking spaces, as well as the surrounding typical spaces.
3. ✓ A keyed note is shown near curve 10 stating that the existing sidewalk is to remain. Please remove this note, or explain its use.
4. Provide a sketch detailing how the entrance from Menaul will work with the future turn lane.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file