

Drainage Certification

I, BRUCE J. STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-15-03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY W. MEDRANO, OF THE FIRM PRECISION SURVEYS. I FURTHER CERTIFY THAT A SITE VISIT WAS PERFORMED ON 08-08-04 AND IT WAS DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE FOLLOWING DEFICIENCY IS OMITTED ON ACCOUNT OF AS-BUILT SPOT ELEVATIONS ALLOWING DRAINAGE TO EXIT THE SITE VIA THE DRIVE PAD.

1. THE NORTH SIDEWALK CULVERT INTO SNOW HEIGHTS ROAD WAS NOT CONSTRUCTED. DRAINAGE WILL LEAVE THE SITE VIA SURFACE FLOW SOUTHEAST OUT OF THE DRIVE PAD PER THE AS-BUILT SPOT ELEVATIONS. SEE THIS SHEET FOR UPDATED FLOW ARROWS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. BASED ON THE RECORD INFORMATION, THE DESIGNER HAS ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

BRUCE J. STIDWORTHY, NMPE 14523

DATE: 8/9/04



LAND DIVISION PLAT SHOWING PARCELS 2-A, 2-B, 2-C, UNCLE DOC ADDITION NO. 12
FILED: AUGUST 5, 1972 (18-171)

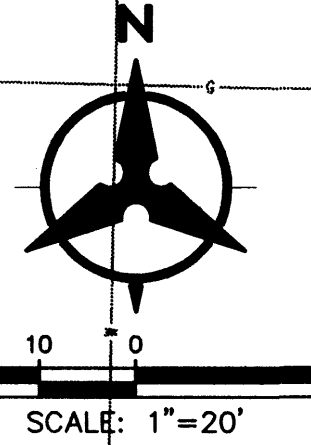
REPLAT OF AMENDED & CORRECTED PLAT OF UNCLE DOC ADDITION NO. 12
MARCH 3, 1970 (104-701)

AS-CONSTRUCTED IN FIELD. CONCRETE RUNDOWN, CURB OPENING AND SIDEWALK CULVERT DELETED

FF = 85.50
FF = 85.71

FIRST REPLAT OF AMENDED & CORRECTED PLAT OF UNCLE DOC ADDITION NO. 12
FILED: MARCH 3, 1970 (104-701)

ACS ALUMINUM CAP STAMPED "11-420, 1989"
GEOGRAPHIC POSITION (NAD 1921)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=415,450.23 Y=1,495,048.31
GROUND TO GRID FACTOR = 0.99964572
DELTA ALPHA = -0°05'45"
SLD 1929 ELEVATION = 5488.95



GENERAL NOTES

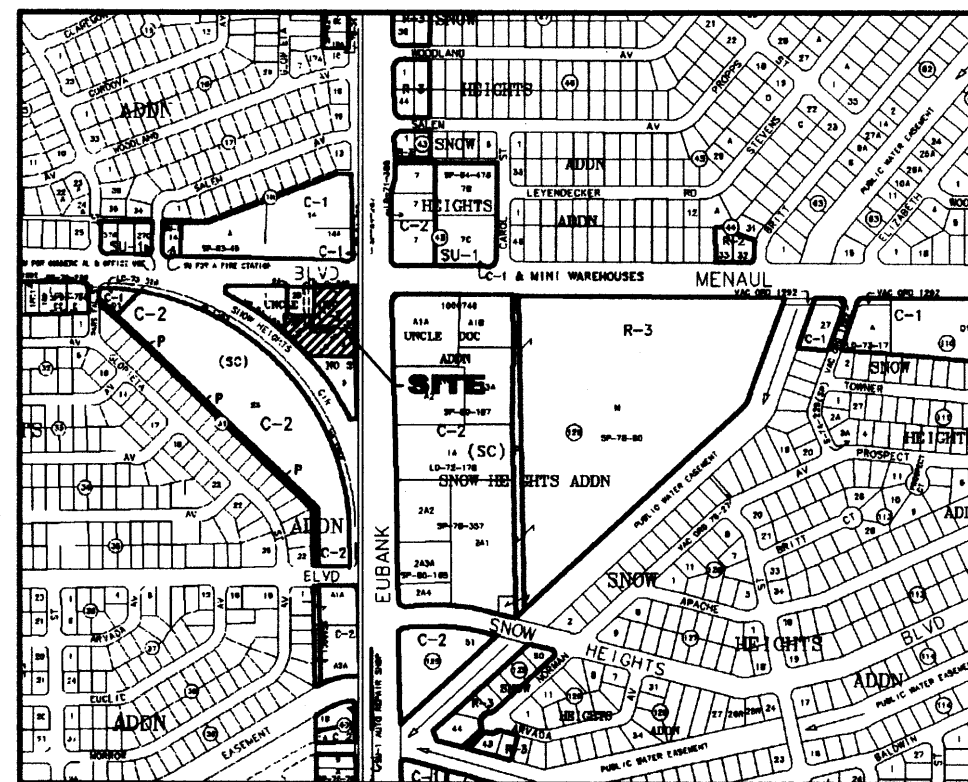
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LINES. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADES, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS SHOWN IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCING AT THE PROPERTY LINES.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.

GRADING & DRAINAGE KEYED NOTES

- CONSTRUCT NEW 12" STORM DRAIN AT 0.5% SLOPE
- DAYLIGHT NEW STORM DRAIN, INSTALL FLARED END SECTION PER DETAIL, SHEET C3 INV.=80.60.
- RETAINING WALL, SEE SHEET C3 FOR DETAIL.
- 18" WIDE SIDEWALK CULVERT AS PER COA STD. DWG. 2236. SEE DETAILS SHEET C3.
- 18" WIDE CONCRETE RUNDOWN AS PER DETAILS, SHEET C3.
- PROVIDE 4" WIDE CURB OPENING FOR DRAINAGE
- PROVIDE 3" WIDE DRAINAGE CONTROL HUMP AS PER DETAILS, SHEET C3.
- INSTALL NEW TYPE "C" DROP INLET AS PER COA STD DWG 2205.



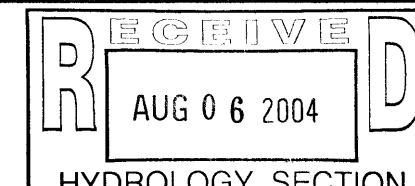
LOCATION MAP
ZONE ATLAS INDEX MAP No. H-20-Z

LEGAL DESCRIPTION

A certain tract of land situate within the northeast one-quarter (NE1/4) of the southeast one-quarter (SE1/4) of Section 8, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Parcel Number Four (4) of the FIRST REPLAT OF PORTION OF AMENDED AND CORRECTED PLAT OF UNCLE DOC ADDITION NO. 2, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on March 3, 1970 in Volume 04, Folio 70 as Document No. 67813, together with Parcel 2-C of the LAND DIVISION PLAT SHOWING PARCELS "2-A", "2-B", & "2-C", COMPRISING PARCEL "2" OF THE UNCLE DOC ADDITION NO. 2, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on August 5, 1972 in Volume C8, Folio 171.

LEGEND

- ALTA BOUNDARY LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE
- 6" C.I. EXISTING WATERLINE
- 8" VCP EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING OVERHEAD ELECTRIC LINE
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND CHISELED MARK AS NOTED
- FOUND IRON PIPE AS NOTED
- FOUND NAIL & SHINER AS NOTED
- FOUND 600 NAIL WITH BRASS WASHER AS NOTED
- FOUND CAPPED REBAR AS NOTED
- FOUND REBAR AS NOTED
- EXISTING GAS METER
- EXISTING METAL LIGHT POLE
- EXISTING POWER POLE
- EXISTING ELECTRIC TRANSFORMER
- EXISTING GUY & ANCHOR
- EXISTING TELEPHONE PEDESTAL
- EXISTING CABLE TV BOX
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CLEAN OUT
- EXISTING STORM DRAIN DROP INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING TRAFFIC SIGNAL POLE
- FINISH GRADE HIGH SIDE OF RETAINING WALL
- FINISH GRADE LOW SIDE OF RETAINING WALL
- RETAINING WALL
- DRAINAGE CONTROL HUMP



Bohannon & Huston
Courtney 1 7800 Jefferson St. NE Albuquerque, NM 87108-0385
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

ECKERD
STORE # 5405
SWC MENAUL BLVD. & EUBANK BLVD.
ALBUQUERQUE, NEW MEXICO

DATE	BY	CHECKED	DATE	BY	CHECKED
8/9/04	BS	8/9/04	BS	8/9/04	BS
8/9/04	BS	8/9/04	BS	8/9/04	BS
8/9/04	BS	8/9/04	BS	8/9/04	BS
8/9/04	BS	8/9/04	BS	8/9/04	BS
8/9/04	BS	8/9/04	BS	8/9/04	BS

GRADING & DRAINAGE PLAN

C1

ENGINEER CERTIFICATION

I, BRUCE J. STIDWORTHY, NMPE 14623, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED TRAFFIC CIRCULATION LAYOUT PLAN. A SITE VISIT WAS PERFORMED ON 06-18-04 TO VISUALLY INSPECT THE SITE AND VERIFY THAT THE SITE IMPROVEMENTS HAVE BEEN COMPLETED AND ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED TRAFFIC CIRCULATION LAYOUT PLAN. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE FOLLOWING DEFICIENCY IS OMITTED ON ACCOUNT OF APPROVAL FROM CITY PUBLIC WORKS INSPECTOR LORRAINE KORTE.

5. The handicap ramp on the north side of the Eubank entrance needs to be constructed in accordance with the plans. The back curb needs to be adjusted to run parallel with the sidewalk. (See handicap ramp this sheet for as-constructed conditions.)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC CIRCULATION LAYOUT ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Bruce J. Stidworthy
BRUCE J. STIDWORTHY, NMPE 14623
DATE 8/9/04

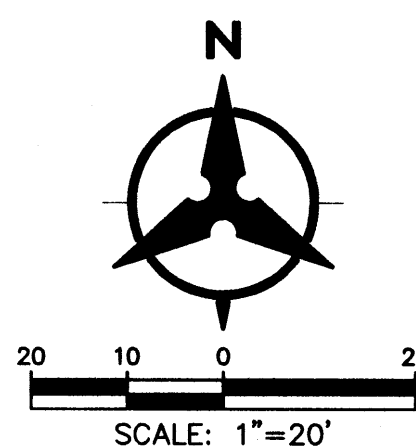
LAND DIVISION PLAT
SHOWING
PARCELS "2-A" "2-B" "2-C"
UNCLE DOC ADDITION NO. 12
FILED: AUGUST 5, 1972
(CR-171)

FIRST REPEAT OF
PORTION OF AMENDED &
CORRECTED PLAT OF
UNCLE DOC ADDITION NO. "2"
FILED: MARCH 5, 1970
(CR-70)

BUILDING LEASABLE SQUARE FOOTAGE = 13,683sf
GROSS PARKING REQUIRED = 69
LESS 10% FOR TRANSIT = 7
NET PARKING REQUIRED = 62
PARKING PROVIDED = 62

FIRST REPEAT OF
PORTION OF AMENDED & CORRECTED
PLAT OF
UNCLE DOC ADDITION NO. 12
FILED: MARCH 5, 1970
(CR-70)

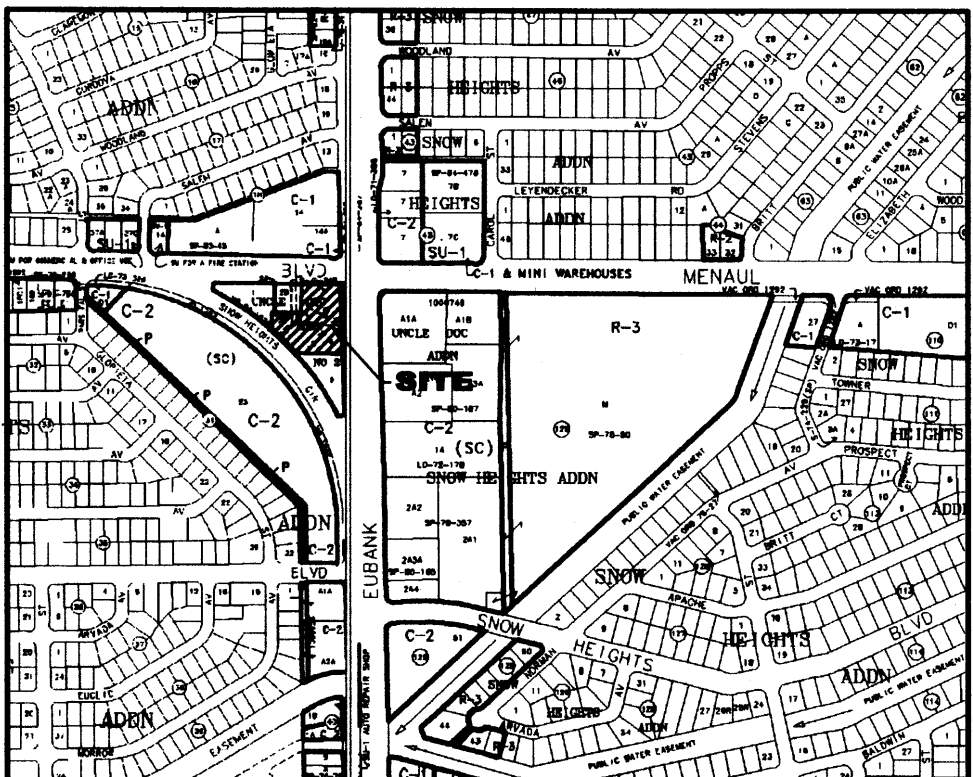
ACS ALUMINUM CAP STAMPED "11-H20, 1989"
GEOGRAPHIC POSITION (NAD 1927)
NAD STATE PLANE COORDINATES (CENTRAL ZONE)
X=415,450.23 Y=1,495,048.31
GROUND TO GRID FACTOR = 0.99964572
DELTA ALPHA = -0°09'45"
SLD 1929 ELEVATION = 5488.95



ID	RADIUS	ARC	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	25.00	39.18	24.91	89°47'01"	S43°33'48"E	35.29
C2	30.00	13.57	6.90	25°55'22"	S11°37'59"E	13.46
C3	3.00	5.95	4.58	113°33'39"	S32°14'47"W	5.02
C4	2.00	4.47	4.10	127°58'48"	S26°58'59"E	3.59
C5	15.00	13.62	7.32	52°01'12"	S63°01'01"W	13.16
C6	20.00	20.17	11.04	57°47'00"	N62°04'53"W	19.33
C7	3.00	4.71	3.00	90°00'00"	S46°14'21"W	4.24
C8	5.00	7.85	5.00	90°00'00"	N43°45'39"W	7.07
C9	2.00	3.14	2.00	90°00'00"	N46°14'21"E	2.83
C10	8.00	11.75	7.22	84°07'09"	S06°06'42"E	10.72
C11	25.00	41.83	27.71	95°52'35"	S83°53'10"W	37.12
C12	25.00	28.21	15.82	64°38'31"	N12°20'01"W	26.73
C13	7.00	3.00	1.52	24°32'26"	N32°15'27"E	2.98
C14	4.00	8.41	6.99	120°26'20"	S75°15'10"E	6.94
C15	30.00	44.83	27.79	85°37'26"	N46°11'14"E	40.78
C16	4.30	13.18	11.54	175°37'25"	S88°48'47"E	8.59
C17	2.00	4.19	3.46	120°00'01"	N58°59'57"E	3.46
C18	15.00	15.71	8.66	59°59'59"	S31°00'03"E	15.00
C19	3.67	8.32	7.84	129°48'00"	N24°05'56"E	6.65
C20	2.00	4.34	3.78	124°12'38"	N28°53'45"W	3.54
C21	15.00	19.10	11.09	72°56'31"	N69°40'50"E	17.83
C22	25.00	31.69	18.37	72°37'38"	S37°32'06"E	29.61
C23	25.00	34.88	20.95	79°56'15"	S38°50'36"W	32.12
C24	15.00	17.48	9.89	66°46'46"	N67°47'53"W	16.51
C25	2.00	4.31	3.71	123°24'26"	N27°17'43"E	3.52
C26	3.00	4.83	3.12	92°17'30"	N44°51'19"W	4.33
C27	15.00	23.57	15.01	90°02'16"	N43°41'26"W	21.22
C28	25.00	39.28	25.01	90°00'46"	N46°20'05"E	35.36
C29	3.00	4.60	2.89	87°51'14"	S44°55'41"E	4.16
C30	3.00	4.83	3.12	92°09'18"	N45°04'35"E	4.32
C31	2.00	6.33	102.07	177°42'30"	S00°08'41"W	4.08
C32	2.50	7.85	180°00'01"	S01°00'04"E	5.00	4.24
C33	3.00	4.71	3.00	90°00'00"	N46°00'04"W	4.24
C34	3.00	4.71	3.00	90°00'00"	S43°59'56"W	4.24
C35	2.50	7.85	180°00'00"	N01°00'04"W	5.00	4.24
C36	3.32	10.58	182°17'30"	N00°08'41"E	6.65	6.65
C37	2.00	4.56	4.35	130°35'22"	S66°08'41"E	6.65

PNT#	X	Y
1	415420.99	1495490.24
2	415445.31	1495464.67
3	415444.94	1495448.74
4	415447.65	1495435.56
5	415444.97	1495431.32
6	415430.23	1495431.07
7	415431.45	1495359.08
8	415446.69	1495359.34
9	415448.33	1495356.13
10	415436.60	1495350.16
11	415426.70	1495349.99
12	415409.62	1495359.04
13	415356.72	1495308.54
14	415342.30	1495321.44
15	415342.36	1495333.79
16	415345.63	1495336.72
17	415382.44	1495335.92
18	415387.33	1495330.81
19	415387.18	1495324.00
20	415307.14	1495305.26
21	415333.19	1495281.95
22	415334.33	1495271.30
23	415297.42	1495267.34
24	415349.33	1495217.73
25	415343.62	1495243.84
26	415345.21	1495246.36
27	415357.17	1495258.52
28	415363.89	1495256.76
29	415371.30	1495229.48
30	415396.83	1495202.52
31	415400.38	1495202.52
32	415456.36	1495268.69
33	415465.78	1495326.92
34	415494.37	1495326.75
35	415494.66	1495310.37
36	415544.15	1495311.23
37	415543.84	1495329.25
38	415546.81	1495331.03
39	415554.53	1495318.18
40	415556.80	1495188.30
41	415581.67	1495187.71
42	415584.38	1495193.78
43	415598.71	1495194.03
44	415596.61	1495314.01
45	415580.08	1495313.72
46	415578.37	1495316.82
47	415595.09	1495323.01
48	415613.13	1495299.53
49	415611.55	1495379.47
50	415591.41	1495354.46
51	415576.12	1495360.69
52	415577.74	1495363.82
53	415595.74	1495364.14
54	415594.48	1495436.13
55	415576.81	1495435.82
56	415573.76	1495438.89
57	415574.14	1495455.71
58	415483.16	1495457.54
59	415492.75	1495436.54
60	415489.75	1495439.61

PNT#	X	Y
61	415475.09	1495454.65
62	415475.31	1495464.21
63	415500.88	1495488.82
64	415502.94	1495415.36
65	415505.88	1495412.41
66	415506.18	1495394.67
67	415526.18	1495395.32
68	415525.89	1495411.12
69	415528.95	1495414.77
70	415547.89	1495414.39
71	415547.88	1495413.39
72	415531.92	1495410.63
73	415532.80	1495360.74
74	415548.30	1495360.11
75	415548.38	1495355.11
76	415528.89	1495354.99
77	415528.83	1495357.13
78	415526.54	1495374.03
79	415506.54	1495374.38
80	415506.84	1495357.19
81	415503.89	1495354.33
82	415481.39	1495354.44
83	415481.31	1495359.44
84	415496.80	1495359.11
85	415495.93	1495409.10
86	415481.26	1495409.55
87	415481.27	1495415.19
88	415398.63	1495296.13
89	415534.48	1495299.44
90	415544.45	1495289.12
91	415546.15	1495201.66
92	415400.42	1495199.22
93	415423.91	1495479.03
94	415598.80	1495475.16
95	415601.85	1495300.24
96	415603.79	1495189.22
97	415424.38	1495185.86
98	415409.27	1495172.17
99	415293.12	1495289.15
100	415306.26	1495304.13
101	415307.47	1495361.15
102	415423.95	1495358.18
103	415424.11	1495467.89
104	415578.80	1495463.19
105	415599.34	1495443.14
106	415384.98	1495322.44
107	415360.32	1495322.88
108	415360.05	1495309.88



LOCATION MAP
ZONE ATLAS INDEX MAP No. H-20-Z

LEGAL DESCRIPTION

A certain tract of land situate within the northeast one-quarter (NE1/4) of the southeast one-quarter (SE1/4) of Section 8, Township 10 North, Range 4 East, New Mexico, Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Parcel numbered Four (4) of the FIRST REPEAT OF PORTION OF AMENDED AND CORRECTED PLAT OF UNCLE DOC ADDITION NO. 2, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on March 3, 1970 in Volume 04, Folio 70 as Document No. 67813, together with Parcel 2-C of the LAND DIVISION PLAT SHOWING PARCELS "2-A", "2-B", & "2-C", COMPRISING PARCEL "2" OF THE UNCLE DOC ADDITION NO. 2, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on August 5, 1972 in Volume C8, Folio 171.

LEGEND

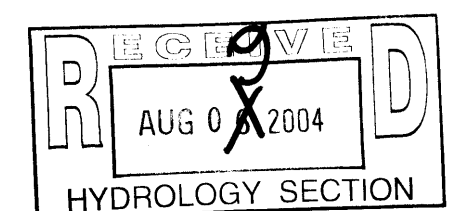
- PROPERTY LINE
- COORDINATE POINT
- CURVE DATA
- HEAVY DUTY PAVEMENT SECTION, SEE DETAIL, SHEET C3

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- CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.

KEYED NOTES

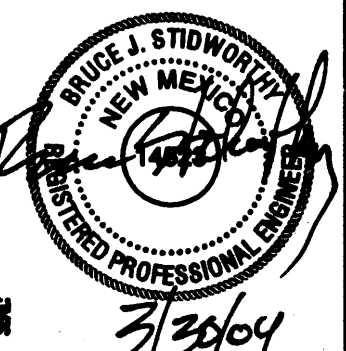
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- SEE GRADING PLAN FOR...
- SCREEN WALL, SEE ARCHITECTURAL FOR DETAILS
- WHITE CROSSWALK MARKING
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- 4" WIDE WHITE STRIPE
- EXISTING 6" WIDE SIDEWALK TO REMAIN
- REMOVE & DISPOSE OF EXISTING DRIVEPAD, INSTALL 6" WIDE SIDEWALK & STANDARD CURB & GUTTER AS PER COA STD. DWG. 2430 AND 2415
- EXISTING DRIVEPAD TO REMAIN
- MONUMENT SIGN BY SEPARATE PERMIT
- REFER TO SHEET SP-3 FOR PARKING BUMPER AND SIGN DETAILS



THIS COORDINATE INFORMATION IS PROVIDED TO GUIDE THE CONSTRUCTION STAKING PROCESS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT ALL STAKED POINTS CONFORM TO THE SITE PLAN DIMENSIONS AND THE INTENT OF THESE PLANS. ALL CONFLICTS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO FURTHER STAKING OR CONSTRUCTION.

Bohannon & Huston
Courtney | 7800 Jefferson St. NE | Albuquerque, NM 87109-4386
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

TAIT & ASSOCIATES, INC.
1232 EAST BROADWAY ROAD, SUITE 205
TEMPE, ARIZONA 85282
PHONE (480) 894-8989 FAX (480) 894-0989
ARCHITECTS ENGINEERS SANTA ANA, CA - SAN DIEGO, CA - SACRAMENTO, CA - CONCORD, CA



DATE	REVISION
8/9/04	DATE
	BY
	DESCRIPTION
	DATE
	BY
	DESCRIPTION

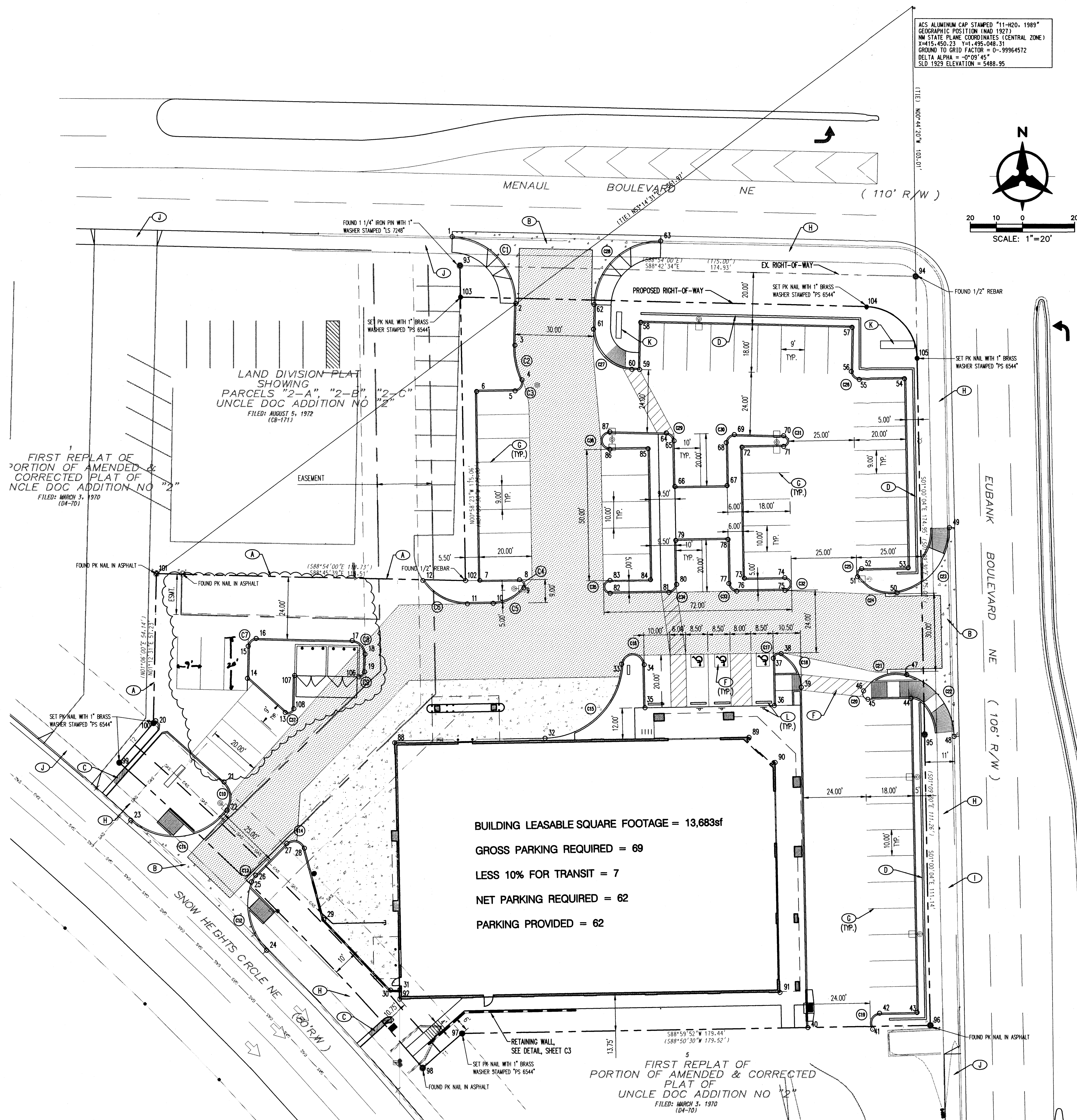
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ALBUQUERQUE, NEW MEXICO

DATE	REVISION
8/9/04	DATE
	BY
	DESCRIPTION
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	DESCRIPTION

AS SHOWN
DATE 8/9/04
BY AZGMS

HORIZONTAL
CONTROL & TRAFFIC
CIRCULATION
LAYOUT PLAN

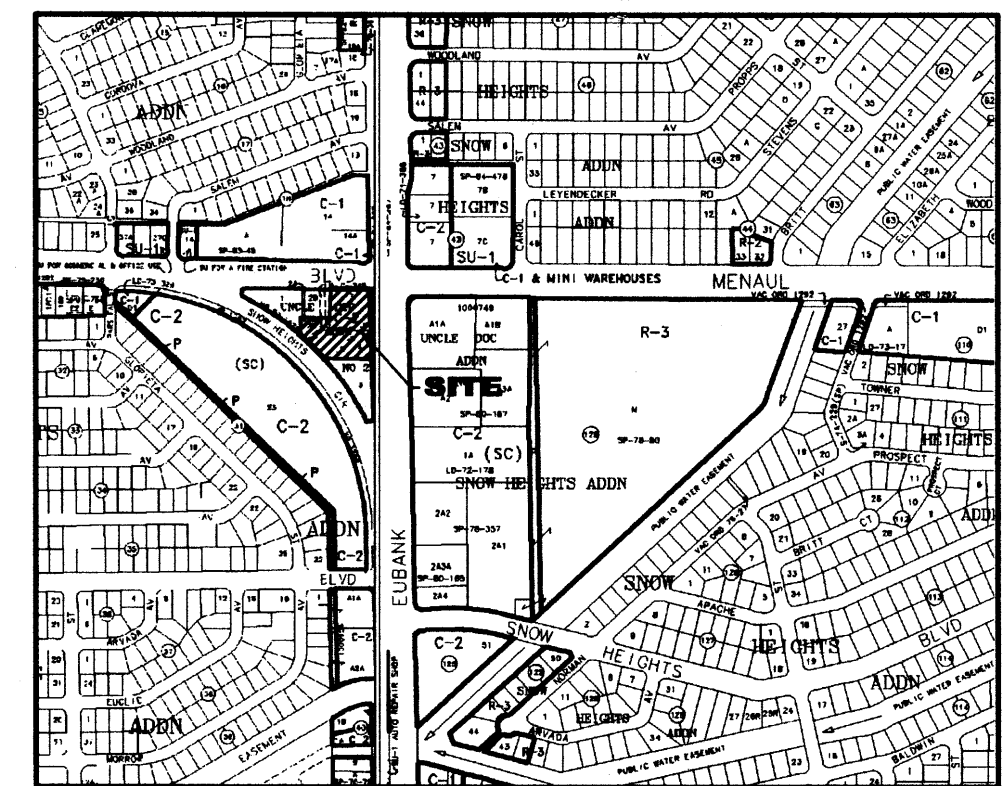
C4



Curve Table						
ID	RADIUS	ARC	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.18'	6.91'	89° 47' 01"	S43° 33' 48"E	35.29'
C2	30.00'	13.57'	24.80'	25° 55' 22"	S11° 37' 59"E	13.46'
C3	3.00'	5.95'	4.58'	113° 33' 39"	S32° 14' 47"W	5.02'
C4	2.90'	4.47'	4.10'	127° 58' 48"	S26° 58' 59"E	3.95'
C5	15.00'	13.62'	7.32'	52° 01' 12"	S63° 01' 01"W	13.58'
C6	20.00'	20.17'	11.04'	57° 47' 00"	N62° 04' 53"W	19.33'
C7	3.00'	4.71'	3.00'	90° 00' 00"	S46° 14' 21"W	4.24'
C8	5.00'	7.85'	5.00'	90° 00' 00"	N43° 45' 39"E	7.07'
C9	2.00'	3.14'	2.00'	90° 00' 00"	N46° 14' 21"E	2.83'
C10	8.00'	11.75'	7.22'	84° 07' 28"	S06° 06' 42"E	10.72'
C11	25.00'	41.83'	27.71'	95° 52' 35"	S83° 53' 10"W	37.12'
C12	25.00'	28.21'	15.82'	64° 38' 31"	N12° 20' 01"E	26.73'
C13	7.00'	3.00'	1.52'	24° 32' 36"	N32° 15' 27"E	2.96'
C14	4.00'	8.41'	6.99'	120° 26' 20"	S75° 15' 10"E	6.94'
C15	30.00'	44.83'	27.79'	85° 33' 26"	N46° 11' 14"E	40.78'
C16	4.30'	13.18'	112.54'	175° 37' 25"	S88° 48' 47"E	8.56'
C17	2.00'	4.19'	3.46'	120° 01' 01"	N58° 59' 57"E	3.46'
C18	15.00'	15.71'	8.65'	59° 59' 59"	S31° 00' 03"E	15.00'
C19	3.67'	8.32'	7.84'	129° 48' 00"	N24° 05' 56"E	6.65'
C20	2.90'	4.34'	3.78'	124° 12' 38"	N28° 53' 45"E	3.84'
C21	15.00'	19.10'	11.89'	72° 56' 31"	N69° 40' 50"E	17.83'
C22	25.00'	31.69'	18.37'	72° 37' 38"	S37° 32' 06"E	29.61'
C23	25.00'	34.88'	20.95'	79° 56' 15"	S38° 50' 36"W	32.12'
C24	15.00'	17.48'	9.89'	66° 46' 58"	N67° 47' 53"E	16.51'
C25	2.00'	4.31'	3.71'	123° 24' 26"	N27° 17' 13"E	3.52'
C26	3.00'	4.83'	3.12'	92° 17' 30"	N44° 51' 19"W	4.33'
C27	15.00'	23.57'	15.01'	90° 02' 16"	N43° 41' 26"W	21.22'
C28	25.00'	39.28'	25.01'	90° 00' 46"	N46° 20' 05"E	35.36'
C29	3.00'	4.60'	2.89'	87° 51' 14"	S44° 55' 41"E	4.16'
C30	3.00'	4.83'	3.12'	92° 09' 18"	N45° 04' 35"E	4.32'
C31	2.00'	6.33'	102.07'	177° 42' 30"	S00° 00' 48"E	4.06'
C32	2.50'	7.85'	—	180° 00' 01"	S01° 00' 04"E	5.00'
C33	3.00'	4.71'	3.00'	90° 00' 00"	N46° 00' 04"E	4.24'
C34	3.00'	4.71'	3.00'	90° 00' 00"	S43° 59' 56"W	4.24'
C35	2.50'	7.85'	—	180° 00' 00"	N01° 00' 04"E	5.00'
C36	2.32'	10.58'	—	182° 17' 30"	N00° 08' 41"E	6.65'
C37	2.90'	4.56'	4.33'	130° 35' 22"	S66° 08' 41"E	6.63'

COORDINATE DATA		
PNT#	X	Y
1	415420.99	1495490.24
2	415445.31	1495464.67
3	415444.94	1495448.74
4	415447.05	1495435.36
5	415444.97	1495392.30
6	415430.23	1495431.07
7	415431.45	1495359.08
8	415446.69	1495359.34
9	415448.33	1495356.13
10	415436.60	1495350.16
11	415426.70	1495349.99
12	415408.62	1495329.04
13	415356.72	1495340.54
14	415342.30	1495321.44
15	415342.56	1495333.79
16	415345.63	1495336.72
17	415382.44	1495335.92
18	415387.33	1495330.81
19	415387.18	1495324.00
20	415307.14	1495305.26
21	415333.19	1495281.95
22	415334.33	1495271.30
23	415297.42	1495267.34
24	415349.33	1495217.73
25	415343.62	1495243.84
26	415345.21	1495246.36
27	415357.17	1495258.52
28	415363.89	1495256.76
29	415371.30	1495229.48
30	415396.02	1495209.12
31	415400.38	1495202.50
32	415456.36	1495298.69
33	415485.78	1495326.92
34	415494.37	1495326.75
35	415494.66	1495310.37
36	415544.15	1495311.23
37	415543.84	1495329.25
38	415546.81	1495331.03
39	415553.53	1495331.08
40	415556.80	1495188.30
41	415581.67	1495187.71
42	415584.38	1495193.78
43	415598.71	1495194.03
44	415596.61	1495314.01
45	415580.08	1495313.72
46	415576.37	1495316.82
47	415596.09	1495318.18
48	415613.13	1495299.53
49	415611.55	1495379.47
50	415591.41	1495354.46
51	415576.12	1495360.69
52	415577.74	1495363.82
53	415595.74	1495364.14
54	415594.48	1495436.13
55	415576.81	1495438.82
56	415573.78	1495438.99
57	415574.14	1495455.71
58	415493.16	1495457.54
59	415492.75	1495439.54
60	415489.75	1495439.61

COORDINATE DATA		
PNT#	X	Y
61	415475.09	1495454.95
62	415475.09	1495464.21
63	415500.88	1495488.62
64	415502.94	1495415.36
65	415505.88	1495412.41
66	415518.18	1495394.97
67	415526.18	1495395.32
68	415525.89	1495411.72
69	415528.95	1495414.77
70	415547.89	1495414.39
71	415547.88	1495410.03
72	415531.92	1495410.03
73	415532.80	1495360.04
74	415548.30	1495360.31
75	415548.38	1495355.31
76	415529.89	1495354.99
77	415526.83	1495357.93
78	415626.54	1495374.93
79	415506.54	1495374.58
80	415506.84	1495357.59
81	415503.89	1495354.53
82	415481.39	1495354.14
83	415481.31	1495359.14
84	415496.80	1495359.41
85	415495.93	1495408.40
86	415481.26	1495409.15
87	415481.27	1495415.79
88	415398.63	1495296.93 FACE OF BLDG
89	415344.48	1495299.14 FACE OF BLDG
90	415544.45	1495288.52 FACE OF BLDG
91	415546.15	1495281.65 FACE OF BLDG
92	415540.42	1495199.12 FACE OF BLDG
93	415423.91	1495479.10 PROP. CORNER
94	415598.80	1495475.16 PROP. CORNER
95	415601.85	1495300.24 PROP. CORNER
96	415603.79	1495189.12 PROP. CORNER
97	415424.38	1495185.98 PROP. CORNER
98	415409.27	1495172.87 PROP. CORNER
99	415293.12	1495288.25 PROP. CORNER
100	415306.25	1495304.33 PROP. CORNER
101	415307.47	1495361.55 PROP. CORNER
102	415425.95	1495338.98 PROP. CORNER
103	415424.11	1495467.09 PROP. CORNER
104	415579.80	1495463.59 PROP. CORNER
105	415599.34	1495443.94 PROP. CORNER
106	415634.98	1495322.04 PROP. CORNER
107	415360.32	1495322.58 PROP. CORNER
108	415360.05	1495309.98 PROP. CORNER



LEGAL DESCRIPTION

A certain tract of land situate within the northeast one-quarter (NE1/4) of the southwest one quarter (SE1/4) of Section 8, Township 10 North, Range 4 East, New Mexico Principal Meridian, Santa Fe County, Albuquerque, New Mexico, being and comprising all of Parcel numbered F-6, as shown on the REEL REPLAT OF PORTION OF AMENDED AND CORRECTED PLAT OF UNCLE DODD ADDITION NO. 2, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on March 3, 1970 in Volume 8C, Folio 171; Document No. 87815, together with Parcel 2-C of the LAND DIVISION PLAT SHOWING PARCELS "2-A", "20-B", & "2-C", COMPRISING PARCEL "2" OF THE UNCLE DODD ADDITION NO. 2, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico, on August 5, 1972 in Volume 8C, Folio 171.

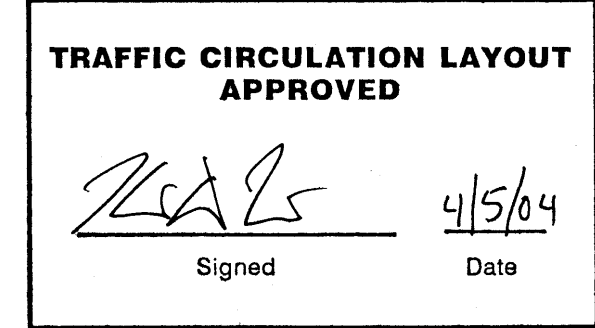
	PROPERTY LINE
	COORDINATE POINT
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	HEAVY DUTY PAVEMENT SECTION, SEE DETAIL, SHEET C3

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(A) KEYED NOTES

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- B. INSTALL CONCRETE VALLEY GUTTER AS PER COA STD. DWG. 2420. REMOVE EXISTING GUTTER AND/OR DRIVEPAD AS REQUIRED FOR NEW DRIVEWAY & HANDICAP RAMPS
- C. SEE GRADING PLAN FOR...
- D. SCREEN WALL, SEE ARCHITECTURAL FOR DETAILS
- E. WHITE CROSSWALK MARKING
- F. WHEEL CHAIR PAVEMENT MARKING & PAINTED ACCESS AISLE
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Bohannon ▲ Huston_{LLC}
 Courtyard I 7800 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

		STORE # 5405 SWC MANUAL BLVD. & ELBANK BLVD. ALBUQUERQUE, NEW MEXICO	
SBL REVIEW	DATE	INITIAL	
DRAWING CIP		-	
CHECKED BY	11-11-88	ME	
DESIGNED BY	11-11-88	ME	
TRACED BY#1			
TRACED BY#2			
CHECKED BY			
APPROVED BY			
Scale: AS SHOWN Notes: N Check: 05/88 Drawing Date: 04/88 Drawing Title: AZ208			
Sheet: HORIZONTAL CONTROL & TRAFFIC CIRCULATION LAYOUT PLAN C4			