

2 SCHEDULE OF GENERAL NOTES

- THE CONTRACTOR SHALL CALL THE NEW MEXICO ONE CALL SYSTEM AT 1-800-321-2537 TO REQUEST MARKING THE LOCATION OF EXISTING UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING OF EXCAVATION.
- EXISTING UTILITIES ARE SHOWN APPROXIMATELY AND FOR GENERAL INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- MANHOLE LIDS AND SLEEVES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- UNDERGROUND STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS.
- PROVIDE PIPE BOLLARDS AT LOCATIONS SHOWN AND AT LOCATIONS SPECIFIED BY THE OWNER, REGULATORY AGENCIES AND UTILITY COMPANIES. COORDINATE BOLLARD INSTALLATION WITH FINISHED PAVING GRADE.
- EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- UNLESS OTHERWISE SHOWN, NEW PAVING SHALL BE CONSTRUCTED TO ALLOW FOR POSITIVE DRAINAGE TO CATCH BASIN, CURB, GUTTER, AND OTHER RUNOFF COLLECTION DEVICES. NEW PAVEMENT SLOPE SHALL BE MINIMUM 0.50% FOR CONCRETE AND 1.5% FOR ASPHALT UNLESS OTHERWISE INDICATED OR DIRECTED BY THE ARCHITECT/ENGINEER.
- ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE SODED UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES AND TO COMPLY WITH NEW MEXICO DEPARTMENT OF NATURAL RESOURCES STANDARDS.
- EXISTING BOUNDARY AND TOPOGRAPHIC SURVEY WAS PREPARED BY SURVEYS SOUTHWEST, LTD., JANUARY 2004. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EXISTING GROUND CONDITIONS ARE NOT REPRESENTATIVE IN THE FIELD.
- THE CONTRACTOR SHALL KEEP THE SITE CLEAN AT ALL TIMES AND CONTROL DUST RESULTING FROM THE EARTHWORK OPERATIONS. THE CONTRACTOR SHALL NOT TRACK MUD ONTO THE PUBLIC STREETS.
- NEW CONTOURS DENOTE TOP OF FINISHED PAVING AND GRADED AREA AS INDICATED. ALL SPOT ELEVATIONS ARE TO THE TOP OF CURB UNLESS NOTED OTHERWISE.
- STORM DRAIN STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- ALL ROOF DRAIN PIPES ARE POLYVINYL CHLORIDE (PVC) SCHEDULE 40 OR SDR 30, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SHALL NOT DAMAGE OR DISTURB ANY SERVICE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY DAMAGED UTILITIES CAUSED BY HIS CONSTRUCTION OPERATIONS.
- ALL DRAINAGE PIPES, SHALL HAVE A MINIMUM COVER OF (1) FEET TO TOP OF PIPE, UNLESS NOTED OTHERWISE.
- BEDDING MATERIALS SHALL BE OF GRADE AS SPECIFIED IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. PIPES SHALL BE PLACED ON AT LEAST 6-INCHES OF BEDDING MATERIALS, AND BACKFILLED WITH SAME MATERIALS.
- ADJUST ALL VALVE BOXES AND MANHOLE COVERS TO FINISHED GRADE WHEN APPLICABLE.
- THE CONTRACTOR SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), TO MAINTAIN A VIABLE TRENCH SAFETY SYSTEM AT ALL TIMES.
- THE CONTRACTOR SHALL FURNISH ALL BONDS AND INSPECTION FEES AS REQUIRED BY THE CITY OF ALBUQUERQUE.
- THE PROPERTY FLOOD ZONE DESIGNATION IS ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 35001C0365 D, EFFECTIVE DATE SEPTEMBER 20, 1996.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
- IF A CONFLICT EXISTS BETWEEN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS AND FOR CONTACTING THE CITY TO ARRANGE FOR A PRE CONSTRUCTION CONFERENCE IF SO REQUESTED BY THE CITY, PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL REQUIREMENTS FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- FOR PAVEMENT THICKNESSES AND MATERIAL SPECIFICATIONS, REFER TO DETAIL SHEETS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL STANDARDS.

3 SPECIAL NOTES

- PAVEMENT GRADES IN MARKED HANDICAPPED AREA SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
- REFER TO PUBLIC IMPROVEMENT PLANS FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

DRAINAGE CERTIFICATION

I, MALEK ELKHOURY, NMPE 14357, OF THE FIRM KHOURY ENGINEERING, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-25-2004. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY STEPHEN E. WALKER, NMPS 6401, OF THE FIRM WALKER SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3-07-2005 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Malek Elkhoury
MALEK ELKHOURY, NMPE 14357
DATE 4/6/05

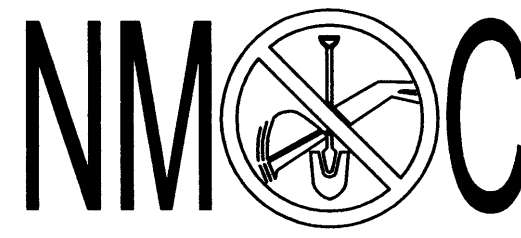
DRAINAGE NOTE

REFER TO DRAINAGE PLAN SHEET C2.1 FOR DETAILS OF STORM DRAIN SYSTEM AND DRAINAGE CALCULATIONS.

BENCHMARK NOTE

ELEVATIONS HEREON ARE BASED ON ACS BENCHMARK 9-119, THE PUBLISHED ELEVATION OF WHICH IS 5369.542, AND IS LOCATED IN THE S.W. QUADRANT OF THE INTERSECTION OF WYOMING BOULEVARD N.E. AND INDIAN SCHOOL ROAD N.E.

CONTRACTOR SHALL CONTACT NEW MEXICO ONE-CALL SYSTEM @ (800) 321-2537, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION



Walgreens
FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL 60015
847-940-2500

Timothy M. Gallup
Architect of Record
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(918) 584-8855 • (918) 584-2880 FAX
cgo@calahongallup.com (e-mail)

Khoury Engineering, Inc.
Civil Engineering - Land Development
1435 East 41st Street Tulsa, OK 74105
CA #3751, Renewal 06-30-05 Tel 918.712.8768 Fax 918.712.1069

PROJECT TYPE			
DRAWINGS/SPECIFICATIONS BY:			
<input type="checkbox"/> WALGREENS' CONSULTANT	<input checked="" type="checkbox"/> LANDLORD'S CONSULTANT		
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:			
<input type="checkbox"/> WALGREENS' CONTRACTOR	<input checked="" type="checkbox"/> LANDLORD'S CONTRACTOR	(TURNKEY CONSTRUCTION)	
STORE		BUILDING	
NEW.....	<input checked="" type="checkbox"/>	NEW.....	<input checked="" type="checkbox"/>
REMODELING....	<input type="checkbox"/>	NEW.....	<input type="checkbox"/>
RELOCATION....	<input type="checkbox"/>	EXISTING.....	<input type="checkbox"/>
OTHERS.....	<input type="checkbox"/>	NEW SHELL ONLY .	<input type="checkbox"/>

NO.	DATE	BY	DESCRIPTION	CONST.
1	4/07/05	MDE	AS-BUILT	
2	9/28/04	MDE	ORC #2	
3	9/15/04	MDE	ADDENDA #2 REBID	

REVISIONS				

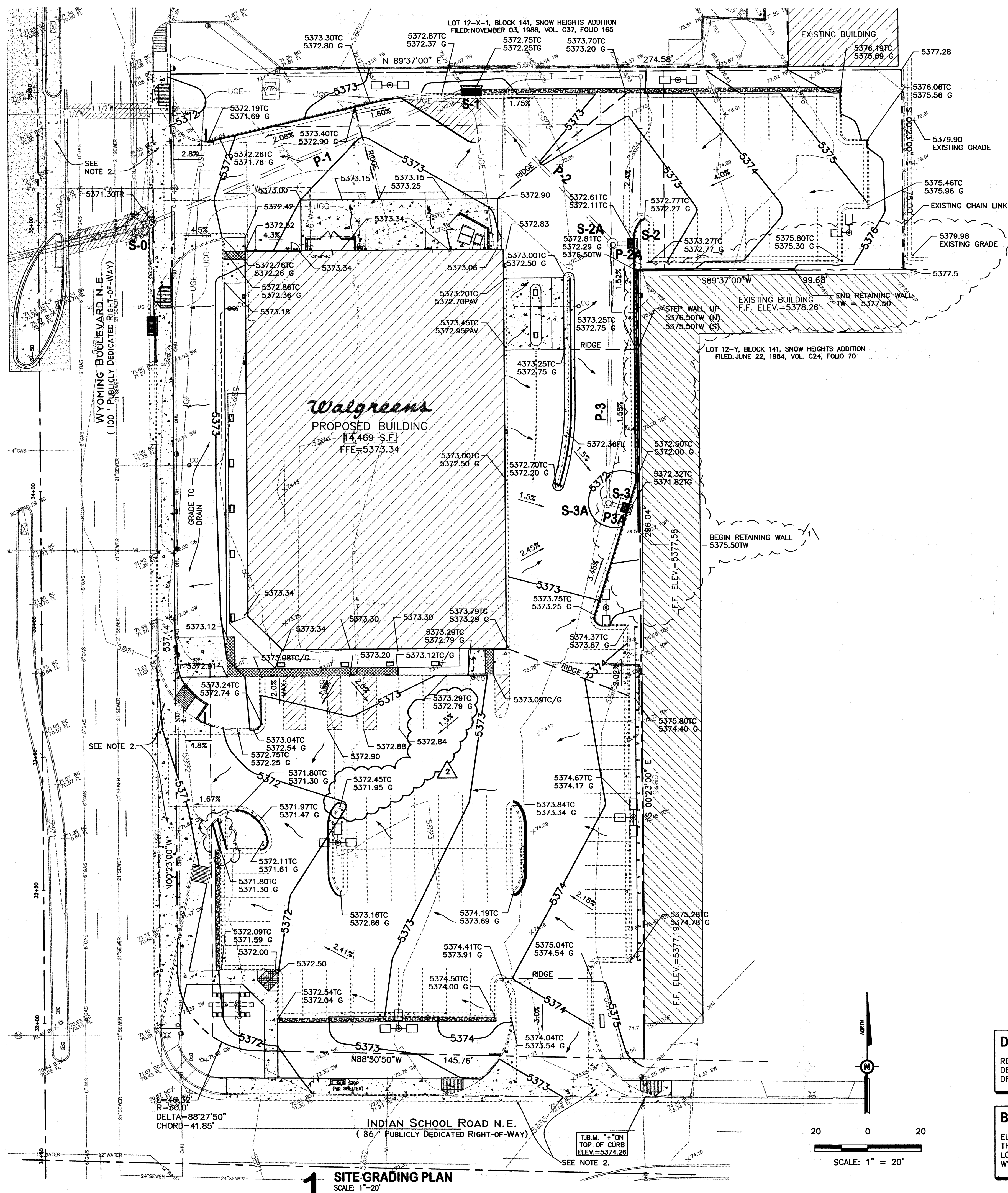
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Malek Elkhoury
MALEK ELKHOURY
NEW MEXICO
14357
REGISTERED PROFESSIONAL ENGINEER

PROJECT NAME
(NEC) WYOMING BLVD & INDIAN SCHOOL RD. ALBUQUERQUE, NM

DRAWING TITLE		
SITE GRADING PLAN		
DATE 6/24/04 CRITERIA-FISCAL 2004	STORE NO. # 09213	DRAWING NO. C2.2
DRAWN BY: KET	SCALE: AS SHOWN	OF 10 DWGS.
REVIEWED BY: MEE		



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3 SPECIAL NOTES

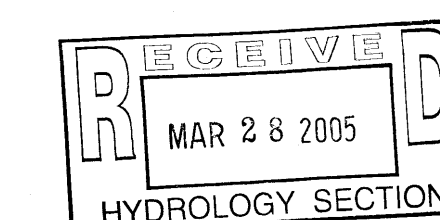
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Tulsa, OK 74105
CA #3751, Renewal 06-30-05
Tel 918.712.8768
Fax 918.712.1069

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
☐ WALGREENS' CONSULTANT ☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
☐ WALGREENS' CONTRACTOR
☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW.....	<input checked="" type="checkbox"/>	NEW.....	<input checked="" type="checkbox"/>
REMODELING....	<input type="checkbox"/>	NEW.....	<input type="checkbox"/>
RELOCATION.....	<input type="checkbox"/>	EXISTING.....	<input type="checkbox"/>
OTHERS.....	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>

NO.	DATE	BY	DESCRIPTION	CONST.
1	9/28/04	MDE	ORC #2	
2	9/15/04	MDE	ADDENDA #2 REBID	

REVISIONS

CERTIFICATION AND SEAL

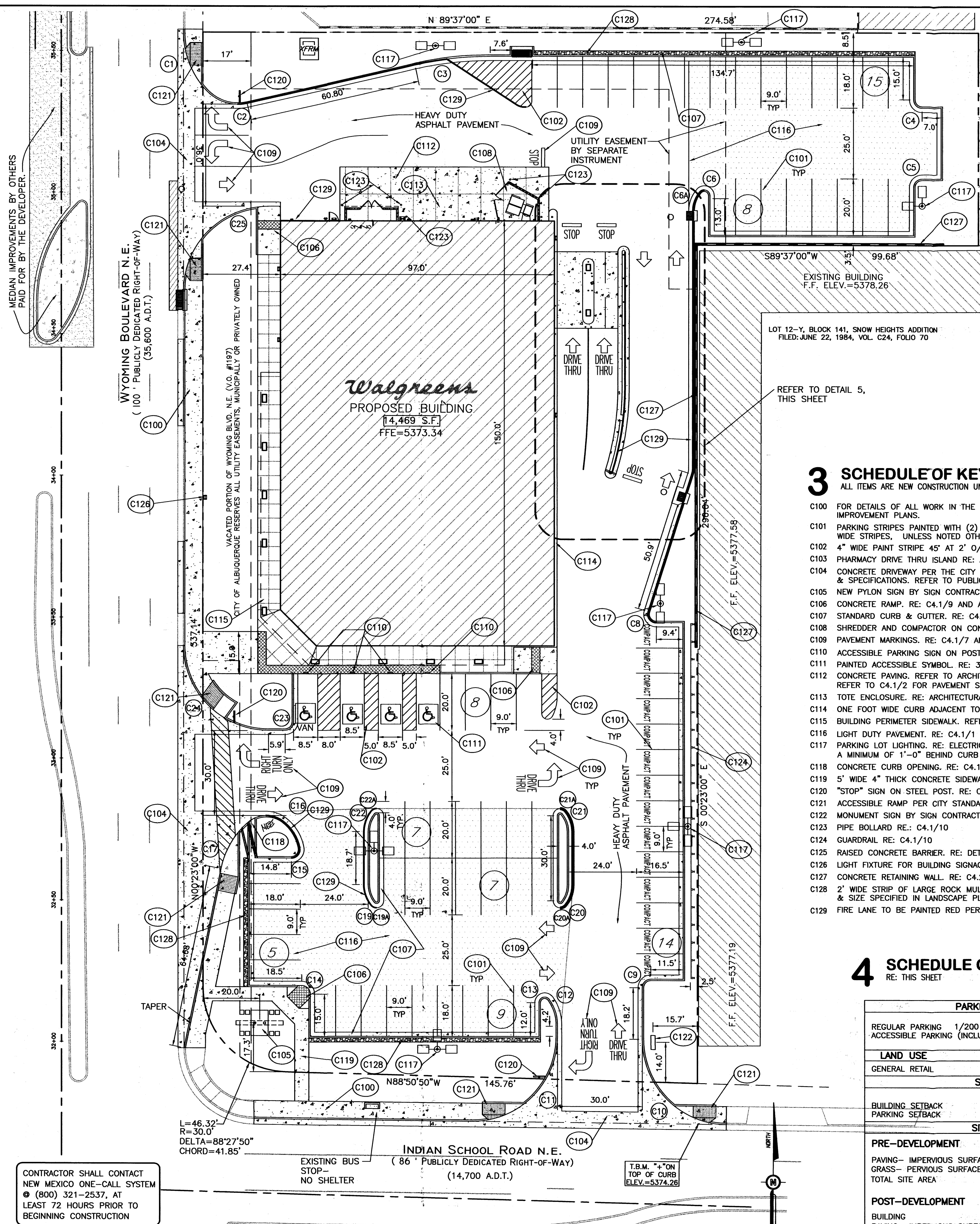
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PROJECT NAME
(NEC) WYOMING BLVD & INDIAN SCHOOL RD.
ALBUQUERQUE, NM

DRAWING TITLE
SITE GRADING PLAN

DATE 6/24/04 CRITERIA-FISCAL 2004	STORE NO. # 09213	DRAWING NO. C2.2
DRAWN BY: KET	SCALE: AS SHOWN	OF 10 DWGS.
REVIEWED BY: MEE		



1 SITE PLAN & HORIZONTAL CONTROL
SCALE: 1" = 20'

2 HORIZONTAL CONTROL DATA

CURVE DATA TABLE				
CURVE	RADIUS	ANGLE	LENGTH	CHORD
1	30.0'	43°40'57"	22.87'	22.32'
2	15.0'	59°12'15"	15.50'	14.82'
3	120.0'	12°53'12"	26.99'	26.72'
4	3.0'	90°00'00"	4.71'	4.24'
5	3.0'	90°00'00"	4.71'	4.24'
6	2.0'	138°35'25"	4.84'	3.51'
6A	10.0'	41°24'35"	7.23'	7.07'
7	5.0'	21°30'27"	1.88'	1.86'
8	3.0'	107°37'37"	5.63'	4.84'
9	3.0'	90°00'00"	4.71'	4.24'
10	30.0'	89°21'10"	46.78'	42.19'
11	30.0'	90°38'50"	47.46'	42.17'
12	15.0'	46°00'08"	9.40'	9.30'
13	2.0'	143°00'52"	5.02'	3.80'
14	3.0'	90°00'00"	4.71'	4.24'
15	3.0'	99°37'09"	5.22'	4.58'
16	15.0'	43°30'40"	11.39'	11.12'
17	30.0'	36°28'53"	19.10'	18.78'
18				
19	10.0'	38°56'33"	6.79'	6.67'
19A	1.0'	141°03'33"	2.46'	1.89'
20	10.0'	38°56'33"	6.79'	6.67'
20A	1.0'	141°03'33"	2.46'	1.89'
21	10.0'	38°56'33"	6.79'	6.67'
21A	1.0'	141°03'33"	2.46'	1.89'
22	10.0'	38°56'33"	6.79'	6.67'
22A	1.0'	141°03'33"	2.46'	1.89'
23	3.0'	90°00'00"	4.71'	4.24'
24	30.0'	89°59'16"	44.12'	42.42'
25	30.0'	90°00'06"	47.12'	42.43'
26	0.5'	180°00'00"	1.57'	1.00'
27	100.0'	17°28'47"	30.51'	30.39'
28	0.5'	180°00'00"	1.57'	1.00'
29	99.0'	17°28'47"	30.20'	30.09'

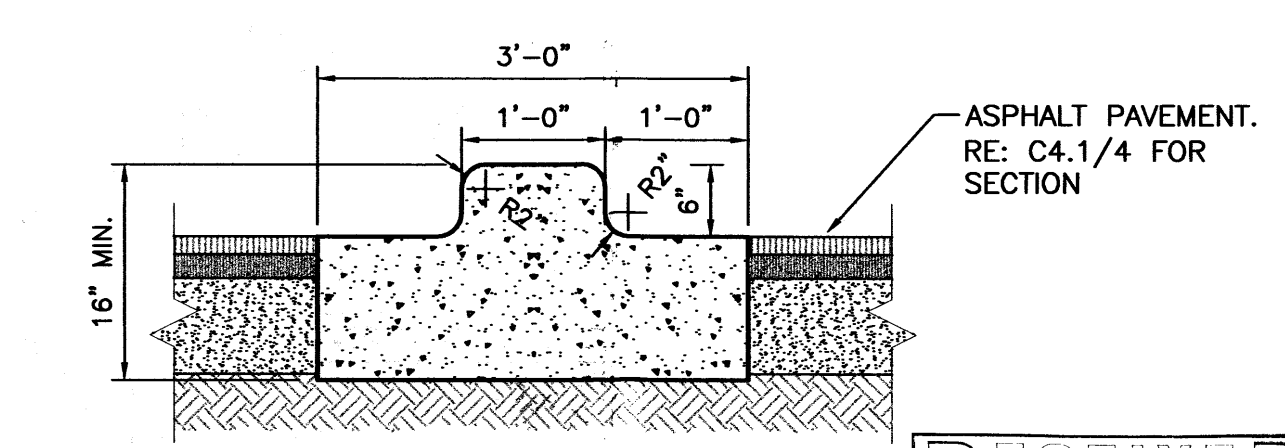
3 SCHEDULE OF KEYED NOTES
ALL ITEMS ARE NEW CONSTRUCTION UNLESS NOTED OTHERWISE

- C100 FOR DETAILS OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY REFER TO PUBLIC IMPROVEMENT PLANS.
- C101 PARKING STRIPES PAINTED WITH (2) COATS TRAFFIC YELLOW IN SINGLE 4" WIDE STRIPES. UNLESS NOTED OTHERWISE.
- C102 4" WIDE PAINT STRIPE 45° AT 2' O/C. USE 2 COAT YELLOW TRAFFIC PAINT.
- C103 PHARMACY DRIVE THRU ISLAND RE: ARCHITECTURAL PLANS
- C104 CONCRETE DRIVEWAY PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS & SPECIFICATIONS. REFER TO PUBLIC IMPROVEMENT PLANS
- C105 NEW PYLON SIGN BY SIGN CONTRACTOR. RE: A5.1 & A5.2.
- C106 CONCRETE RAMP. RE: C4.1/9 AND A0.2
- C107 STANDARD CURB & GUTTER. RE: C4.1/4
- C108 SHREDDER AND COMPACTOR ON CONCRETE PAVING. RE: ARCHITECTURAL PLANS
- C109 PAVEMENT MARKINGS. RE: C4.1/7 AND A0.2
- C110 ACCESSIBLE PARKING SIGN ON POST. RE: A0.2/6
- C111 PAINTED ACCESSIBLE SYMBOL. RE: 3/A0.2
- C112 CONCRETE PAVING. REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS. REFER TO C4.1/2 FOR PAVEMENT SECTION.
- C113 TOTE ENCLOSURE. RE: ARCHITECTURAL PLANS
- C114 ONE FOOT WIDE CURB ADJACENT TO BUILDING. RE: ARCHITECTURAL PLANS
- C115 BUILDING PERIMETER SIDEWALK. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- C116 LIGHT DUTY PAVEMENT. RE: C4.1/1
- C117 PARKING LOT LIGHTING. RE: ELECTRICAL PLANS FOR DETAILS. INSTALL POLE A MINIMUM OF 1'-0" BEHIND CURB UNLESS NOTED OTHERWISE.
- C118 CONCRETE CURB OPENING. RE: C4.1/11
- C119 5" WIDE 4" THICK CONCRETE SIDEWALK.
- C120 "STOP" SIGN ON STEEL POST. RE: C4.1/6
- C121 ACCESSIBLE RAMP PER CITY STANDARDS. REFER TO PUBLIC IMPROVEMENT PLANS
- C122 MONUMENT SIGN BY SIGN CONTRACTOR. RE: A5.1A
- C123 PIPE BOLLARD RE: C4.1/10
- C124 GUARDRAIL RE: C4.1/10
- C125 RAISED CONCRETE BARRIER. RE: DETAIL 6 THIS SHEET
- C126 LIGHT FIXTURE FOR BUILDING SIGNAGE. RE: ELECTRICAL PLANS
- C127 CONCRETE RETAINING WALL. RE: C4.2/1
- C128 2' WIDE STRIP OF LARGE ROCK MULCH FOR VEHICLE OVERHANG. MATCH TYPE & SIZE SPECIFIED IN LANDSCAPE PLANS AND SPECIFICATIONS.
- C129 FIRE LANE TO BE PAINTED RED PER CITY OF ALBUQUERQUE STANDARDS.

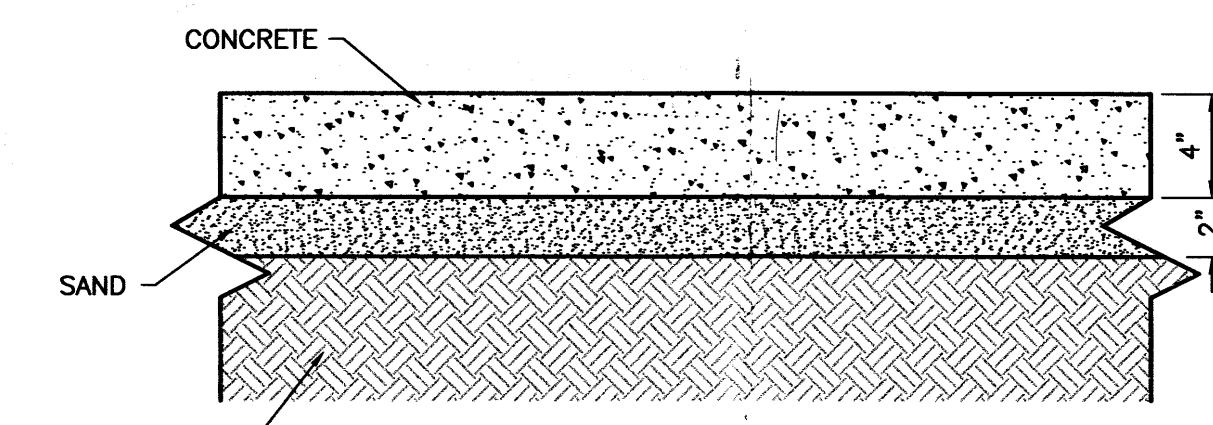
4 SCHEDULE OF SITE DATA
RE: THIS SHEET

PARKING SPACES				
		REQUIRED PROVIDED		
REGULAR PARKING	1/200 SF	73	73	
ACCESSIBLE PARKING	(INCLUDED ABOVE)	3	3	
LAND USE		ZONING		
GENERAL RETAIL	C-2	COMMUNITY COMMERCIAL		
SETBACK				
	FRONT	CORNER	SIDE	REAR
BUILDING SETBACK	5'	5'		0'
PARKING SETBACK	0'	0'		0'
SITE AREA				
PRE-DEVELOPMENT		SQ. FT.	ACRES	% OF TOTAL AREA
PAVING- IMPERVIOUS SURFACE		71,779.34	1.647	100%
GRASS- PERVIOUS SURFACE		-	-	-
TOTAL SITE AREA		71,779.34	1.647	100%
POST-DEVELOPMENT		SQ. FT.	ACRES	% OF TOTAL AREA
BUILDING		14,469.00	0.332	20%
PAVING- IMPERVIOUS SURFACE		46,337.34	1.063	65%
GRASS- PERVIOUS SURFACE		10,973.00**	0.252	15%
TOTAL SITE AREA		71,779.34	1.647	
PROPOSED BUILDING HEIGHT		(SEE ARCHITECTURAL PLANS)		
** REFER TO LANDSCAPE PLAN FOR POINT SYSTEM ALTERNATE COMPLIANCE				

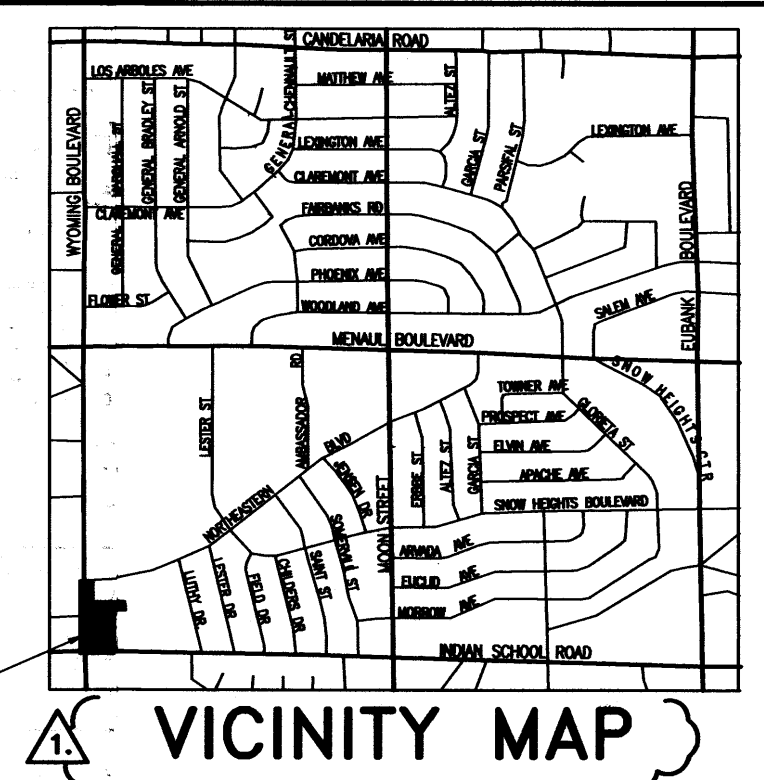
5 DRIVE THRU & RAISED CONCRETE BARRIER
SCALE: 1" = 10'



6 SECTION A-A
NOT TO SCALE



7 SIDEWALK DETAIL
NOT TO SCALE



FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL 60015
847-940-2500

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cgc@calhanguallup.com (e-mail)

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Civil Engineering - Land Development
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Tulsa, OK 74105
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STORE ☐ **BUILDING** ☐
NEW..... ☐ REMODELING..... ☐ NEW..... ☐
RELOCATION..... ☐ EXISTING..... ☐
OTHERS..... ☐ NEW SHELL ONLY..... ☐

8 LEGAL DESCRIPTION
LOT NUMBERED TWELVE-C-1 IN BLOCK NUMBERED ONE HUNDRED FORTY-ONE (141) OF SNOW HEIGHTS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 12-C-1, BEING A POINT ON THE EAST RIGHT-OF-WAY OF WYOMING BOULEVARD N.E.; THENCE LEAVING SAID RIGHT-OF-WAY N 89°55'10" E, 274.58 FEET TO THE NORTHEAST CORNER; THENCE S 00°04'50" E, 75.00 FEET TO A POINT; THENCE S 89°55'10" W, 99.68 FEET TO A POINT; THENCE S 00°04'50" E, 296.04 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTH RIGHT-OF-WAY OF INDIAN SCHOOL ROAD N.E.; THENCE ALONG SAID RIGHT-OF-WAY N 88°32'40" W, 150.82 FEET TO THE SOUTHWEST CORNER, AND POINT OF CURVATURE TO THE RIGHT WITH A CENTRAL ANGLE OF 88°27'50", HAVING A RADIUS OF 25.00 FEET, A DISTANCE OF 38.60 FEET (CHORD BEARING N 44°18'45" W, 34.88 FEET) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY OF WYOMING BLVD. N.E.; THENCE ALONG SAID RIGHT-OF-WAY N 00°04'50" W, 342.01 FEET TO THE NORTHWEST CORNER, THE POINT OF BEGINNING.

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: *[Signature]* Date: 8/24/04

NO.	DATE	BY	DESCRIPTION	CONST.
1.	8/23/04	MEE	CITY - TRANSPORTATION COMMENTS	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME
(NEC) WYOMING BLVD & INDIAN SCHOOL RD. ALBUQUERQUE, NM

DRAWING TITLE
SITE PLAN

DATE: 6/24/04
CRITERIA-FISCAL 2004

DRAWN BY: KET
REVIEWED BY: MEE

STORE NO. # 09213
SCALE: AS SHOWN

DRAWING NO.
C1.1
OF 10 DWGS.



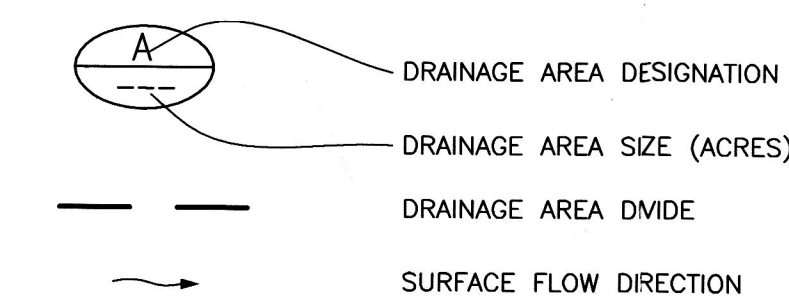
flood plain? ^{no}
offsite flows
duplicate every
So the water
pays cost of building?
west side of
road 1/4 over stream.

STR. #.	STRUCTURE TYPE	RIM	INV.
S-0	SEWER MANHOLE TYPE 'C'	5371.30	5367.20
S-1	DOUBLE "C" STORM INLET	5372.25	5367.86
S-2	SINGLE "C" STORM INLET	5372.11	5368.31
S-2A	SEWER MANHOLE TYPE 'C'	5372.25	5368.25
S-3	SINGLE "C" STORM INLET	5371.82	5368.81
S-3A	SEWER MANHOLE TYPE 'C'	5371.99	5368.75
S-4	DOUBLE "C" STORM INLET	5371.10	5367.86
P-1	15" RCP STORM DRAIN (130.69' LF)		
P-2	15" HDPE STORM DRAIN (78.06' LF)		
P-2A	15" HDPE STORM DRAIN (8' LF)		
P-3	15" HDPE STORM DRAIN (97.34' LF)		
P-3A	15" HDPE STORM DRAIN (8' LF)		
P-4	15" RCP STORM DRAIN (38.75' LF)		
RD-1	12" PVC ROOF DRAIN		

3 DRAINAGE CALCULATIONS

DIRECT RUNOFF (100 YR STORM)								
DESIGN POINT	AREA DENIGATION	UNPAVED AREA (AC)	PAVED AREA (AC)	WETLANDS, BLDG & PAVED (AC)	TOTAL AREA (AC)	TIME OF CONCENTRATION (HRS)	INTENSITY (in/hr)	PEAK FLOW Q (cfs)
RD-1	A	0	0.33	0.33	0.2	5.61	1.74	
S-1	B	0.02	0.09	0.11	0.2	5.61	0.53	
S-2	C	0.05	0.19	0.24	0.2	5.61	1.15	
S-3	D	0.01	0.16	0.17	0.2	5.61	0.87	
1	F	0.17	0.62	0.79	0.2	5.61	3.77	

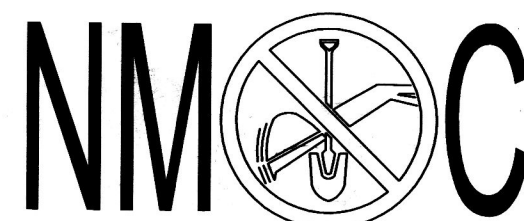
4 LEGEND - DRAINAGE SYMBOLS



4 LEGEND - DRAINAGE SYMBOLS

HYDROLOGY REVIEW ENGINEER	DATE
STORM DRAIN MAINTENANCE SUPERVISOR	DATE

CONTRACTOR SHALL CONTACT
NEW MEXICO ONE-CALL SYSTEM
© (800) 321-2537, AT
LEAST 72 HOURS PRIOR TO
BEGINNING CONSTRUCTION



STORE		BUILDING	
NEW.....	<input checked="" type="checkbox"/>	NEW.....	<input checked="" type="checkbox"/>
REMODELING....	<input type="checkbox"/>	EXISTING.....	<input type="checkbox"/>
RELOCATION....	<input type="checkbox"/>	NEW SHELL ONLY .	<input type="checkbox"/>
OTHERS.....	<input type="checkbox"/>		

[illegible]

REVISIONS

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AM A DULY REGISTERED
ARCHITECT OR ENGINEER
UNDER THE LAWS OF THE
STATE OF NEW MEXICO
AS SIGNIFIED BY MY HAND
AND SEAL.



PROJECT NAME

(NEC) WYOMING BLVD & INDIAN SCHOOL RD.
ALBUQUERQUE, NM

DRAWING TITLE

SITE DRAINAGE PLAN

DATE 6/24/04 CRITERIA-FISCAL 2004	
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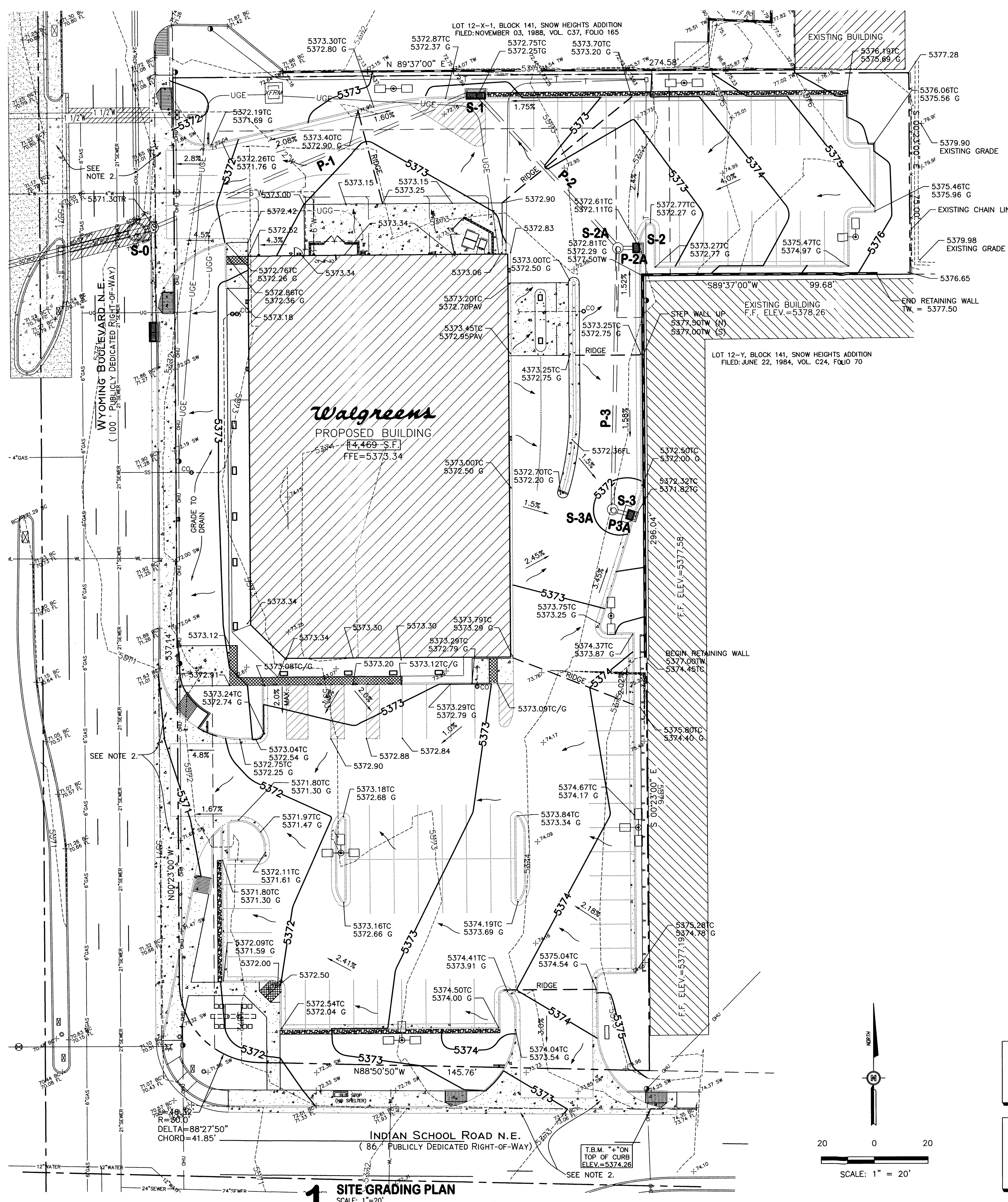
DRAWN
BY: KET

REVIEWED
BY: MEE

STORE NO. # 09213	
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C2.1

OF 10 DWGS.



2 SCHEDULE OF GENERAL NOTES

- THE CONTRACTOR SHALL CALL THE NEW MEXICO ONE CALL SYSTEM AT 1-800-321-2537 TO REQUEST MARKING THE LOCATION OF EXISTING UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING OF EXCAVATION.
- EXISTING UTILITIES ARE SHOWN APPROXIMATELY AND FOR GENERAL INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- MANHOLE LIDS AND SLEEVES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- UNDERGROUND STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS.
- PROVIDE PIPE BOLLARDS AT LOCATIONS SHOWN AND AT LOCATIONS SPECIFIED BY THE OWNER, REGULATORY AGENCIES AND UTILITY COMPANIES. COORDINATE BOLLARD INSTALLATION WITH FINISHED PAVING GRADE.
- EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- UNLESS OTHERWISE SHOWN, NEW PAVING SHALL BE CONSTRUCTED TO ALLOW FOR POSITIVE DRAINAGE TO CATCH BASIN, CURB, GUTTER, AND OTHER RUNOFF COLLECTION DEVICES. NEW PAVEMENT SLOPE SHALL BE MINIMUM 0.50% FOR CONCRETE AND 1.5% FOR ASPHALT UNLESS OTHERWISE INDICATED OR DIRECTED BY THE ARCHITECT/ENGINEER.
- ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE SODDED UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES AND TO COMPLY WITH NEW MEXICO DEPARTMENT OF NATURAL RESOURCES STANDARDS.
- EXISTING BOUNDARY AND TOPOGRAPHIC SURVEY WAS PREPARED BY SURVEYS SOUTHWEST, LTD., JANUARY 2004. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EXISTING GROUND CONDITIONS ARE NOT REPRESENTATIVE IN THE FIELD.
- THE CONTRACTOR SHALL KEEP THE SITE CLEAN AT ALL TIMES AND CONTROL DUST RESULTING FROM THE EARTHWORK OPERATIONS. THE CONTRACTOR SHALL NOT TRACK MUD ONTO THE PUBLIC STREETS.
- NEW CONTOURS DENOTE TOP OF FINISHED PAVING AND GRADED AREA AS INDICATED. ALL SPOT ELEVATIONS ARE TO THE TOP OF CURB UNLESS NOTED OTHERWISE.
- STORM DRAIN STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- ALL ROOF DRAIN PIPES ARE POLYVINYL CHLORIDE (PVC) SCHEDULE 40 OR SDR 30, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SHALL NOT DAMAGE OR DISTURB ANY SERVICE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY DAMAGED UTILITIES CAUSED BY HIS CONSTRUCTION OPERATIONS.
- ALL DRAINAGE PIPES, SHALL HAVE A MINIMUM COVER OF (1) FEET TO TOP OF PIPE, UNLESS NOTED OTHERWISE.
- BEDDING MATERIALS SHALL BE OF GRADE AS SPECIFIED IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. PIPES SHALL BE PLACED ON AT LEAST 6-INCHES OF BEDDING MATERIALS, AND BACKFILLED WITH SAME MATERIALS.
- ADJUST ALL VALVE BOXES AND MANHOLE COVERS TO FINISHED GRADE WHEN APPLICABLE.
- THE CONTRACTOR SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), TO MAINTAIN A VIABLE TRENCH SAFETY SYSTEM AT ALL TIMES.
- THE CONTRACTOR SHALL FURNISH ALL BONDS AND INSPECTION FEES AS REQUIRED BY THE CITY OF ALBUQUERQUE.
- THE PROPERTY FLOOD ZONE DESIGNATION IS ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 35001C0365 D, EFFECTIVE DATE SEPTEMBER 20, 1996.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
- IF A CONFLICT EXISTS BETWEEN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS AND FOR CONTACTING THE CITY TO ARRANGE FOR A PRE CONSTRUCTION CONFERENCE IF SO REQUESTED BY THE CITY, PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL REQUIREMENTS FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- FOR PAVEMENT THICKNESSES AND MATERIAL SPECIFICATIONS, REFER TO DETAIL SHEETS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL STANDARDS.

3 SPECIAL NOTES

- PAVEMENT GRADES IN MARKED HANDICAPPED AREA SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
- REFER TO PUBLIC IMPROVEMENT PLANS FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

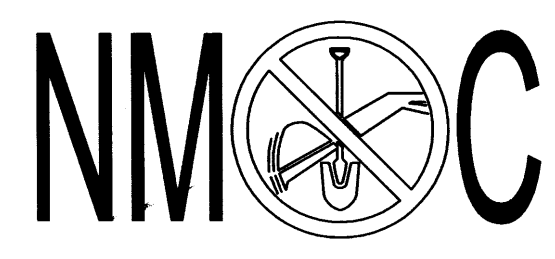
DRAINAGE NOTE

REFER TO DRAINAGE PLAN SHEET C2.1 FOR DETAILS OF STORM DRAIN SYSTEM AND DRAINAGE CALCULATIONS.

BENCHMARK NOTE

ELEVATIONS HEREON ARE BASED ON ACS BENCHMARK 9-J19, THE PUBLISHED ELEVATION OF WHICH IS 5369.542, AND IS LOCATED IN THE S.W. QUADRANT OF THE INTERSECTION OF WYOMING BOULEVARD N.E. AND INDIAN SCHOOL ROAD N.E.

CONTRACTOR SHALL CONTACT NEW MEXICO ONE-CALL SYSTEM @ (800) 321-2537, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION



Walgreens
FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL 60015
847-940-2500

Timothy M. Gallup
Architect of Record
9 East 4th Street • Suite 1000 • Tulsa, Oklahoma 74103
(918) 584-8855 • (918) 584-2880 FAX
cgc@callhangallup.com (e-mail)

Khoury Engineering, Inc.
Civil Engineering - Land Development
1435 East 41st Street Tulsa, OK 74105
CA #3751, Renewal 06-30-05 Tel 918.712.8768 Fax 918.712.1069

PROJECT TYPE	
DRAWINGS/SPECIFICATIONS BY:	
<input type="checkbox"/> WALGREENS' CONSULTANT	<input checked="" type="checkbox"/> LANDLORD'S CONSULTANT
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:	
<input type="checkbox"/> WALGREENS' CONTRACTOR	<input type="checkbox"/> LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)
STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING.... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION..... <input type="checkbox"/>	RELOCATION..... <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	NEW SHELL ONLY . <input type="checkbox"/>

NO.	DATE	BY	DESCRIPTION	CONST.
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REVISIONS				
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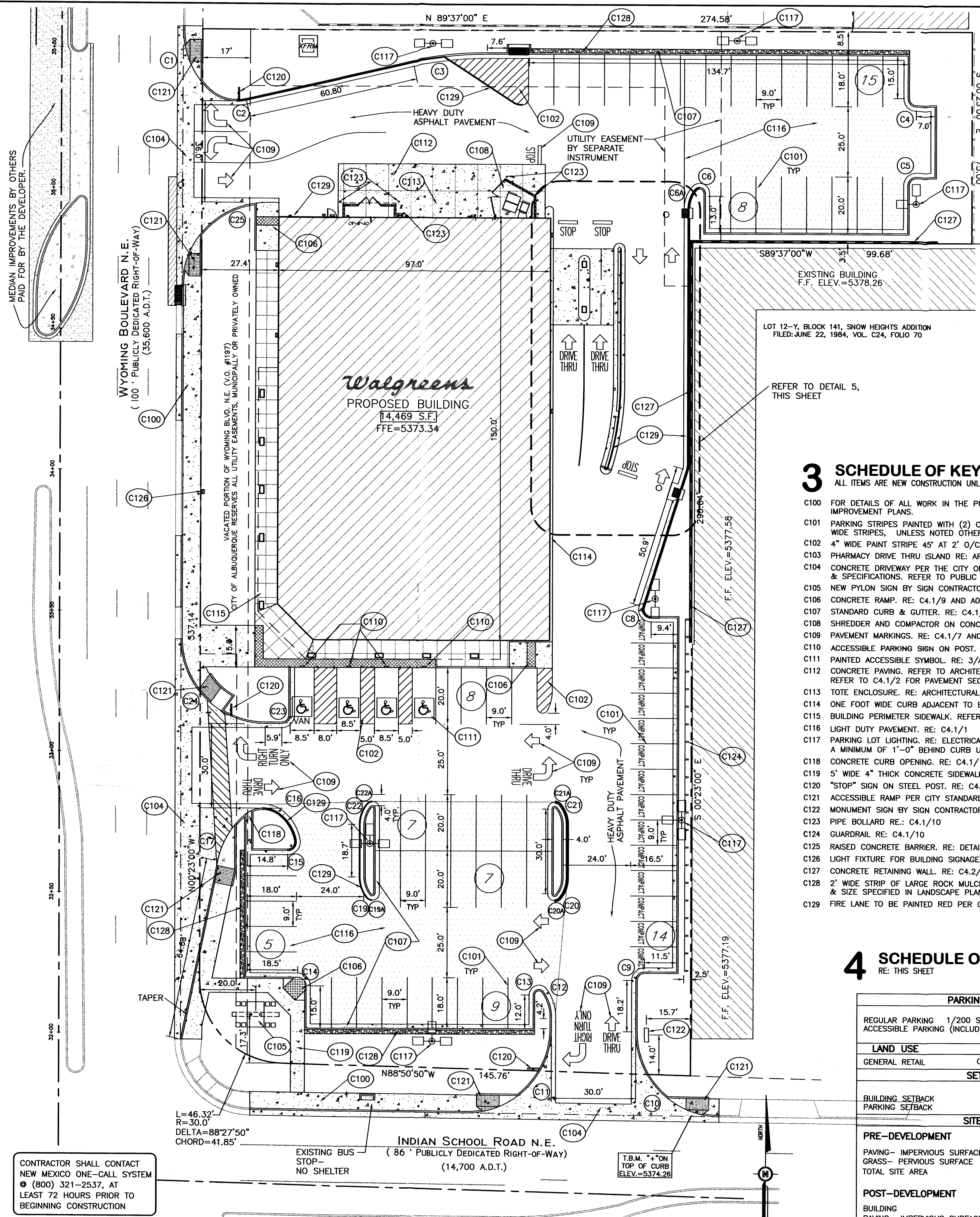
CERTIFICATION AND SEAL
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PROJECT NAME
(NEC) WYOMING BLVD & INDIAN SCHOOL RD. ALBUQUERQUE, NM

DRAWING TITLE
SITE GRADING PLAN

DATE 6/24/04 CRITERIA-FISCAL 2004	STORE NO. # 09213	DRAWING NO.
DRAWN BY: KET	SCALE: AS SHOWN	C2.2
REVIEWED BY: MEE		OF 10 DWGS.



1 SITE PLAN & HORIZONTAL CONTROL
SCALE: 1" = 20'

2 HORIZONTAL CONTROL DATA

CURVE DATA TABLE				
CURVE	RADIUS	ANGLE	LENGTH	CHORD
1	30.0'	43°40'57"	22.87'	22.32'
2	15.0'	59°12'15"	15.50'	14.82'
3	120.0'	12°53'12"	26.99'	26.72'
4	3.0'	90°00'00"	4.71'	4.24'
5	3.0'	90°00'00"	4.71'	4.24'
6	2.0'	138°35'25"	4.84'	3.51'
7	10.0'	41°24'35"	7.23'	7.07'
8	3.0'	21°30'27"	1.88'	1.86'
9	3.0'	107°37'37"	5.63'	4.84'
10	30.0'	89°21'10"	46.78'	42.19'
11	30.0'	90°38'50"	47.46'	42.17'
12	15.0'	46°00'08"	9.40'	9.30'
13	2.0'	143°00'52"	5.02'	3.80'
14	3.0'	90°00'00"	4.71'	4.24'
15	3.0'	99°37'09"	5.22'	4.58'
16	15.0'	43°30'40"	11.39'	11.12'
17	30.0'	36°28'53"	19.10'	18.78'
18	10.0'	38°56'33"	6.79'	6.67'
19	1.0'	141°03'33"	2.46'	1.89'
20	10.0'	38°56'33"	6.79'	6.67'
21	1.0'	141°03'33"	2.46'	1.89'
22	10.0'	38°56'33"	6.79'	6.67'
23	1.0'	141°03'33"	2.46'	1.89'
24	30.0'	89°59'16"	44.12'	42.42'
25	30.0'	90°00'06"	47.12'	42.43'
26	0.5'	180°00'00"	1.57'	1.00'
27	100.0'	17°28'47"	30.51'	30.39'
28	0.5'	180°00'00"	1.57'	1.00'
29	99.0'	17°28'47"	30.20'	30.09'

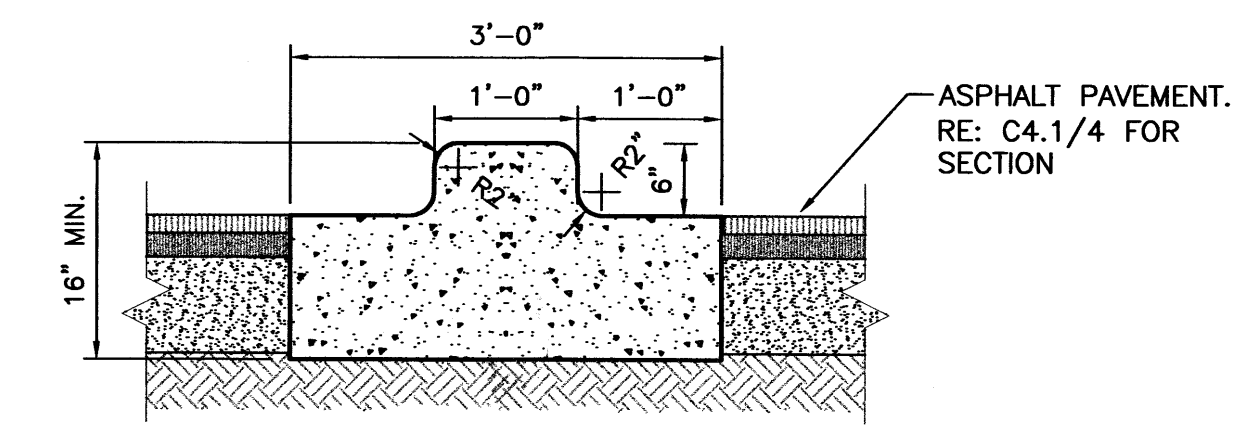
3 SCHEDULE OF KEYED NOTES
ALL ITEMS ARE NEW CONSTRUCTION UNLESS NOTED OTHERWISE

- C100 FOR DETAILS OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY REFER TO PUBLIC IMPROVEMENT PLANS.
- C101 PARKING STRIPES PAINTED WITH (2) COATS TRAFFIC YELLOW IN SINGLE 4" WIDE STRIPES, UNLESS NOTED OTHERWISE.
- C102 4" WIDE PAINT STRIPE 45° AT 2' O/C. USE 2 COAT YELLOW TRAFFIC PAINT.
- C103 PHARMACY DRIVE THRU ISLAND RE: ARCHITECTURAL PLANS
- C104 CONCRETE DRIVEWAY PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS & SPECIFICATIONS. REFER TO PUBLIC IMPROVEMENT PLANS
- C105 NEW PYLON SIGN BY SIGN CONTRACTOR. RE: A5.1 & A5.2.
- C106 CONCRETE RAMP. RE: C4.1/9 AND A0.2
- C107 STANDARD CURB & GUTTER. RE: C4.1/4
- C108 SHREDDER AND COMPACTOR ON CONCRETE PAVING. RE: ARCHITECTURAL PLANS
- C109 PAVEMENT MARKINGS. RE: C4.1/7 AND A0.2
- C110 ACCESSIBLE PARKING SIGN ON POST. RE: A0.2/6
- C111 PAINTED ACCESSIBLE SYMBOL. RE: 3/A0.2
- C112 CONCRETE PAVING. REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS. REFER TO C4.1/2 FOR PAVEMENT SECTION.
- C113 TOTE ENCLOSURE. RE: ARCHITECTURAL PLANS
- C114 ONE FOOT WIDE CURB ADJACENT TO BUILDING. RE: ARCHITECTURAL PLANS
- C115 BUILDING PERIMETER SIDEWALK. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- C116 LIGHT DUTY PAVEMENT. RE: C4.1/1
- C117 PARKING LOT LIGHTING. RE: ELECTRICAL PLANS FOR DETAILS. INSTALL POLE A MINIMUM OF 1'-0" BEHIND CURB UNLESS NOTED OTHERWISE.
- C118 CONCRETE CURB OPENING. RE: C4.1/11
- C119 5' WIDE 4" THICK CONCRETE SIDEWALK.
- C120 "STOP" SIGN ON STEEL POST. RE: C4.1/6
- C121 ACCESSIBLE RAMP PER CITY STANDARDS. REFER TO PUBLIC IMPROVEMENT PLANS
- C122 MONUMENT SIGN BY SIGN CONTRACTOR. RE: A5.1A
- C123 PIPE BOLLARD RE: C4.1/10
- C124 GUARDRAIL RE: C4.1/10
- C125 RAISED CONCRETE BARRIER. RE: DETAIL 6 THIS SHEET
- C126 LIGHT FIXTURE FOR BUILDING SIGNAGE. RE: ELECTRICAL PLANS
- C127 CONCRETE RETAINING WALL. RE: C4.2/1
- C128 2' WIDE STRIP OF LARGE ROCK MULCH FOR VEHICLE OVERHANG. MATCH TYPE & SIZE SPECIFIED IN LANDSCAPE PLANS AND SPECIFICATIONS.
- C129 FIRE LANE TO BE PAINTED RED PER CITY OF ALBUQUERQUE STANDARDS.

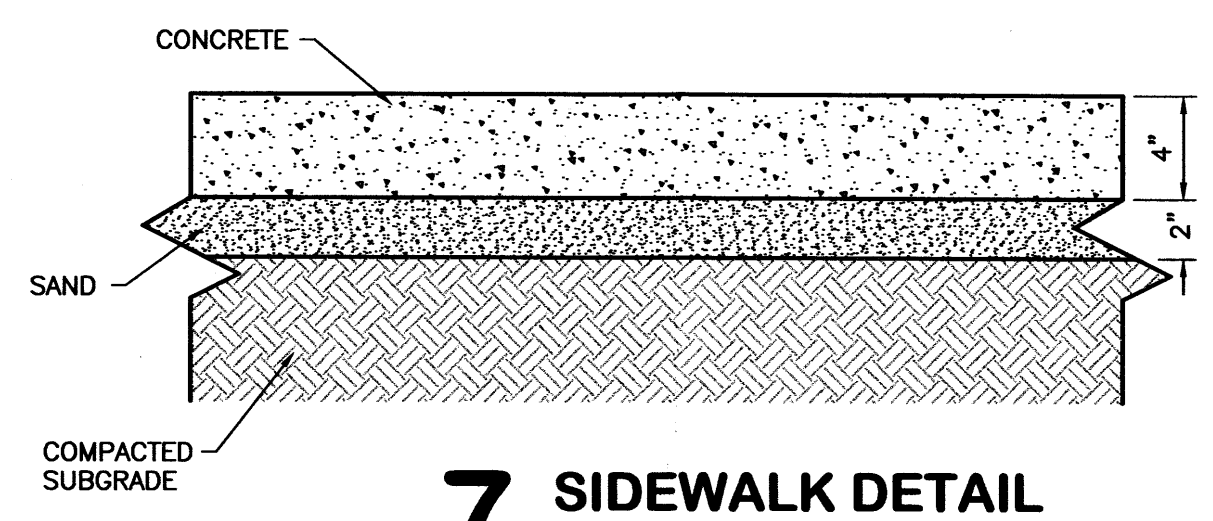
4 SCHEDULE OF SITE DATA
RE: THIS SHEET

PARKING SPACES				
	REQUIRED	PROVIDED		
REGULAR PARKING	1/200 SF	73	73	
ACCESSIBLE PARKING (INCLUDED ABOVE)	3	3	3	
LAND USE				
GENERAL RETAIL	ZONING			
	C-2	COMMUNITY COMMERCIAL		
SETBACK				
BUILDING SETBACK	FRONT	CORNER	SIDE	REAR
PARKING SETBACK	5'	0'	5'	0'
SITE AREA				
PRE-DEVELOPMENT	SQ. FT.	ACRES	% OF TOTAL AREA	
PAVING- IMPERVIOUS SURFACE	71,779.34	1.647	100%	
GRASS- PERVIOUS SURFACE	-	-	-	
TOTAL SITE AREA	71,779.34	1.647	100%	
POST-DEVELOPMENT	SQ. FT.	ACRES	% OF TOTAL AREA	
BUILDING	14,469.00	0.332	20%	
PAVING- IMPERVIOUS SURFACE	46,337.34	1.063	65%	
GRASS- PERVIOUS SURFACE	10,973.00**	0.252	15%	
TOTAL SITE AREA	71,779.34	1.647		
PROPOSED BUILDING HEIGHT (SEE ARCHITECTURAL PLANS)				
** REFER TO LANDSCAPE PLAN FOR POINT SYSTEM				
ALTERNATE COMPLIANCE				

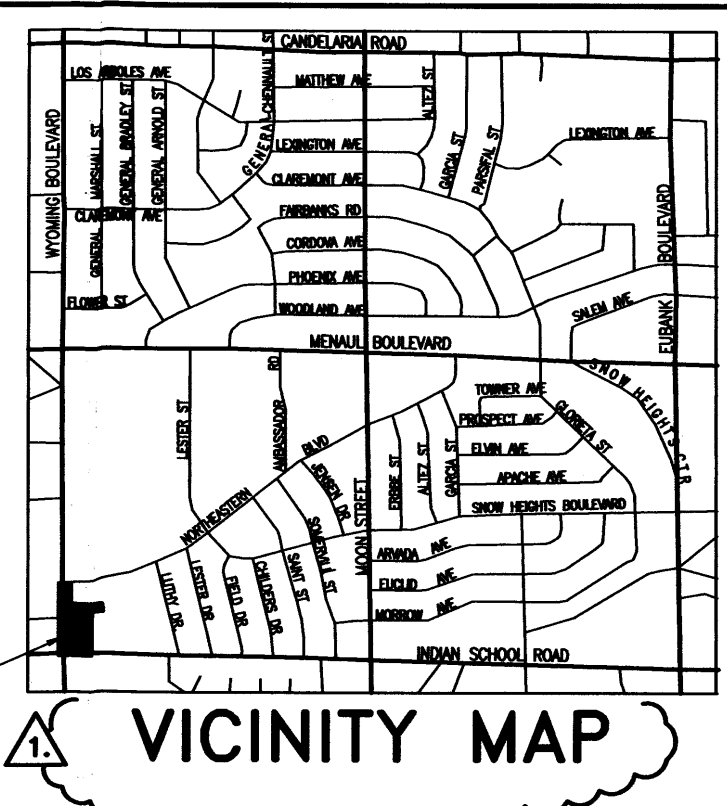
5 DRIVE THRU & RAISED CONCRETE BARRIER
SCALE: 1" = 10'



6 SECTION A-A
NOT TO SCALE



7 SIDEWALK DETAIL
NOT TO SCALE



FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL 60015
847-946-2500

Timothy M. Gallup
Architect of Record
9 East 4th Street • Suite 1000 • Tulsa, Oklahoma 74103
(918) 584-8855 • (918) 584-2880 FAX
cgc@calhoughgallup.com (e-mail)

Khouri Engineering, Inc.
Civil Engineering - Land Development
1435 East 41st Street
Tulsa, OK 74105
CA #3751, Renewal 06-30-05
Tel 918.712.8768
Fax 918.712.1069

PROJECT TYPE
DRAWINGS/SPECIFICATIONS BY:
☐ WALGREENS' CONSULTANT ☐ LANDLORD'S CONSULTANT
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
☐ WALGREENS' CONTRACTOR
☐ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE
NEW.....
REMODELING.....
RELOCATION.....
OTHERS.....

BUILDING
NEW.....
EXISTING.....
NEW SHELL ONLY.....

8 LEGAL DESCRIPTION
LOT NUMBERED TWELVE-C-1 IN BLOCK NUMBERED ONE HUNDRED FORTY-ONE (141) OF SNOW HEIGHTS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 12-C-1, BEING A POINT ON THE EAST RIGHT-OF-WAY OF WYOMING BOULEVARD N.E.; THENCE LEAVING SAID RIGHT-OF-WAY N 89°55'10" E, 274.58 FEET TO THE NORTHEAST CORNER; THENCE S 00°04'50" E, 75.00 FEET TO A POINT; THENCE S 89°55'10" W, 99.68 FEET TO A POINT; THENCE S 00°04'50" E, 296.04 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTH RIGHT-OF-WAY OF INDIAN SCHOOL ROAD N.E.; THENCE ALONG SAID RIGHT-OF-WAY N 88°32'40" W, 150.62 FEET TO THE SOUTHWEST CORNER, AND POINT OF CURVATURE TO THE RIGHT WITH A CENTRAL ANGLE OF 88°27'50", HAVING A RADIUS OF 25.00 FEET, A DISTANCE OF 38.60 FEET (CHORD BEARING N 44°18'45" W, 34.88 FEET) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY OF WYOMING BLVD. N.E.; THENCE ALONG SAID RIGHT-OF-WAY N 00°04'50" W, 342.01 FEET TO THE NORTHWEST CORNER, THE POINT OF BEGINNING.

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: *[Signature]* Date: 8/24/04

NO.	DATE	BY	DESCRIPTION	CONST.
1.	8/23/04	MEE	CITY - TRANSPORTATION COMMENTS	

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(NEC) WYOMING BLVD & INDIAN SCHOOL RD. ALBUQUERQUE, NM

DRAWING TITLE
SITE PLAN

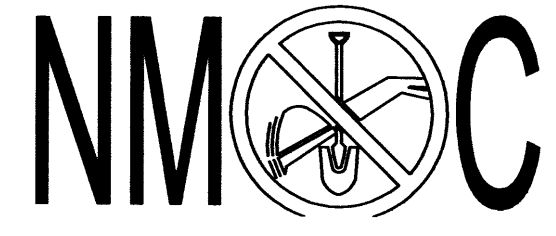
DATE: 8/24/04
CRITERIA-FISCAL 2004

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SCALE: AS SHOWN

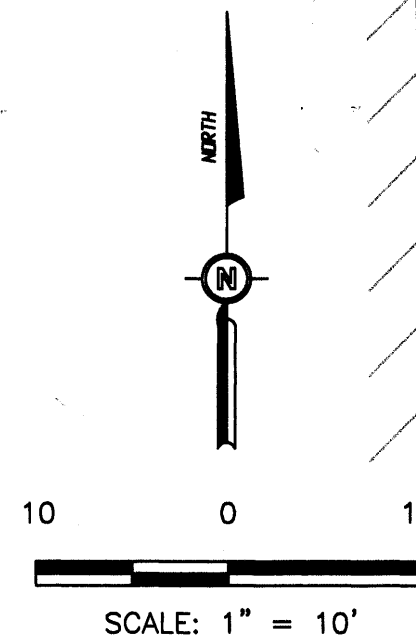
DRAWING NO.
C1.1
OF 10 DWGS.



CONTRACTOR SHALL CONTACT NEW MEXICO ONE-CALL SYSTEM (800) 321-2537, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION



CURVE DATA TABLE				(#)
CURVE	RADIUS	ANGLE	LENGTH	CHORD
1	30.0'	43°40'57"	22.87'	22.32'
2	15.0'	59°12'15"	15.50'	14.82'
3	120.0'	12°53'12"	26.99'	26.77'
4	3.0'	90°00'00"	4.71'	4.24'
5	3.0'	90°00'00"	4.71'	4.24'
6	3.0'	138°35'25"	4.84'	3.51'
6A	10.0'	41°24'35"	7.23'	7.07'
7	5.0'	21°30'27"	1.88'	1.86'
8	3.0'	107°37'37"	5.63'	4.84'
9	3.0'	90°00'00"	4.71'	4.24'
10	30.0'	89°21'10"	46.78'	42.19'
11	30.0'	90°38'50"	47.46'	42.17'
12	15.0'	46°34'07"	8.13'	7.91'
13	2.0'	133°25'53"	4.66'	3.67'
14	3.0'	90°00'00"	4.71'	4.24'
15	3.0'	90°00'00"	4.71'	4.24'
16	15.0'	126°52'12"	22.14'	17.89'
17	30.0'	32°58'39"	17.27'	17.03'
18				
19	10.0'	38°56'33"	6.79'	6.67'
19A	1.0'	141°03'33"	2.46'	1.89'
20	10.0'	38°56'33"	6.79'	6.67'
20A	1.0'	141°03'33"	2.46'	1.89'
21	10.0'	38°56'33"	6.79'	6.67'
21A	1.0'	141°03'33"	2.46'	1.89'
22	10.0'	38°56'33"	6.79'	6.67'
22A	1.0'	141°03'33"	2.46'	1.89'
23	3.0'	90°00'00"	4.71'	4.24'
24	30.0'	89°59'16"	44.12'	42.42'
25	30.0'	90°00'06"	47.12'	42.43'
26	0.5'	180°00'00"	1.57'	1.00'
27	100.0'	17°28'47"	30.51'	30.39'
28	0.5'	180°00'00"	1.57'	1.00'
29	99.0'	17°28'47"	30.20'	30.09'



3'-0"

1'-0"

1'-0"

16" MIN.

6"

ASPHALT PAVEMENT,
RE: C4.1/4 FOR SECTION



C100 FOR DETAILS OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY REFER TO PUBLIC IMPROVEMENT PLANS.

C101 PARKING STRIPES PAINTED WITH (2) COATS TRAFFIC YELLOW IN SINGLE 4" WIDE STRIPES, UNLESS NOTED OTHERWISE.

C102 4" WIDE PAINT STRIPE 45° AT 2' O/C. USE 2 COAT YELLOW TRAFFIC PAINT.

C103 PHARMACY DRIVE THRU ISLAND RE: ARCHITECTURAL PLANS

C104 CONCRETE DRIVEWAY PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS & SPECIFICATIONS. REFER TO PUBLIC IMPROVEMENT PLANS

C105 NEW PYLON SIGN BY SIGN CONTRACTOR. RE: A5.1 & A5.2.

C106 CONCRETE RAMP. RE: C4.1/9 AND A0.2

C107 STANDARD CURB & GUTTER. RE: C4.1/4

C108 SHREDDER AND COMPACTOR ON CONCRETE PAVING. RE: ARCHITECTURAL PLANS

C109 PAVEMENT MARKINGS. RE: C4.1/7 AND A0.2

C110 ACCESSIBLE PARKING SIGN ON POST. RE: A0.2/6

C111 PAINTED ACCESSIBLE SYMBOL. RE: 3/A0.2

C112 CONCRETE PAVING. REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS. REFER TO C4.1/2 FOR PAVEMENT SECTION.

C113 TOTE ENCLOSURE. RE: ARCHITECTURAL PLANS

C114 ONE FOOT WIDE CURB ADJACENT TO BUILDING. RE: ARCHITECTURAL PLANS

C115 BUILDING PERIMETER SIDEWALK. REFER TO ARCHITECTURAL PLANS FOR DETAIL.

C116 LIGHT DUTY PAVEMENT. RE: C4.1/1

C117 PARKING LOT LIGHTING. RE: ELECTRICAL PLANS FOR DETAILS. INSTALL POLE A MINIMUM OF 1'-0" BEHIND CURB UNLESS NOTED OTHERWISE.

C118 CONCRETE CURB OPENING. RE: C4.1/11

C119 5' WIDE 4" THICK CONCRETE SIDEWALK.

C120 "STOP" SIGN ON STEEL POST. RE: C4.1/6

C121 ACCESSIBLE RAMP PER CITY STANDARDS. REFER TO PUBLIC IMPROVEMENT PLANS

C122 MONUMENT SIGN BY SIGN CONTRACTOR. RE.: A5.1A

C123 PIPE BOLLARD RE.: C4.1/10

C124 GUARDRAIL RE: C4.1/10

C125 RAISED CONCRETE BARRIER. RE: DETAIL 6 THIS SHEET

C126 LIGHT FIXTURE FOR BUILDING SIGNAGE. RE: ELECTRICAL PLANS


C127 CONCRETE RETAINING WALL. RE: C4.2/1

C128 2' WIDE STRIP OF LARGE ROCK MULCH FOR VEHICLE OVERHANG. MATCH TYPE & SIZE SPECIFIED IN LANDSCAPE PLANS AND SPECIFICATIONS.

C129 FIRE LANE TO BE PAINTED RED PER CITY OF ALBUQUERQUE STANDARDS.


PARKING SPACES			
REGULAR PARKING	1/200 SF	REQUIRED	0.32
ACCESSIBLE PARKING (INCLUDED ABOVE)		7	3
LAND USE		ZONING	
GENERAL RETAIL	C-2	COMMUNITY	COMMERCIAL
SETBACK			
	FRONT	CORNER	SIDE
BUILDING SETBACK	5'	5'	0'
PARKING SETBACK	0'	0'	0'
SITE AREA			
PRE-DEVELOPMENT	SQ. FT.	ACRES	% OF TOTAL AREA
PAVING-- IMPERVIOUS SURFACE	71,779.34	1.647	100%
GRASS-- PERVIOUS SURFACE	-	-	-
TOTAL SITE AREA	71,779.34	1.647	100%
POST-DEVELOPMENT	SQ. FT.	ACRES	% OF TOTAL AREA
BUILDING	14,469.00	0.332	20%
PAVING-- IMPERVIOUS SURFACE	46,337.34	1.063	65%
GRASS-- PERVIOUS SURFACE	10,973.00**	0.252	15%
TOTAL SITE AREA	71,779.34	1.647	
PROPOSED BUILDING HEIGHT	(SEE ARCHITECTURAL PLANS)		
** REFER TO LANDSCAPE PLAN FOR POINT SYSTEM ALTERNATE COMPLIANCE			

FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL.
847-940-2500 60015



Timothy M. Gallup
Architect of Record

East 4th Street • Suite 1000 • Tulsa, Oklahoma 74103
(918) 584-8855 • (918) 584-2880 FAX
cgco@calahangallup.com (e-mail)



Khoury Engineering, Inc.
Civil Engineering - Land Development

435 East 41st Street
Tulsa, OK 74105
A #3751, Renewal 06-30-05

Tel 918.712.8768
Fax 918.712.1069

DRAWINGS/SPECIFICATIONS BY:	
<input type="checkbox"/> WALGREEN'S CONSULTANT	<input type="checkbox"/> LANDLORD'S CONSULTANT
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:	
<input type="checkbox"/> WALGREEN'S CONTRACTOR	(TURNKEY CONSTRUCTION)
<input type="checkbox"/> LANDLORD'S CONTRACTOR	
STORE	BUILDING
NEW..... <input type="checkbox"/>	NEW..... <input type="checkbox"/>
REMODELING.... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION.... <input type="checkbox"/>	NEW SHELL ONLY . <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

LOT NUMBERED TWELVE--C-1 IN BLOCK NUMBERED ONE
HUNDRED FORTY-ONE (141) OF SNOW HEIGHTS ADDITION,
AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO,
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT
12--C-1, BEING A POINT ON THE EAST RIGHT-OF-WAY OF
WYOMING BOULEVARD N.E.; THENCE LEAVING SAID
RIGHT-OF-WAY N 89°55'10" E, 274.58 FEET TO THE
NORTHEAST CORNER; THENCE S 00°04'50" E, 75.00 FEET
TO A POINT; THENCE S 89°50'10" E, 99.68 FEET TO A
POINT; THENCE S 00°04'50" E, 296.04 FEET TO THE
SOUTHEAST CORNER, BEING A POINT ON THE NORTH
RIGHT-OF-WAY OF INDIAN SCHOOL ROAD N.E.; THENCE
ALONG SAID RIGHT-OF-WAY N 88°32'40" W, 150.62 FEET
TO THE SOUTHWEST CORNER, AND POINT OF CURVATURE
TO THE RIGHT WITH A CENTRAL ANGLE OF 88°27'50",
HAVING A RADIUS OF 25.00 FEET, A DISTANCE OF 38.80
FEET (CHORD BEARING N 44°18'45" W, 34.88 FEET) TO A
POINT OF INSURSECTION WITH THE EAST RIGHT-OF-WAY OF
WYOMING BLVD. N.E.; THENCE ALONG SAID RIGHT-OF-WAY
N 00°04'50" W, 342.01 FEET TO THE NORTHWEST CORNER,
THE POINT OF BEGINNING.

NO.	DATE	BY	DESCRIPTION	CONST.
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REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT
THIS PLAN AND SPECIFI-
CATIONS WAS PREPARED BY
ME OR UNDER MY DIRECT
SUPERVISION AND THAT I
AM A DULY REGISTERED
ARCHITECT OR ENGINEER
UNDER THE LAWS OF THE
STATE OF NEW MEXICO
AS SIGNIFIED BY MY HAND
AND SEAL.



PROJECT NAME	
--------------	--

(NEC) WYOMING BLVD & INDIAN SCHOOL RD.
ALBUQUERQUE, NM

DRAWING TITLE
SITE PLAN

DATE	6/24/04
------	---------

CRITERIA—FISCAL 2004

DRAWN

BY: KET

REVIEWED
BY: MEF

STORE NO. # 09213

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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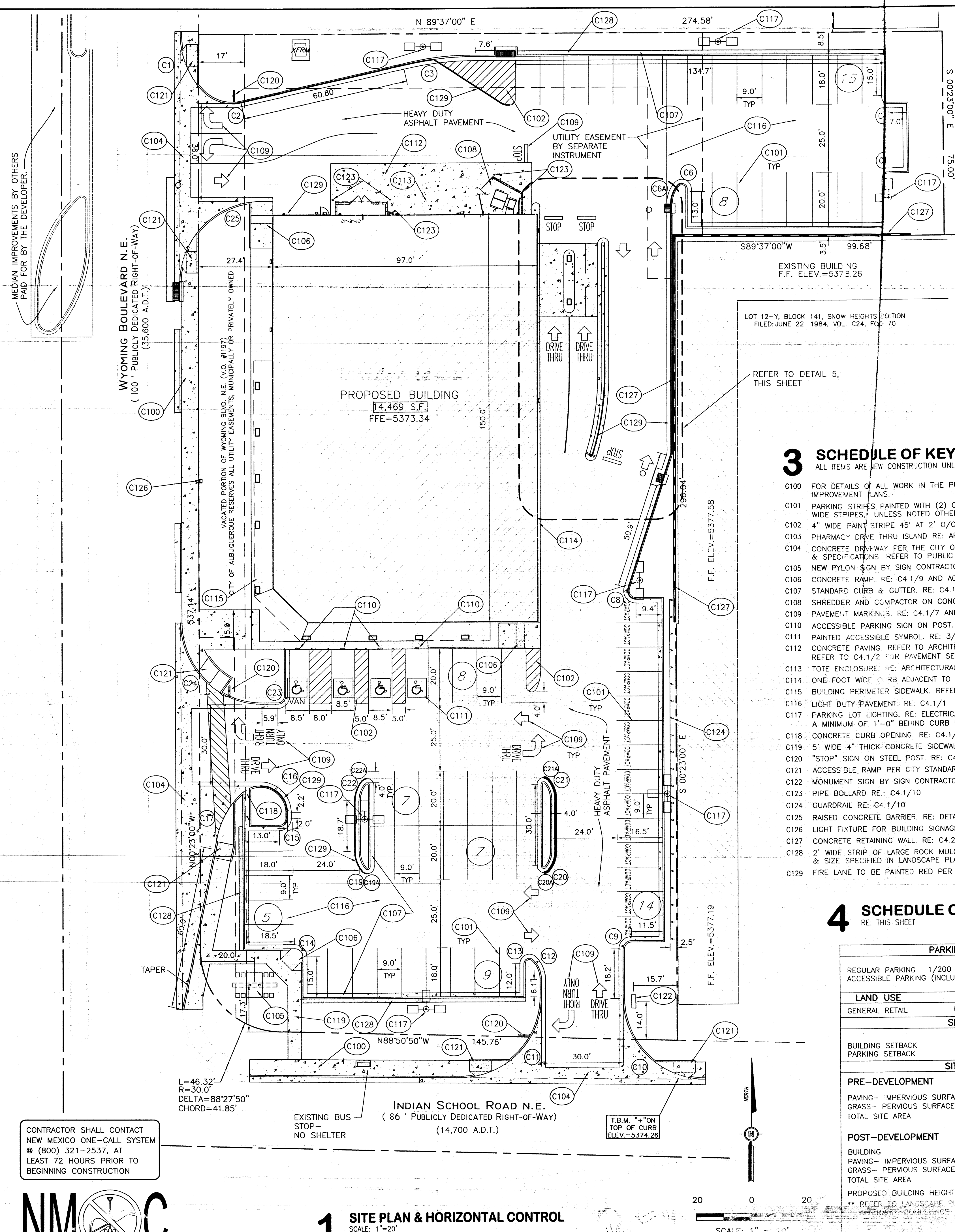
SCALE: AS SHOWN

100

01 1 1

51.1

10 DWGS



2 HORIZONTAL CONTROL DATA

CURVE DATA TABLE (C#)				
CURVE	RADIUS	ANGLE	LENGTH	CHORD
1	30.0'	43°40'57"	22.87'	22.32'
2	15.0'	59°12'15"	15.50'	14.82'
3	120.0'	12°53'12"	26.99'	26.72'
4	3.0'	90°00'00"	4.71'	4.24'
5	3.0'	90°00'00"	4.71'	4.24'
6	2.0'	138°35'25"	4.84'	3.51'
6A	10.0'	41°24'35"	7.23'	7.07'
7	5.0'	21°30'27"	1.88'	1.86'
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9	3.0'	90°00'00"	4.71'	4.24'
10	30.0'	89°21'10"	46.78'	42.19'
11	30.0'	90°38'50"	47.46'	42.17'
12	10.0'	46°34'07"	8.13'	7.91'
13	2.0'	133°25'53"	4.66'	3.67'
14	3.0'	90°00'00"	4.71'	4.24'
15	3.0'	90°00'00"	4.71'	4.24'
16	10.0'	126°52'12"	22.14'	17.89'
17	30.0'	32°58'39"	17.27'	17.03'
18				
19	10.0'	38°56'33"	6.79'	6.67'
19A	1.0'	141°03'33"	2.46'	1.89'
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28	0.5'	180°00'00"	1.57'	1.00'
29	99.0'	17°28'47"	30.20'	30.09'

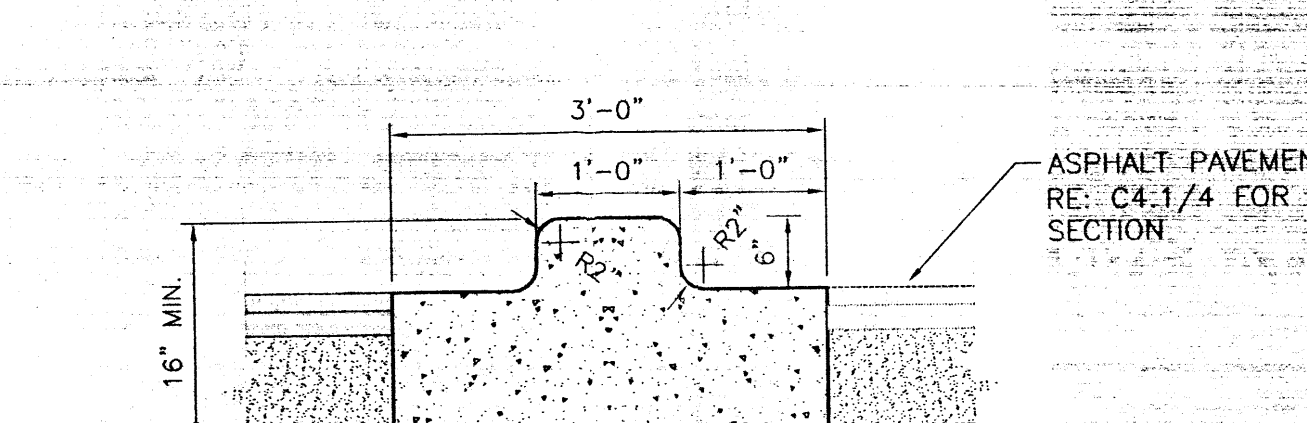
3 SCHEDULE OF KEYED NOTES

- ALL ITEMS ARE NEW CONSTRUCTION UNLESS NOTED OTHERWISE
- C100 FOR DETAILS OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY REFER TO PUBLIC IMPROVEMENT PLANS.
- C101 PARKING STRIPES PAINTED WITH (2) COATS TRAFFIC YELLOW IN SINGLE 4" WIDE STRIPES, UNLESS NOTED OTHERWISE.
- C102 4" WIDE PAINT STRIPE 45' AT 2' O/C. USE 2 COAT YELLOW TRAFFIC PAINT.
- C103 PHARMACY DRIVE THRU ISLAND RE: ARCHITECTURAL PLANS
- C104 CONCRETE DRIVEWAY PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS & SPECIFICATIONS. REFER TO PUBLIC IMPROVEMENT PLANS
- C105 NEW PYLON SIGN BY SIGN CONTRACTOR. RE: A5.1 & A5.2
- C106 CONCRETE RAMP. RE: C4.1/9 AND A0.2
- C107 STANDARD CURB & GUTTER. RE: C4.1/4
- C108 SHREDDER AND COMPACTOR ON CONCRETE PAVING. RE: ARCHITECTURAL PLANS
- C109 PAVEMENT MARKINGS. RE: C4.1/7 AND A0.2
- C110 ACCESSIBLE PARKING SIGN ON POST. RE: A0.2/6
- C111 PAINTED ACCESSIBLE SYMBOL. RE: 3/A0.2
- C112 CONCRETE PAVING. REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS. REFER TO C4.1/2 FOR PAVEMENT SECTION.
- C113 TOTE ENCLOSURE. RE: ARCHITECTURAL PLANS
- C114 ONE FOOT WIDE CURB ADJACENT TO BUILDING. RE: ARCHITECTURAL PLANS
- C115 BUILDING PERIMETER SIDEWALK. REFER TO ARCHITECTURAL PLANS FOR DETAIL
- C116 LIGHT DUTY PAVEMENT. RE: C4.1/1
- C117 PARKING LOT LIGHTING. RE: ELECTRICAL PLANS FOR DETAILS. INSTALL POLE A MINIMUM OF 1'-0" BEHIND CURB UNLESS NOTED OTHERWISE.
- C118 CONCRETE CURB OPENING. RE: C4.1/11
- C119 5' WIDE 4" THICK CONCRETE SIDEWALK.
- C120 "STOP" SIGN ON STEEL POST. RE: C4.1/6
- C121 ACCESSIBLE RAMP PER CITY STANDARDS. REFER TO PUBLIC IMPROVEMENT PLANS
- C122 MONUMENT SIGN BY SIGN CONTRACTOR. RE: A5.1A
- C123 PIPE BOLLARD RE: C4.1/10
- C124 GUARDRAIL RE: C4.1/10
- C125 RAISED CONCRETE BARRIER. RE: DETAIL 6 THIS SHEET
- C126 LIGHT FIXTURE FOR BUILDING SIGNAGE. RE: ELECTRICAL PLANS
- C127 CONCRETE RETAINING WALL. RE: C4.2/1
- C128 2' WIDE STRIP OF LARGE ROCK MULCH FOR VEHICLE OVERHANG. MATCH TYPE & SIZE SPECIFIED IN LANDSCAPE PLANS AND SPECIFICATIONS.
- C129 FIRE LANE TO BE PAINTED RED PER CITY OF ALBUQUERQUE STANDARDS.

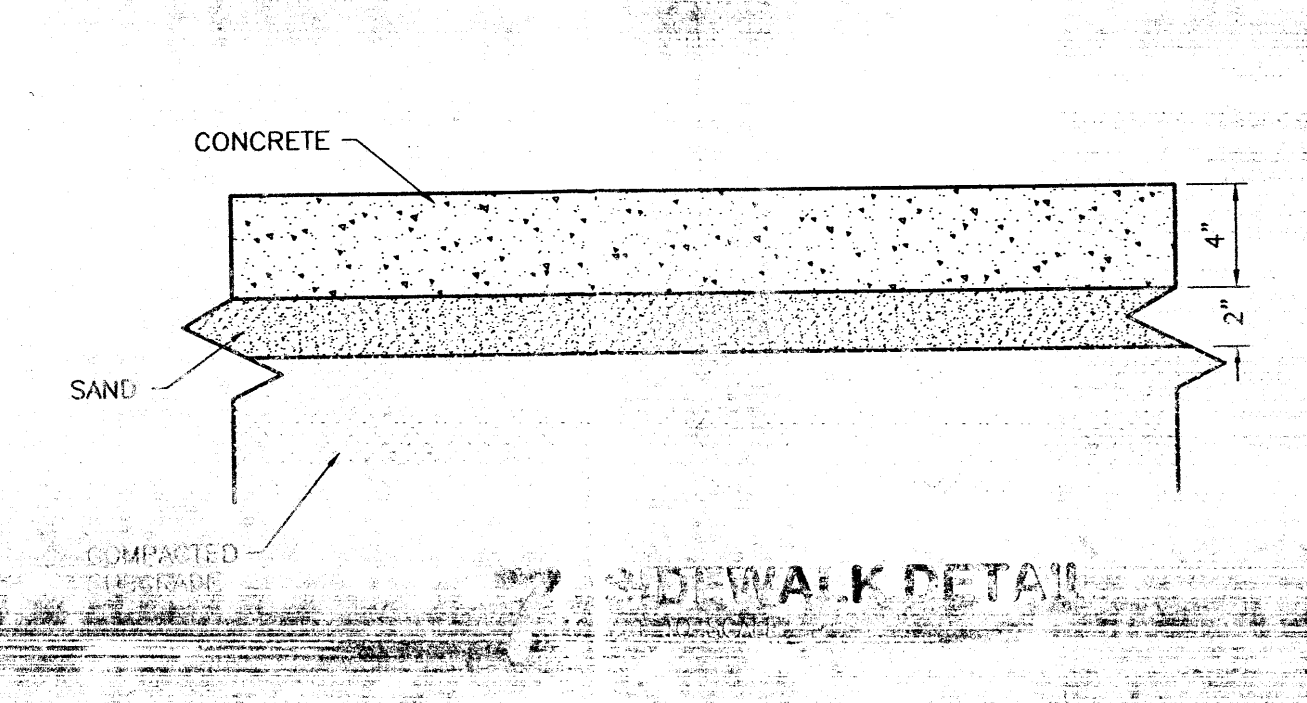
4 SCHEDULE OF SITE DATA

PARKING SPACES			
REGULAR PARKING	1/200 SF	REQUIRED PROVIDED	
ACCESSIBLE PARKING (INCLUDED ABOVE)	3	3	
LAND USE - ZONING			
GENERAL RETAIL	C-2	COMMUNITY COMMERCIAL	
SETBACK			
BUILDING SETBACK	5'	CORNER	5'
PARKING SETBACK	0'	SIDE	0'
REAR	0'		
SITE AREA			
PRE-DEVELOPMENT	SQ. FT.	ACRES	% OF TOTAL AREA
PAVING - IMPERVIOUS SURFACE	71,779.34	1.647	100%
GRASS - PERVIOUS SURFACE	-	-	-
TOTAL SITE AREA	71,779.34	1.647	100%
POST-DEVELOPMENT	SQ. FT.	ACRES	% OF TOTAL AREA
BUILDING	14,469.00	0.332	20%
PAVING - IMPERVIOUS SURFACE	46,337.34	1.063	65%
GRASS - PERVIOUS SURFACE	10,973.00**	0.252	15%
TOTAL SITE AREA	71,779.34	1.647	
PROPOSED BUILDING HEIGHT (SEE ARCHITECTURAL PLANS)			
** REFER TO LANDSCAPE PLAN FOR DRAINAGE SYSTEM			

5 DRIVE THRU & RAISED CONCRETE BARRIER



6 SECTION A-A



FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
847-940-2500

DEERFIELD, IL 60015

Timothy M. Gallup
Architect of Record
9 East 4th Street • Suite 1000 • Tulsa, Oklahoma 74103
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cgc@callhangallup.com (e-mail)

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Civil Engineering - Land Development
1435 East 41st Street
Tulsa, OK 74105
CA #3751, Renewal 06-30-05
Tel 918.712.8768
Fax 918.712.1069

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
☐ WALGREENS' CONSULTANT ☐ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
☐ WALGREENS' CONTRACTOR
☐ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	NEW <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	EXISTING <input type="checkbox"/>
OTHERS <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>

8 LEGAL DESCRIPTION

LOT NUMBERED TWELVE-C-1 IN BLOCK NUMBERED ONE HUNDRED FORTY-ONE (141) OF SNOW HEIGHTS ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO.

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 12-C-1, BEING A POINT ON THE EAST RIGHT-OF-WAY OF WYOMING BOULEVARD N.E.; THENCE LEAVING SAID RIGHT-OF-WAY N 89°55'10" E, 274.58 FEET TO THE NORTHEAST CORNER; THENCE S 00°04'50" E, 75.00 FEET TO A POINT; THENCE S 89°55'10" W, 99.68 FEET TO A POINT; THENCE S 00°04'50" E, 298.04 FEET TO THE SOUTHWEST CORNER, BEING A POINT ON THE NORTH RIGHT-OF-WAY OF INDIAN SCHOOL ROAD N.E.; THENCE ALONG SAID RIGHT-OF-WAY N 88°32'40" W, 150.62 FEET TO THE SOUTHWEST CORNER, AND POINT OF CURVATURE TO THE RIGHT WITH A CENTRAL ANGLE OF 88°27'50" HAVING A RADIUS OF 25.00 FEET, A DISTANCE OF 38.60 FEET (CHORD BEARING N 44°18'45" W, 34.88 FEET) TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY OF WYOMING BLVD. N.E.; THENCE ALONG SAID RIGHT-OF-WAY N 00°04'50" W, 342.01 FEET TO THE NORTHWEST CORNER, THE POINT OF BEGINNING.

NO.	DATE	BY	DESCRIPTION	CONS.

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME
(NEC) WYOMING BLVD & INDIAN SCHOOL ALBUQUERQUE, NM

DRAWING TITLE
SITE PLAN

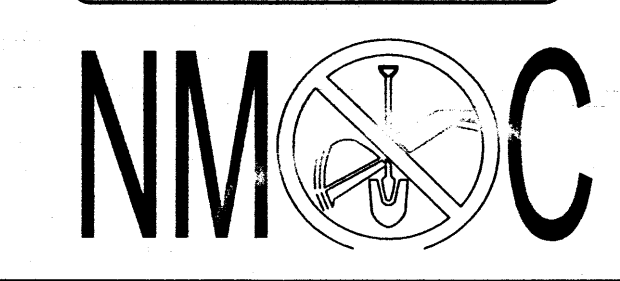
DATE 6/24/04
CUTTERA-FISCAL 2004

STORE NO. # 09213

SCALE: AS SHOWN

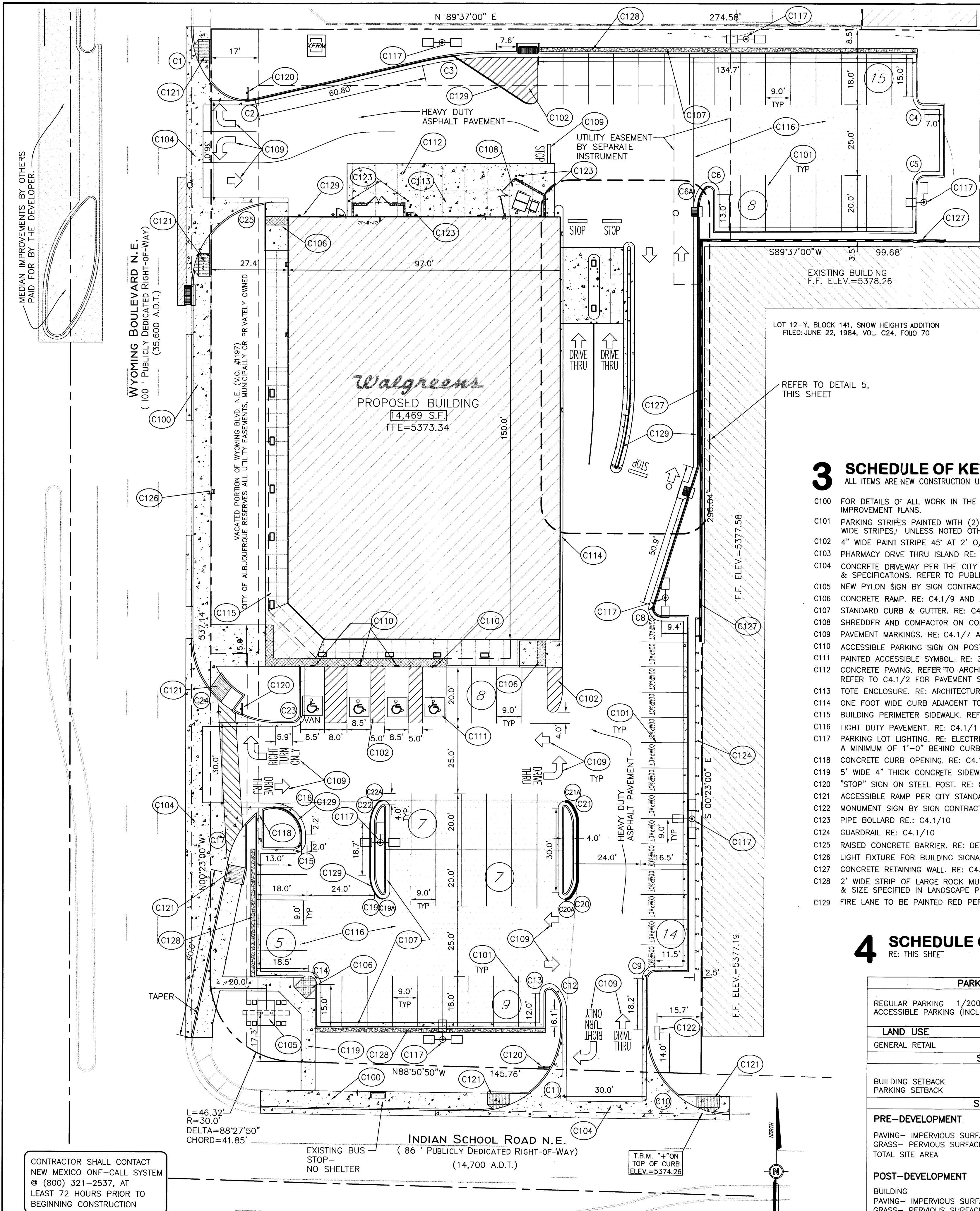
DRAWING NO.
C1

OF 10



1 SITE PLAN & HORIZONTAL CONTROL

SCALE: 1" = 20'



1 SITE PLAN & HORIZONTAL CONTROL
SCALE: 1" = 20'

2 HORIZONTAL CONTROL DATA

CURVE DATA TABLE				
CURVE	RADIUS	ANGLE	LENGTH	CHORD
1	30.0'	43°40'57"	22.87'	22.32'
2	15.0'	59°12'15"	15.50'	14.82'
3	120.0'	12°53'12"	26.99'	26.72'
4	3.0'	90°00'00"	4.71'	4.24'
5	3.0'	90°00'00"	4.71'	4.24'
6	2.0'	138°35'25"	4.84'	3.51'
6A	10.0'	41°24'35"	7.23'	7.07'
7	5.0'	21°30'27"	1.88'	1.86'
8	3.0'	107°37'37"	5.63'	4.84'
9	3.0'	90°00'00"	4.71'	4.24'
10	30.0'	89°21'10"	46.78'	42.19'
11	30.0'	90°38'50"	47.46'	42.17'
12	10.0'	46°34'07"	8.13'	7.91'
13	2.0'	133°25'53"	4.66'	3.67'
14	3.0'	90°00'00"	4.71'	4.24'
15	3.0'	90°00'00"	4.71'	4.24'
16	10.0'	126°52'12"	22.14'	17.89'
17	30.0'	32°58'39"	17.27'	17.03'
18				
19	10.0'	38°56'33"	6.79'	6.67'
19A	1.0'	141°03'33"	2.46'	1.89'
20	10.0'	38°56'33"	6.79'	6.67'
20A	1.0'	141°03'33"	2.46'	1.89'
21	10.0'	38°56'33"	6.79'	6.67'
21A	1.0'	141°03'33"	2.46'	1.89'
22	10.0'	38°56'33"	6.79'	6.67'
22A	1.0'	141°03'33"	2.46'	1.89'
23	3.0'	90°00'00"	4.71'	4.24'
24	30.0'	89°59'16"	44.12'	42.42'
25	30.0'	90°00'00"	47.12'	42.43'
26	0.5'	180°00'00"	1.57'	1.00'
27	100.0'	17°28'47"	30.51'	30.39'
28	0.5'	180°00'00"	1.57'	1.00'
29	99.0'	17°28'47"	30.20'	30.09'

3 SCHEDULE OF KEYED NOTES

- ALL ITEMS ARE NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- C100 FOR DETAILS OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY REFER TO PUBLIC IMPROVEMENT PLANS.
- C101 PARKING STRIPES PAINTED WITH (2) COATS TRAFFIC YELLOW IN SINGLE 4" WIDE STRIPES, UNLESS NOTED OTHERWISE.
- C102 4" WIDE PAINT STRIPE 45° AT 2' O/C. USE 2 COAT YELLOW TRAFFIC PAINT.
- C103 PHARMACY DRIVE THRU ISLAND RE: ARCHITECTURAL PLANS
- C104 CONCRETE DRIVEWAY PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS & SPECIFICATIONS. REFER TO PUBLIC IMPROVEMENT PLANS
- C105 NEW PYLON SIGN BY SIGN CONTRACTOR. RE: A5.1 & A5.2.
- C106 CONCRETE RAMP. RE: C4.1/9 AND A0.2
- C107 STANDARD CURB & GUTTER. RE: C4.1/4
- C108 SHREDDER AND COMPACTOR ON CONCRETE PAVING. RE: ARCHITECTURAL PLANS
- C109 PAVEMENT MARKINGS. RE: C4.1/7 AND A0.2
- C110 ACCESSIBLE PARKING SIGN ON POST. RE: A0.2/6
- C111 PAINTED ACCESSIBLE SYMBOL. RE: 3/A0.2
- C112 CONCRETE PAVING. REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS. REFER TO C4.1/2 FOR PAVEMENT SECTION.
- C113 TOTE ENCLOSURE. RE: ARCHITECTURAL PLANS
- C114 ONE FOOT WIDE CURB ADJACENT TO BUILDING. RE: ARCHITECTURAL PLANS
- C115 BUILDING PERIMETER SIDEWALK. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- C116 LIGHT DUTY PAVEMENT. RE: C4.1/1
- C117 PARKING LOT LIGHTING. RE: ELECTRICAL PLANS FOR DETAILS. INSTALL POLE A MINIMUM OF 1'-0" BEHIND CURB UNLESS NOTED OTHERWISE.
- C118 CONCRETE CURB OPENING. RE: C4.1/11
- C119 5' WIDE 4" THICK CONCRETE SIDEWALK.
- C120 "STOP" SIGN ON STEEL POST. RE: C4.1/6
- C121 ACCESSIBLE RAMP PER CITY STANDARDS. REFER TO PUBLIC IMPROVEMENT PLANS
- C122 MONUMENT SIGN BY SIGN CONTRACTOR. RE: A5.1A
- C123 PIPE BOLLARD RE: C4.1/10
- C124 GUARDRAIL RE: C4.1/10
- C125 RAISED CONCRETE BARRIER. RE: DETAIL 6 THIS SHEET
- C126 LIGHT FIXTURE FOR BUILDING SIGNAGE. RE: ELECTRICAL PLANS
- C127 CONCRETE RETAINING WALL. RE: C4.2/1
- C128 2' WIDE STRIP OF LARGE ROCK MULCH FOR VEHICLE OVERHANG. MATCH TYPE & SIZE SPECIFIED IN LANDSCAPE PLANS AND SPECIFICATIONS.
- C129 FIRE LANE TO BE PAINTED RED PER CITY OF ALBUQUERQUE STANDARDS.

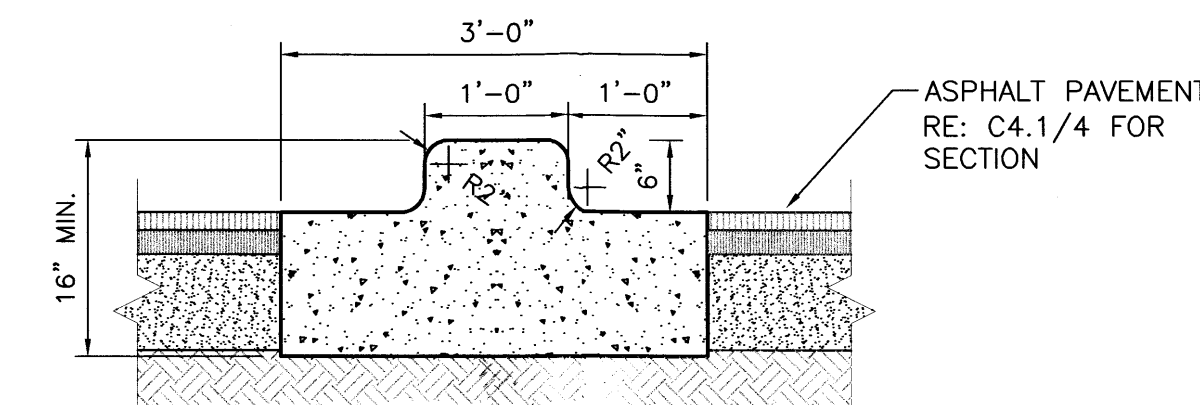
4 SCHEDULE OF SITE DATA

RE: THIS SHEET

PARKING SPACES			
REGULAR PARKING	1/200 SF	REQUIRED	PROVIDED
ACCESSIBLE PARKING (INCLUDED ABOVE)		73	73
		3	3
LAND USE		ZONING	
GENERAL RETAIL	C-2	COMMUNITY COMMERCIAL	
SETBACK			
	FRONT	CORNER	SIDE REAR
BUILDING SETBACK	5'	5'	0'
PARKING SETBACK	0'	0'	0'
SITE AREA			
PRE-DEVELOPMENT			
	SQ. FT.	ACRES	% OF TOTAL AREA
PAVING- IMPERVIOUS SURFACE	71,779.34	1.647	100%
GRASS- PERVIOUS SURFACE	-	-	-
TOTAL SITE AREA	71,779.34	1.647	100%
POST-DEVELOPMENT			
	SQ. FT.	ACRES	% OF TOTAL AREA
BUILDING	14,469.00	0.332	20%
PAVING- IMPERVIOUS SURFACE	46,337.34	1.063	65%
GRASS- PERVIOUS SURFACE	10,973.00**	0.252	15%
TOTAL SITE AREA	71,779.34	1.647	
PROPOSED BUILDING HEIGHT		(SEE ARCHITECTURAL PLANS)	
** REFER TO LANDSCAPE PLAN FOR POINT SYSTEM ALTERNATE COMPLIANCE			

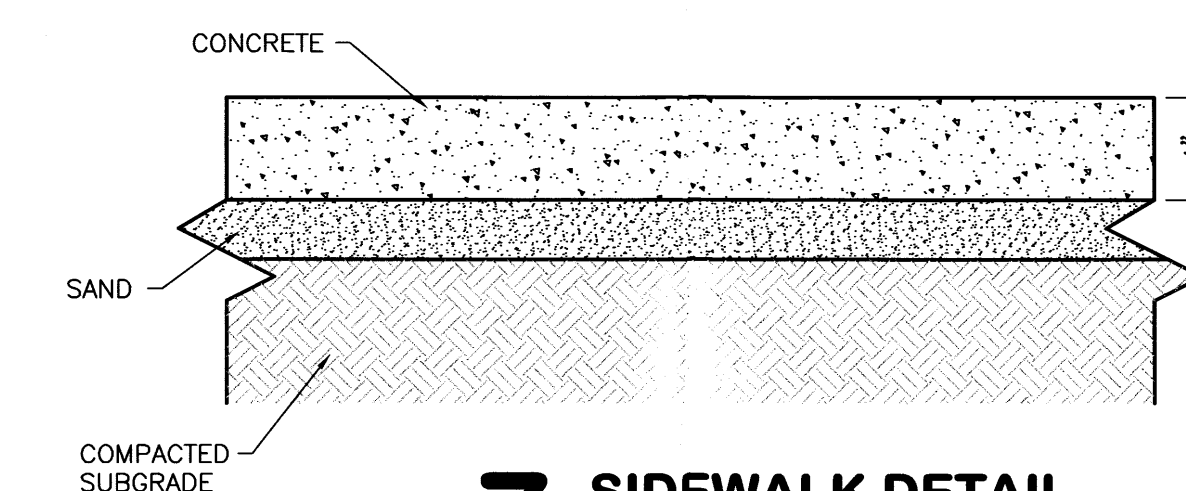
5 DRIVE THRU & RAISED CONCRETE BARRIER

SCALE: 1" = 10'



6 SECTION A-A

NOT TO SCALE

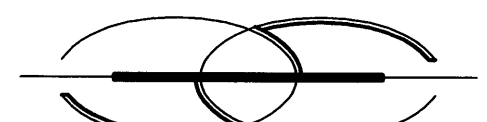


7 SIDEWALK DETAIL

NOT TO SCALE

Walgreens

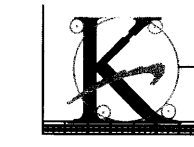
FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL 60015
847-940-2500



Timothy M. Gallup

Architect of Record

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(918) 584-8855 • (918) 584-2880 FAX
cgc@calahangallup.com (e-mail)



Khouri Engineering, Inc.

Civil Engineering - Land Development

1435 East 41st Street Tel 918.712.8768
Tulsa, OK 74105 Fax 918.712.1069
CA #3751, Renewal 06-30-05

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

☐ WALGREENS' CONSULTANT ☐ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:

☐ WALGREENS' CONTRACTOR ☐ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE BUILDING

NEW..... ☐ REMODELING..... ☐ RELOCATION..... ☐ OTHERS..... ☐

NEW..... ☐ NEW..... ☐ EXISTING..... ☐ NEW SHELL ONLY..... ☐

8 LEGAL DESCRIPTION

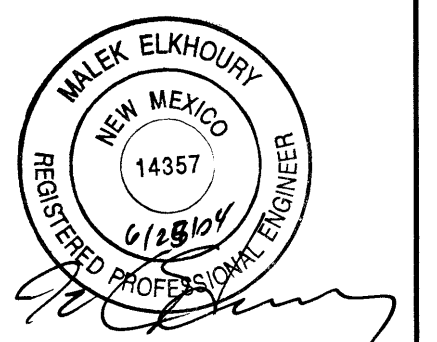
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PROJECT NAME
(NEC) WYOMING BLVD & INDIAN SCHOOL RD. ALBUQUERQUE, NM

DRAWING TITLE

SITE PLAN

DATE 6/24/04 CRITERIA-FISCAL 2004	STORE NO. # 09213	DRAWING NO. C1.1
DRAWN BY: KET	SCALE: AS SHOWN	OF 10 DWGS.
REVIEWED BY: MEE		