

CITY OF ALBUQUERQUE



July 11, 2007

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: Baldridge Storage Units Drainage and Grading Plan
Engineer's Stamp dated 6-27-07 (H20/D040)

Dear Mr. Bobrick,

Based upon the information provided in your submittal dated 6-27-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This is the plan to certify for release of Certificate of Occupancy.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 11/28/2003rd)

PROJECT TITLE: BALDRIDGE STORAGE UNITS – Phase I ZONE MAP / DRG. FILE #: H-20 / D40
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: SOUTHEASTERLY PORTION OF LOT 12, BLOCK 141, SNOW HEIGHTS ADDITION, ALBUQUERQUE, NM
CITY ADDRESS: _____

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: SCOTT MCGEE
ADDRESS: 128 Monroe St. NE PHONE: 268-8828
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: Albuquerque, New Mexico ZIP CODE: _____

SURVEYOR: Forstbauer Surveying, Co. CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: Albuquerque, New Mexico ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

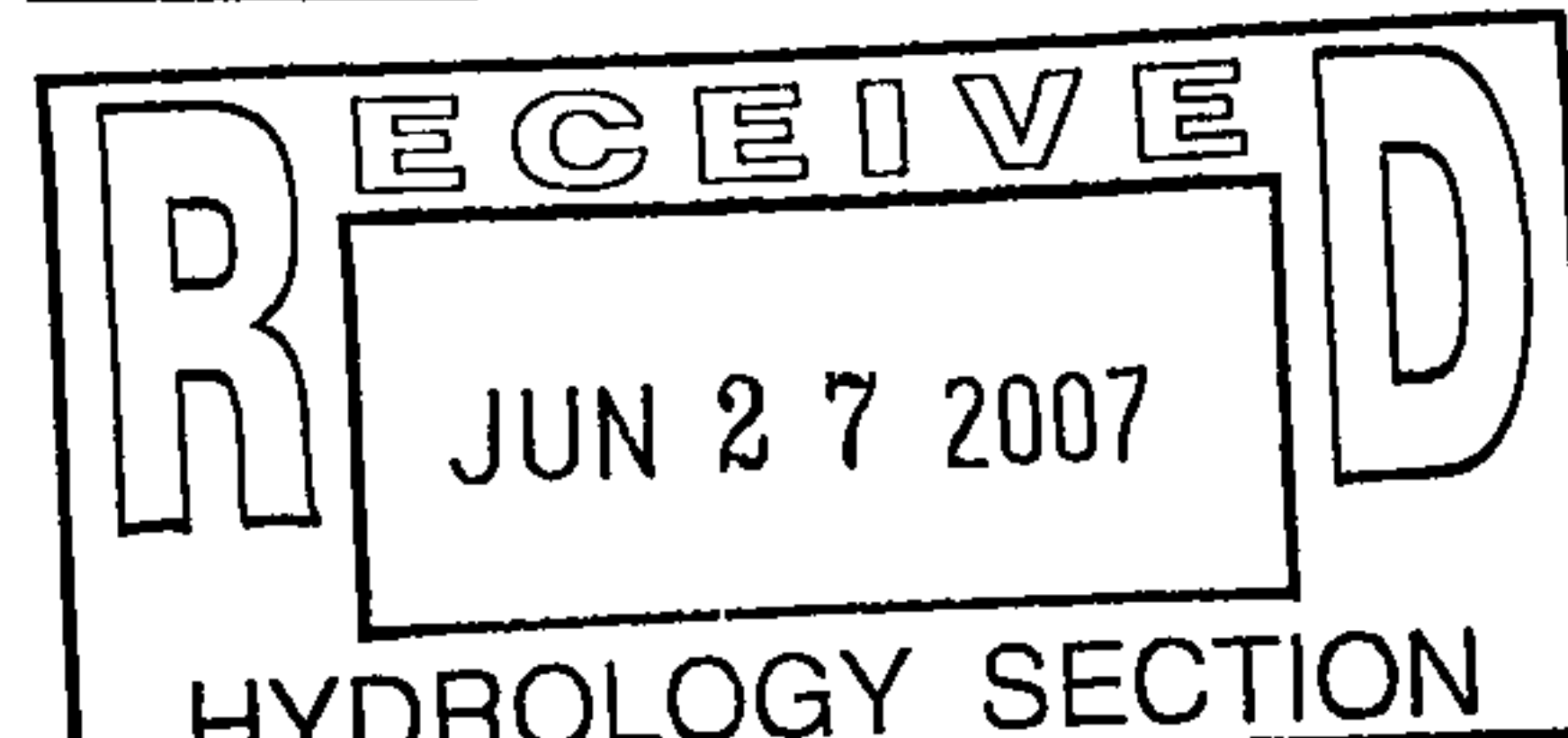
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED



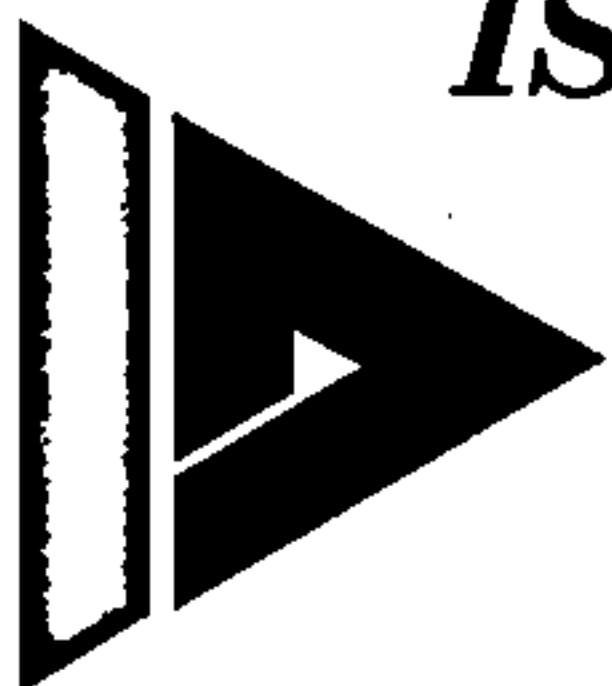
DATE SUBMITTED: Tuesday, June 26, 2007

BY: SCOTT MCGEE

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

June 26, 2007

Mr. Curtis A. Cherne and
Mr. Bradley L. Bingham
City of Albuquerque Hydrology Dept.
PO Box 1293
Albuquerque, NM 87103

RE: REVISED DRAINAGE / GRADING PLAN FOR BALDRIDGE STORAGE UNITS
(H20/D40)

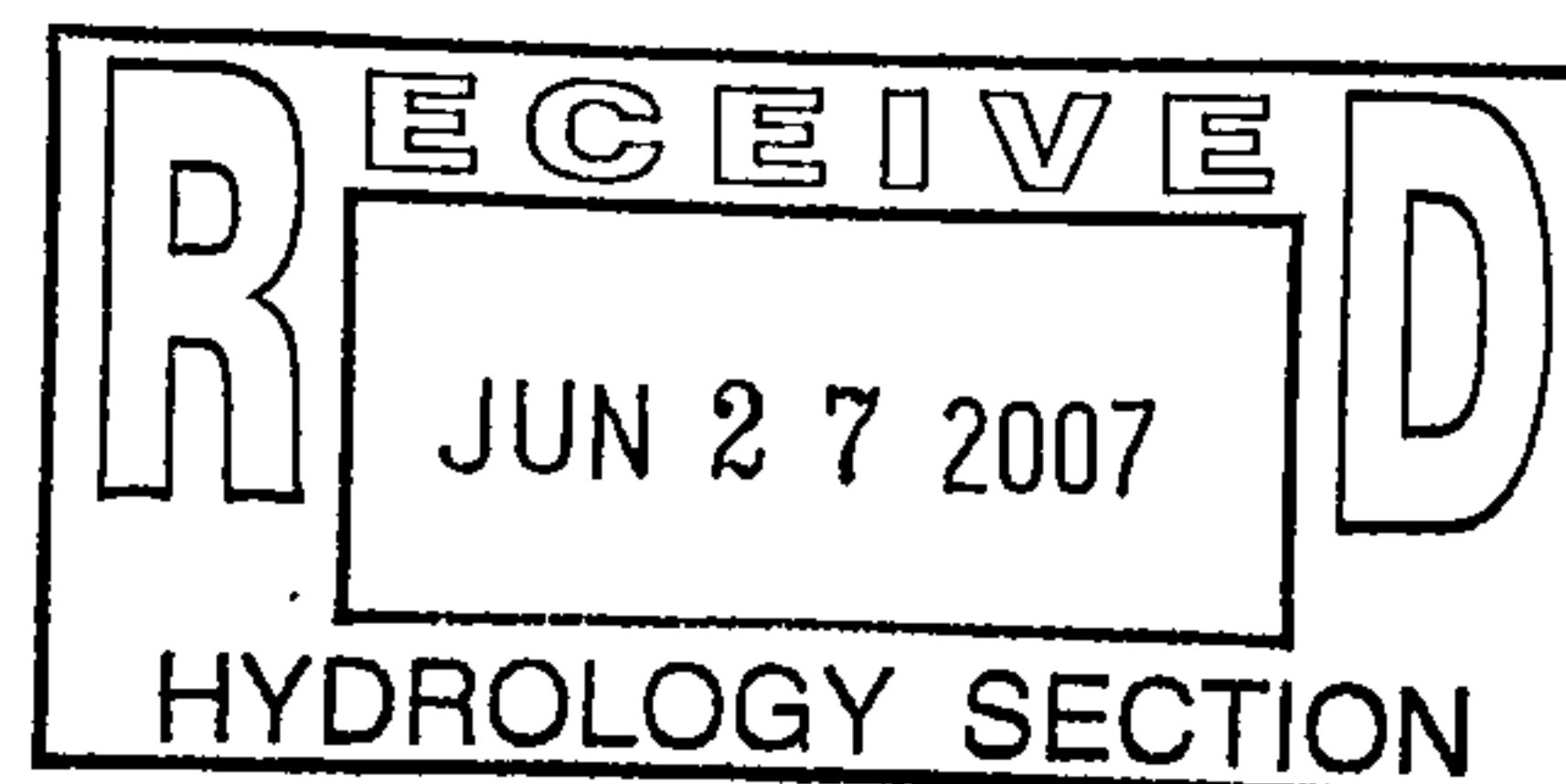
Dear Mr. Cherne and Mr. Bingham,

Based on site plan revisions from the Architect, we are submitting a copy of our revised Drainage / Grading Plan for the above mentioned project. Revisions were made to the east driveway entrance from Indian School Road NE and to the eastern end of the building closest to Indian School Road NE. The attached Rock Plating detail was provided by George Rainhart's office in response to a Zoning concern about building height within a certain distance from the residential area to the east. Neither drainage patterns nor runoff rates were significantly impacted by this minor revision.

Please don't hesitate to call me with any questions or comments.

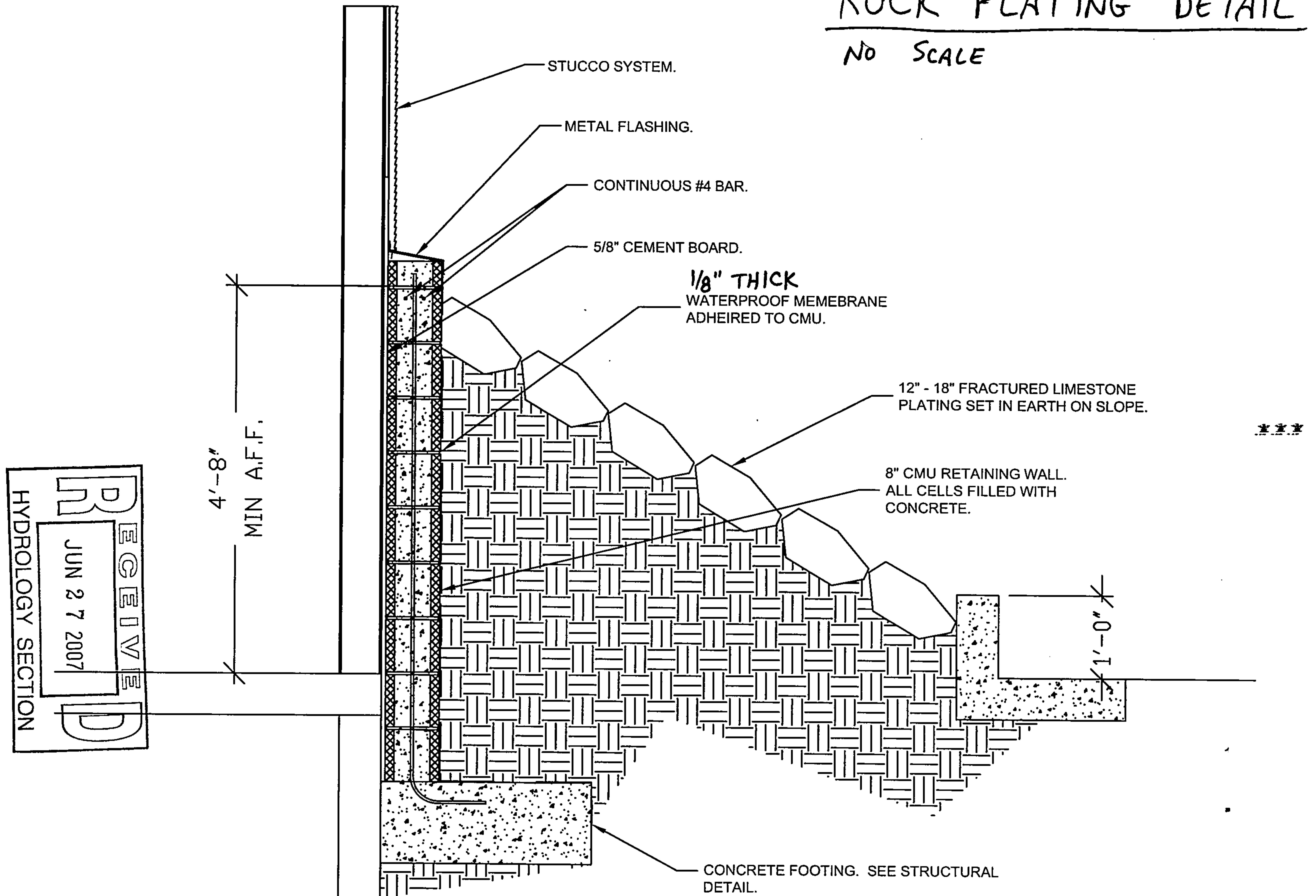
Sincerely,

ISAACSON & ARFMAN, P.A.
Scott M. McGee, PE
President



ROCK PLATING DETAIL

NO SCALE



CITY OF ALBUQUERQUE



July 7, 2006

Mr. Fred Arfman, P.E.
ISAACSON & ARFMAN, PA
128 Monroe St. NE
Albuquerque, NM 87108

Re: BALDRIDGE STORAGE UNITS, PHASE I
8531 Indian School Rd. NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 05/03/2006 (H-20/D40)
Certification dated 07/06/2006

Dear Fred:

Based upon the information provided in your submittal received 07/07/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: C.O. Clerk
File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: BALDRIDGE STORAGE UNITS - Phase I

ZONE MAP / DRG. FILE #: H-20 / D40

DRB #: _____ EPC #: _____

WORK ORDER #: _____

LEGAL DESCRIPTION: SOUTHEASTERLY PORTION OF LOT 12, BLOCK 141, SNOW HEIGHTS ADDITION, ALBUQUERQUE, NM
CITY ADDRESS: 8531 LSR NE

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: Bryan Bobrick

PHONE: 268-8828

ZIP CODE: 87108

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: Albuquerque, New Mexico

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: Forstbauer Surveying, Co.

ADDRESS: _____

CITY, STATE: Albuquerque, New Mexico

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*

☐ DRAINAGE PLAN RESUBMITTAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION (HYDROLOGY)

☐ CLOMR / LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ ENGINEER'S CERTIFICATION (TCL)

☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY (PERM)

☐ CERTIFICATE OF OCCUPANCY (TEMP)

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☐ NO

☐ COPY PROVIDED

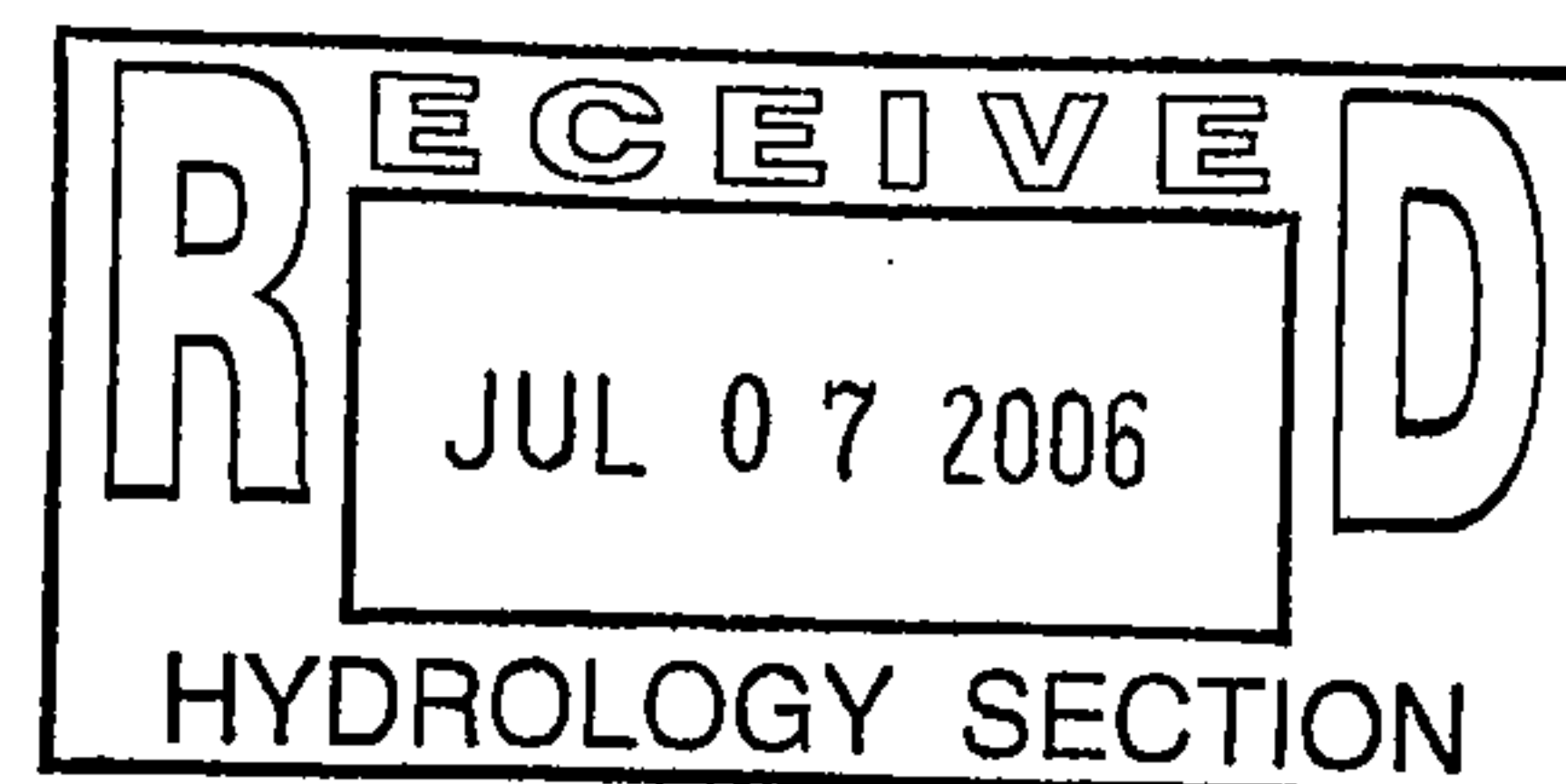
DATE SUBMITTED: Thursday, July 06, 2006

BY: Bryan Bobrick

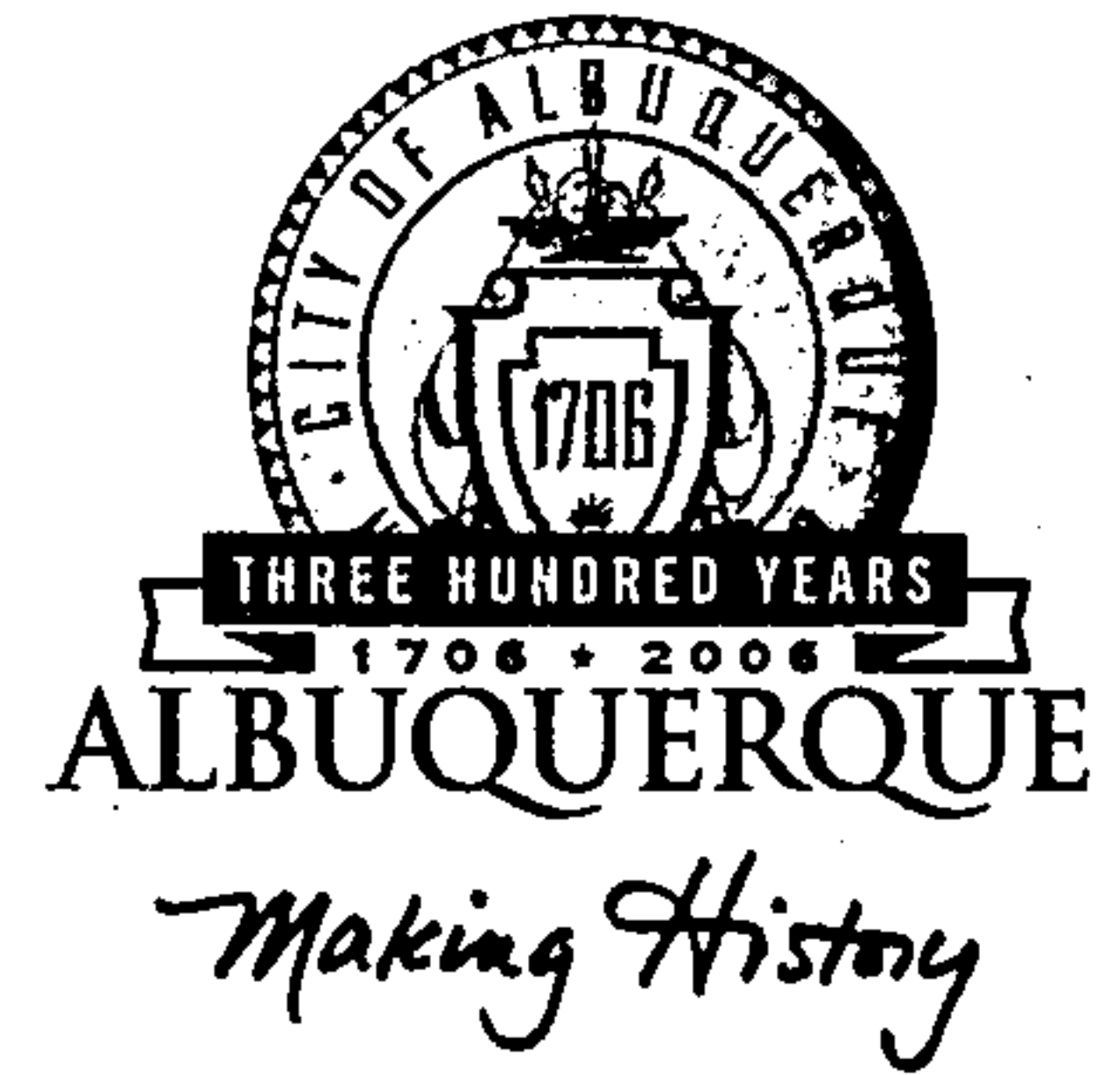
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



CITY OF ALBUQUERQUE



April 28, 2006

Scott M. McGee, PE
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: Baldridge Storage Units Grading and Drainage Plan
Engineer's Stamp dated 4-11-06 (H20/D40)

Dear Mr. McGee,

Based upon the information provided in your submittal dated 4-11-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Note 12 stating to replace the Type "A" inlets with Double "D" inlets needs to be modified to include reference to the replacement being accomplished via the Work Order process. I apologize that this was approved in error last November.
- The block wall shown constructed in the alley on the south end should be shown in the proper location. The alley cannot be blocked.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne
Engineering Associate, Planning Dept.
Development and Building Services

B2B

C: file

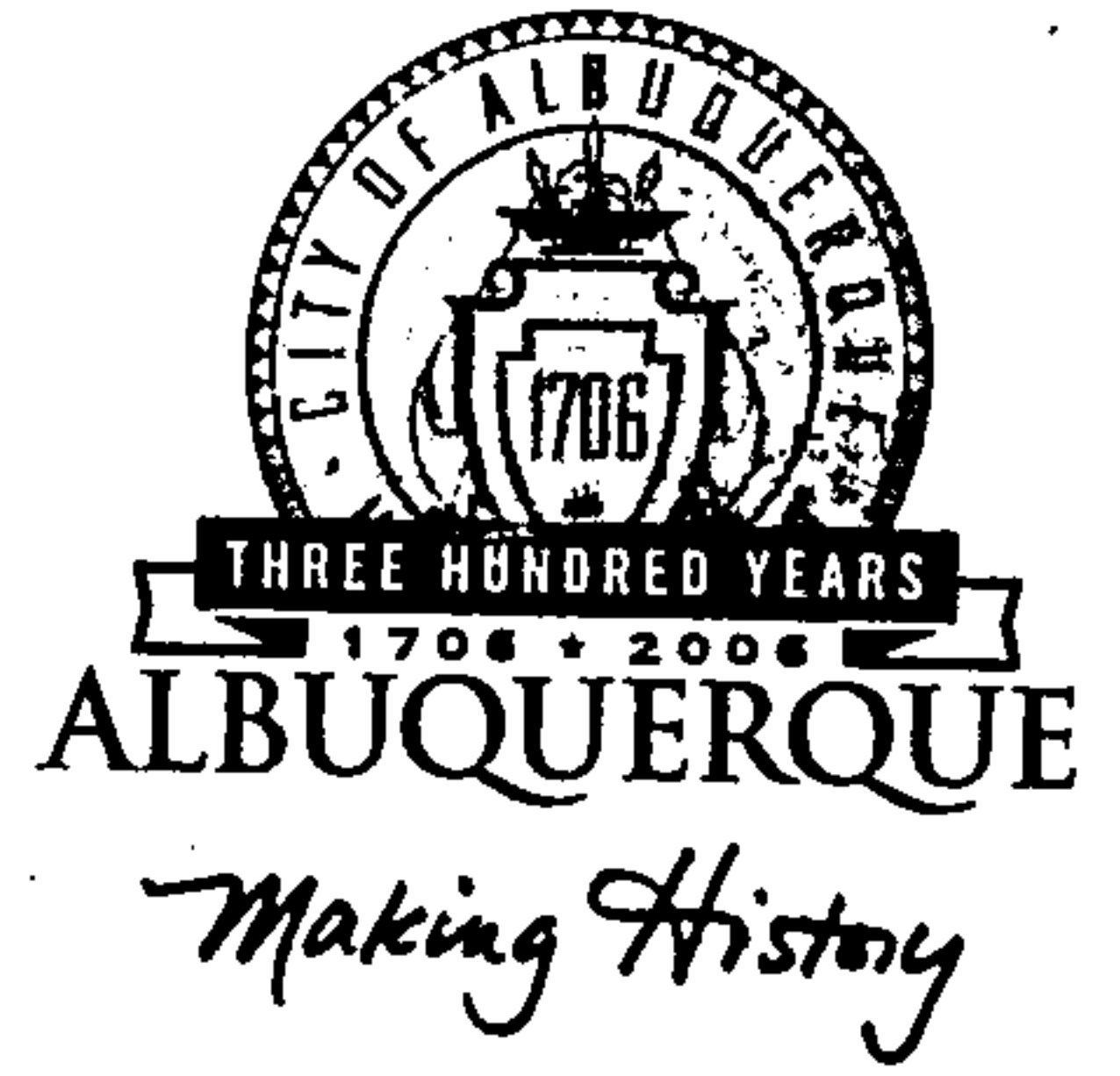
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



November 21, 2005

Scott M. McGee, PE
Isaacson & Arfman, PA
128 Monroe St. NE.
Albuquerque, NM 87108

**Re: Baldridge Storage Units, Wyoming/Indian School
Grading and Drainage Plan
Engineer's Stamp dated 11-14-05 (H20/D40)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 11-14-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required. Alley Improvements will be required and must be accomplished by the City Work Order process.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3986.

www.cabq.gov

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Building and Development Services

C: Charles Caruso
CC: File

CITY OF ALBUQUERQUE



May 11, 2006

Bryan Bobrick, PE
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: Baldridge Storage Units Grading and Drainage Plan
Engineer's Stamp dated 5-3-06 (H20/D40)

Dear Mr. Bobrick,

Based upon the information provided in your submittal dated 5-4-06, the above referenced plan is approved for Building Permit and Work Order. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions please visit <http://www.cabq.gov/flood/npdesm.html> or feel free to call the Municipal Development Department Hydrology Section at 768-3654 (Charles Caruso).

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

bm

C: file
Charles Caruso, DMD

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 6, 2007

George R. Rainhart, Registered Architect
2325 San Pedro NE, Ste. 2-B
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Baldrige Storage Units, [H-20 / D40]
8531 Indian School NE
Architect's Stamp Dated 06/06/07

Dear Mr. Rainhart:

The TCL / Letter of Certification submitted on June 6, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: BALDRIDGE STORAGE UNITS ZONE MAP/DRG. FILE # H 20 / D040
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT(S) 12, BLOCK(S) 141, SNOW HEIGHTS ADDITION, ALB. NM.
CITY ADDRESS: 8531 INDIAN SCHOOL, ALB. NM 87112

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: GEORGE RAINHAUT ARCHITECT & ASSOCIATES
ADDRESS: 2325 SAN PEDRO NE, SUITE 2-B
CITY, STATE: ALB, NM

CONTACT: JOHN C. SPITZ
PHONE: 884-9110 EXT 105
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

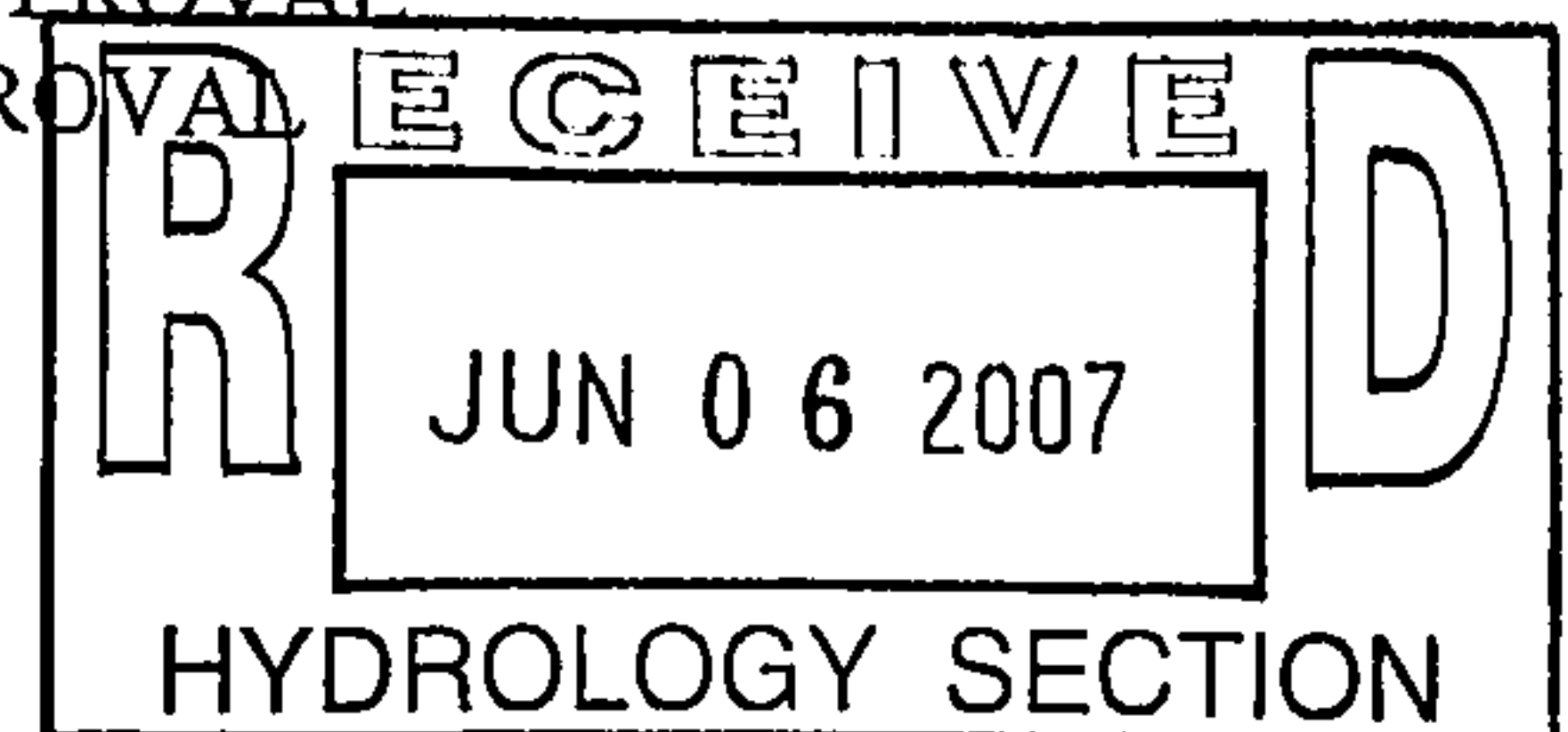
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: John C Spitz DATE: 6-5-07

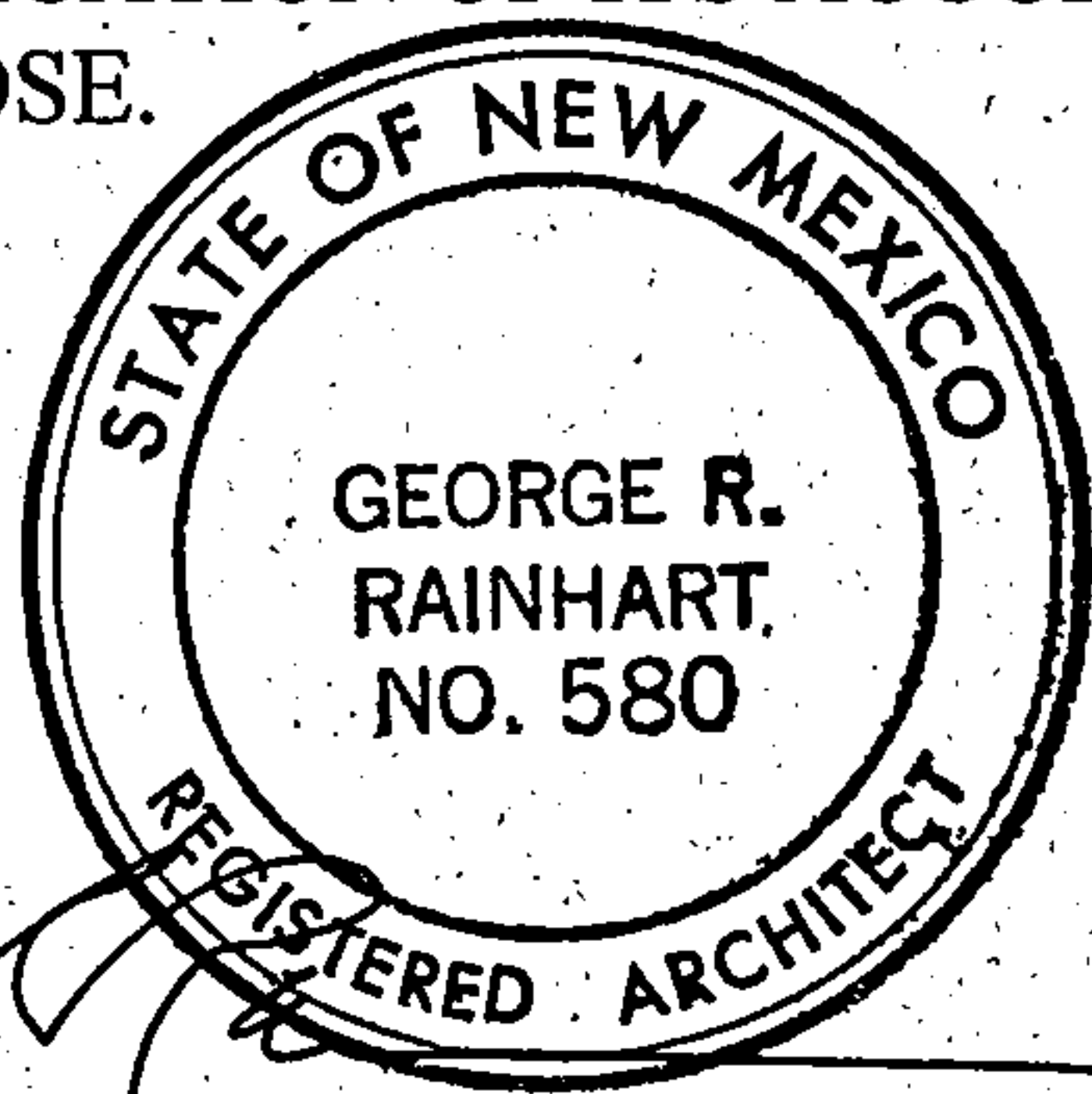
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

TRAFFIC CERTIFICATION

I, George Rainhart, NMPE OR NMRA No 580, OF THE FIRM George Rainhart Architect & Associates, HEREBY CERTIFY THAT THIS PROJECT HAS IS IN DESIGN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED September 9, 2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY John C. Spitz OF THE FIRM George Rainhart Architect & Associates. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON June 5, 2007 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy (Perm).

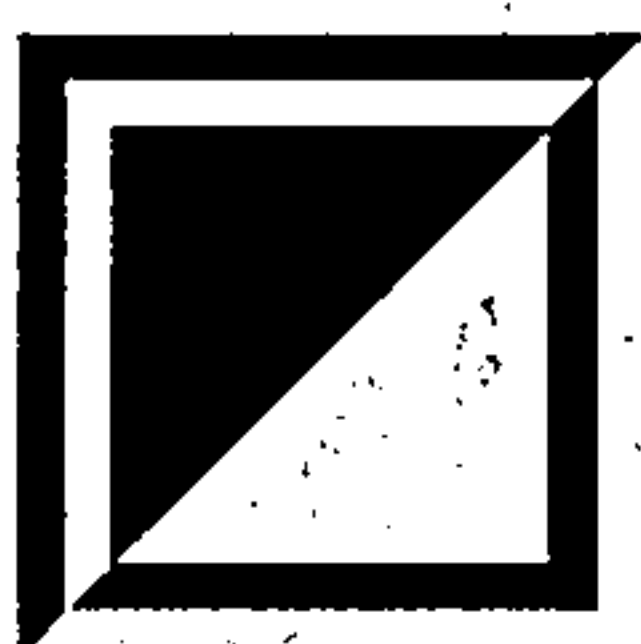
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



ENGINEER'S OR ARCHITECT'S STAMP

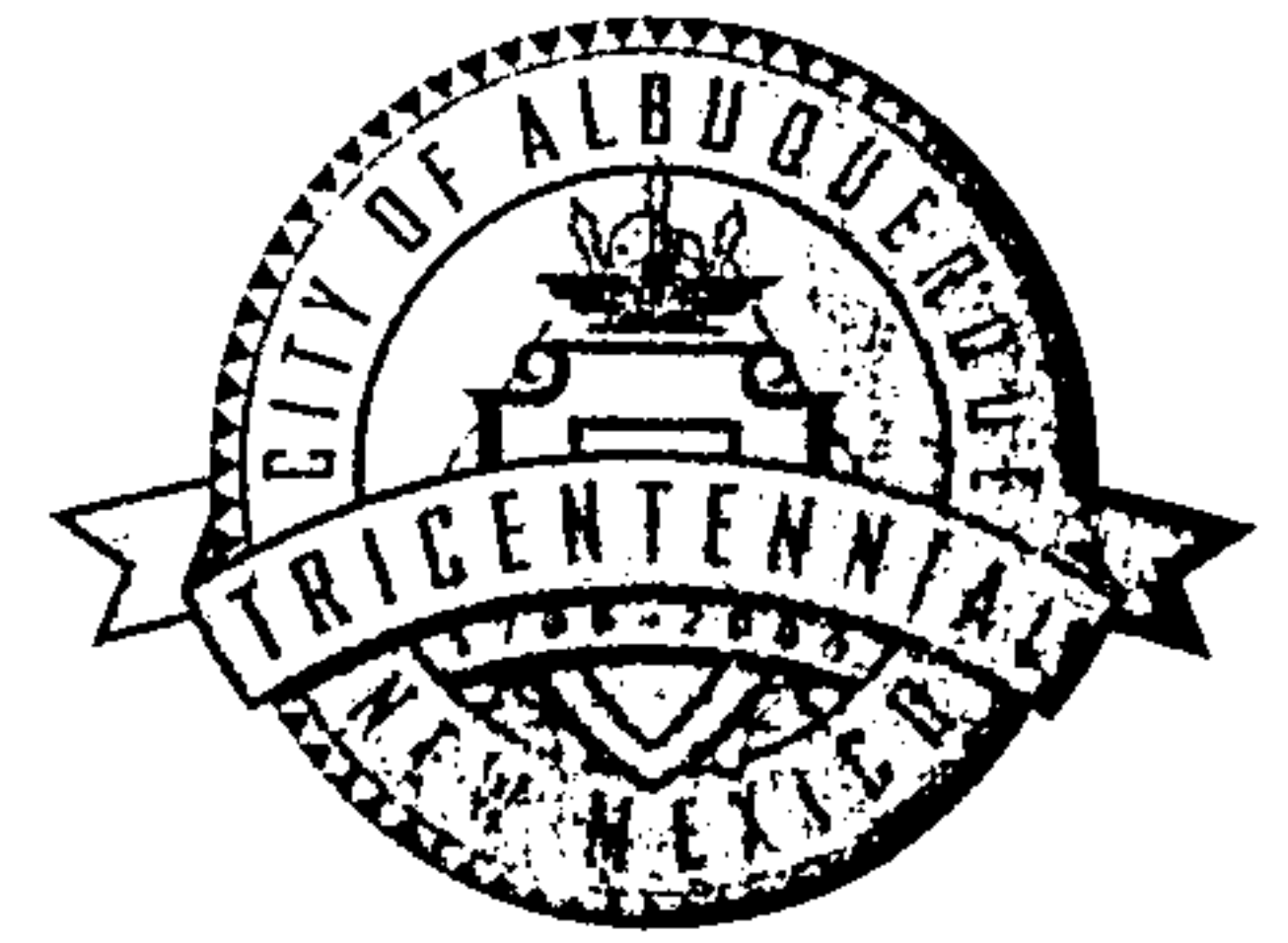
Signature of Engineer or Architect

6 7 0 7
Date



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

May 10, 2007

George R. Rainhart, Registered Architect,
George Rainhart, Architect & Associates P.C.
2325 San Pedro NE, Ste. 2-B
Albuquerque, NM 87110

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Baldrige Storage Units, [H-20 / D40]
8531 Indian School NE
Architect's Stamp Dated 05/08/07

Dear Mr. Rainhart:

Based on the information provided on your submittal dated May 9, 2007, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding signing and pavement markings (for one way orientation at east entrances to be in place) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.



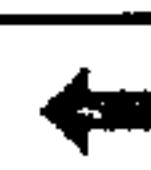








Sincerely,









Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department



c: Engineer
Hydrology file
CO Clerk

Control Central


History... 

 Clear C/Central  C/Central  Add Contact  Start Service  Stop Service  Add Payment  Add Pay Plan

 Make Arrangement  Account FA's  Add Person  Add Premise  User Preferences  Clear History  Clear Context



Account  5114209912 **Customer**  GODFREY,PAMELA

Cur/Payoff Bal \$41.47 / \$1,134.59

Premise  2820 RAYMAC RD SW ALBUQUERQUE NM 87105-6855,
Service Address

[Search](#) || [Account Information](#) || [Bills/Payments](#) || [Person Tree](#) || [Account Tree](#) || [Premise Tree](#) |

▼ **General Information**

[View All](#)  1-8 of 12 

Account Id Check Digit: 1

Latest Bill: 12/29/06, Complete, Due 01/15/07, \$41.47

Previous Bill: 11/22/06, Complete, Due 12/07/06, \$28.23

Last Payment: 12/06/06, Frozen, \$28.23



Next Bill Date: 01/26/07











Home Phone: (505) 265-3508




Premise Mail Addr: GODFREY,PAMELA / 2820 RAYMAC RD SW ALBUQUERQUE NM 87105-6855

Bill Cycle: 22 .

▼ **Alerts**

[View All](#)  1 of 1 

▼ Service Agreements Customize Find View All  First  1-2 of 2  Last				
<div> Main  More </div>				
Service Agreement	SA ID	Premise Info	Current	Payoff
WW/FLTRES - Wastewater Flat Rate Res, Active, 06/28/06	5114209071 	2820 RAYMAC RD SW ALBUQUERQUE NM 87105-6855, Service Address 	\$14.99	\$14.99
WW/UEC-V - Wastewater -UEC Valley Loan 7%, UEC-V-NEWRT, Active, 06/28/06	5114209173 	2820 RAYMAC RD SW ALBUQUERQUE NM 87105-6855, Service Address 	\$26.48	\$1,119.60

▼ Activity History Customize Find View All  First  1 of 1  Last	
Activity	Date

 [Related Links](#)

2-9-67
can from Scott McGee
Apprentice for Public Room

Concussion should be treated

Public 3-story building

Apprentice to be cast - training

Public

0 11-20 04

200-0000

Architect doing it

John Graham Plan

— want you to

— note how the it out

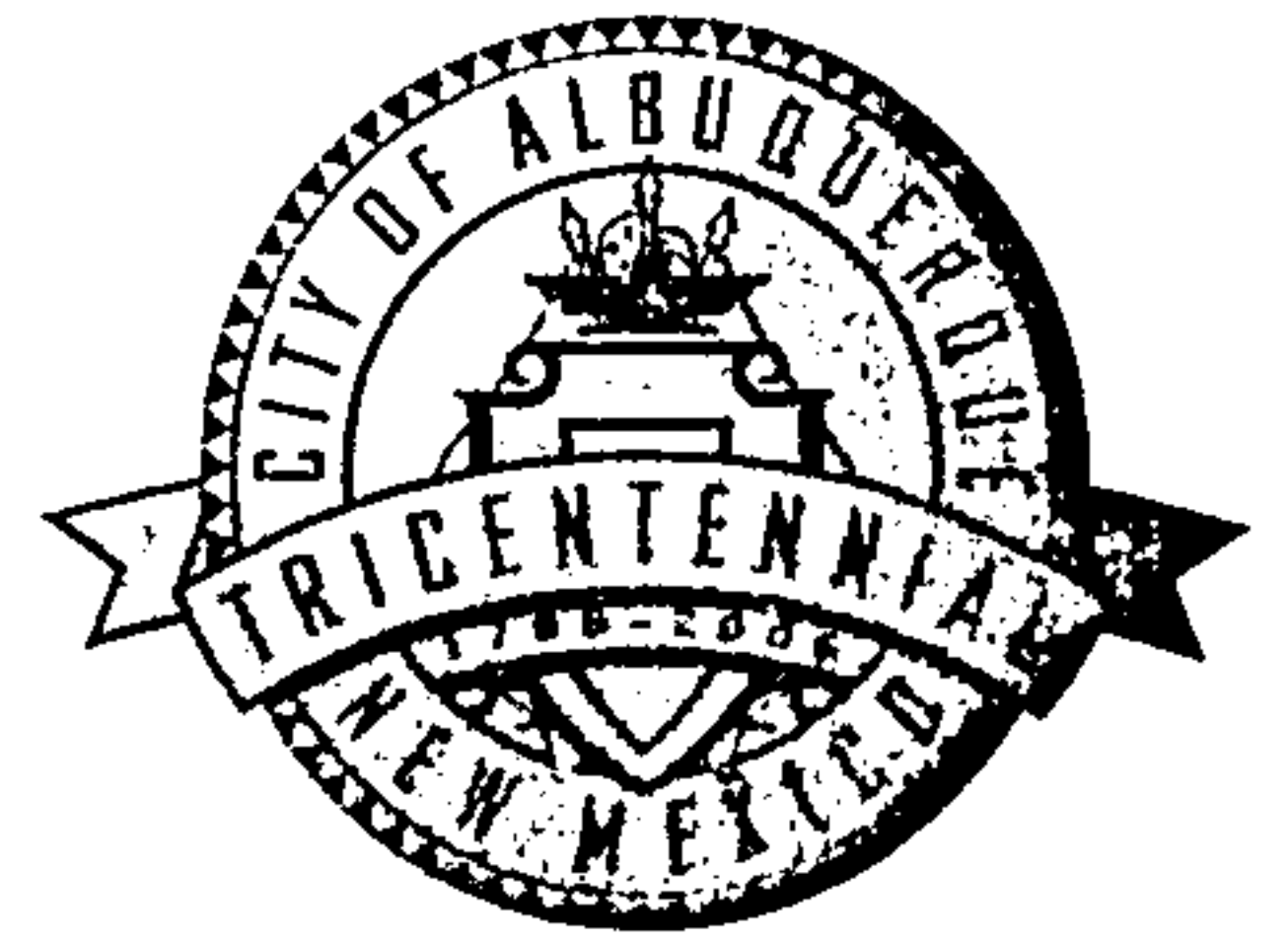
— note how the it out
Get why Scott
Car from him is

Car

Read

Architect

CITY OF ALBUQUERQUE



July 21, 2006

George Rainhart, R.A.
George Rainhart Architect & Associates
2325 San Pedro NE Suite 2-B
Albuquerque, NM 87110

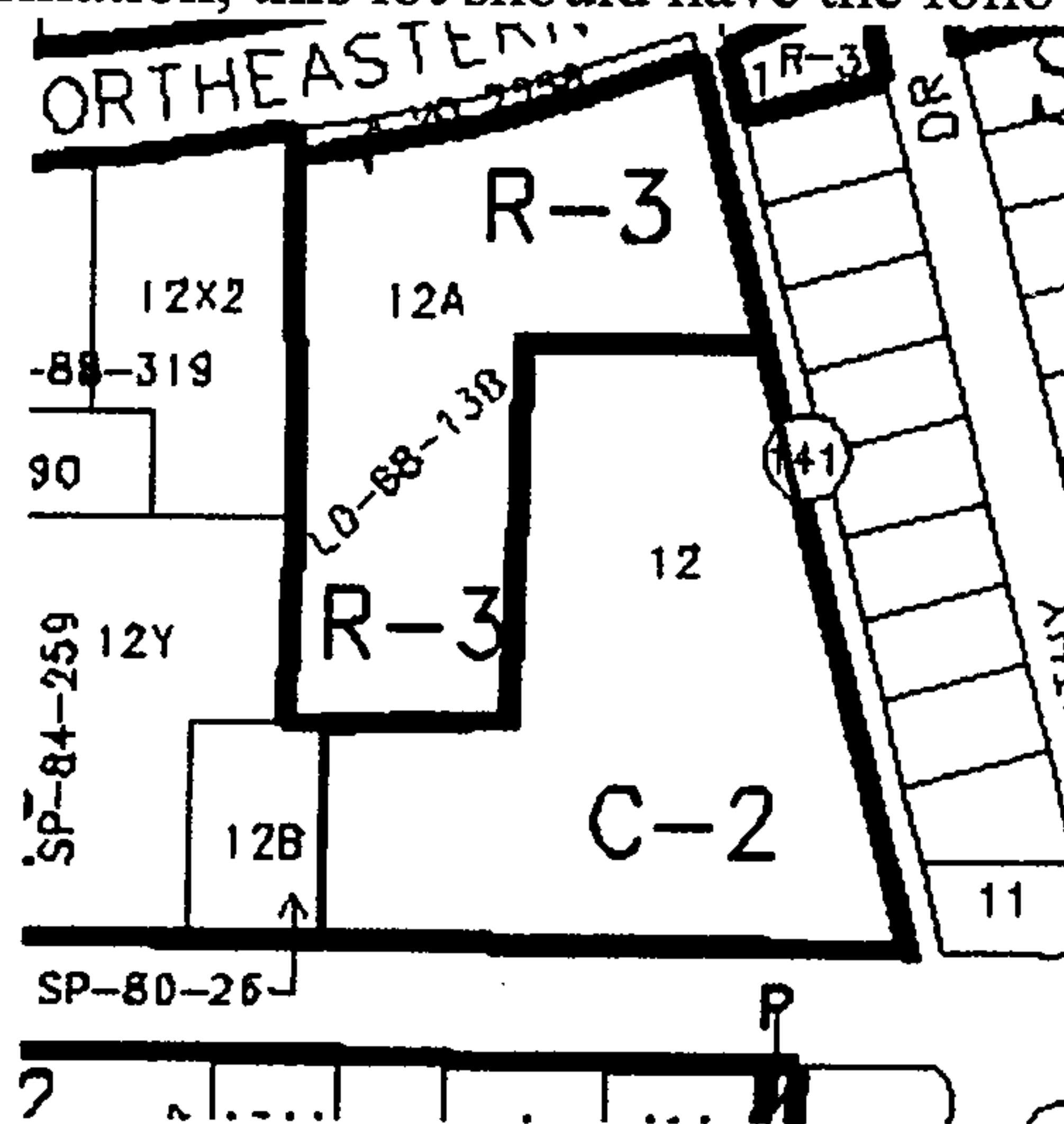
Re: Baldridge Storage Phase III, 8531 Indian School Road NE, Traffic Circulation Layout

Architect's Stamp dated 6-28-06 (H20-D40)

Dear Mr. Rainhart,

Based upon the information provided in your submittal received 7-11-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓ 1. Label all proposed and existing buildings.
2. The vicinity map does not match the site layout shown. Per the current platting information, this lot should have the following layout:



- ✓ 3. You appear to have a lot line located approximately 100 feet north of Indian School. The vicinity map does not show a lot line here; are you replatting this lot?
4. How is access provided to the storage units located in the northwest corner of the site?
5. Define the width of all sidewalks.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



6. Is the alley paved? How does the alley connect to Indian School? How will refuse get to the dumpster?
- ✓ 7. Please show the location of the nearest driveway on the adjacent lot.
- ✓ 8. Has the 20-foot AT&T easement been vacated? If not, a building cannot be placed within this easement.
- ✓ 9. Clarify existing versus proposed structures.
- 10. A sidewalk easement is needed for the wheelchair ramp located in the southwest corner of the site.
- ✓ 11. Does the building just south of the dumpster really cross over the lot line into the alley?
- ✓ 12. Has Hydrology approved the placement of drainage inlets within the vehicle path?

If you have any questions, you can contact me at 924-3981.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: BALDRIDGE STORAGE-Phase III ZONE MAP/DRG. FILE #: H 20/D40
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT(S) 12, BLOCK(S) 141, SNOW HEIGHTS ADDITION, ALB, NM.
CITY ADDRESS: 8531 INDIAN SCHOOL RD, ALB, NM 87112

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: GEORGE RAINHART ARCHITECT
ADDRESS: 2325 SAN PEDRO SUITE 2-B
CITY, STATE: ALB, NM

George Rainhart, R.A.
CONTACT: JOHN SPITZ
PHONE: 884-9110 EXT 105
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

Stamp date 6-28-06
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

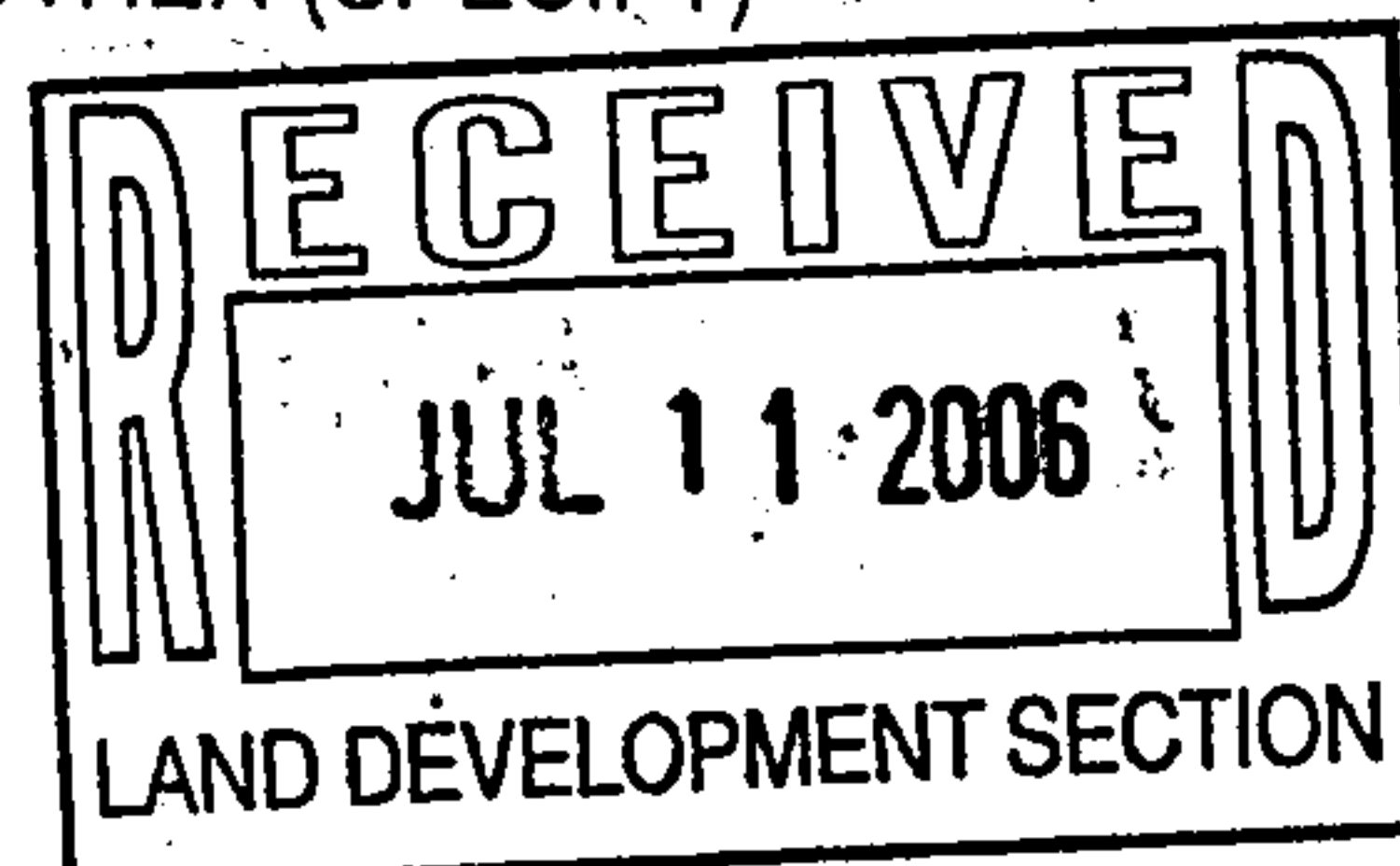
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 7-11-06

BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

Label all proposed and existing buildings
Vicinity map doesn't match site layout shown
NW units - how will they be accessed?

Clarify ex'g vs proposed structures?

do there 2 lots? if so, where is the
paving for the storage units?

- Cross lot access easmt?

- do alley paved? How does it connect
to Indian School? How will
refuse access trash?

Has the 20' AT&T easmt been vacated?
can't put bldg on top of it

Refine width of sidewalk


Need SW easmt if ^{ramp} intrudes upon site

Check w/ Hydrology - why are inlets in the
vehicle path?

do a part of the bldg in the alley?

~~the~~

Where are the adjacent driveways



VI. CONCLUSIONS

25
R+3
1

NORTHEASTERN

NO
I
OK

210

12x1	12x2
------	------

22

5-8-53-19

061-188-57

UNJ

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101

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20

SP-80-26] INDIAN SCHOOL P

NO



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7107



LY



94

83-1-88-1

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 08, 2006

John Spitz
George Rainhart Architect & Associates
2325 San Pedro NE Ste 2-B
Albuquerque, NM 87110

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Offices and Warehouse for Baldrige Storage [H-20/D-40]
(8531 Indian School NE), Albuquerque, NM
Engineer's/Architect's Stamp Dated 09-08-2006

Dear Mr. Spitz,

The TCL submittal dated September 07, 2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal Metro, PE
Senior Engineer
Development and Building Services

cc: Hydrology file
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: BALDRIDGE STORAGE

ZONE MAP: H-20/10410

DRB#:

EPC#:

WORK ORDER#:

LEGAL DESCRIPTION: LOTS 12, BLOCK(S) 141, SNOW HEIGHTS ADDITION ALB, NM.

CITY ADDRESS: 8531 INDIAN SCHOOL RD NE, ALB NM

ENGINEERING FIRM:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT: GEORGE RAINHART ARCHITECT & ASSOCIATES

ADDRESS: 2325 SAN PEDRO NE, SUITE 2-B

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOHN SPITZ

PHONE: 884-9110 EXT 105

ZIP CODE: 87110

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1st SUBMITTAL

☐ DRAINAGE PLAN RESUBMITTAL

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERT (HYDROLOGY)

☐ CLOMR/LOMR

☒ Hold onto Approved TCL sets & B-pickup
☒ TRAFFIC CIRCULATION LAYOUT

☐ ENGINEER'S CERT (TCL)

☐ ENGINEER'S CERT (DRB SITE PLAN)

☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D APPROVAL

☐ S. DEV. FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY (PERM)

☐ CERTIFICATE OF OCCUPANCY (TEMP)

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

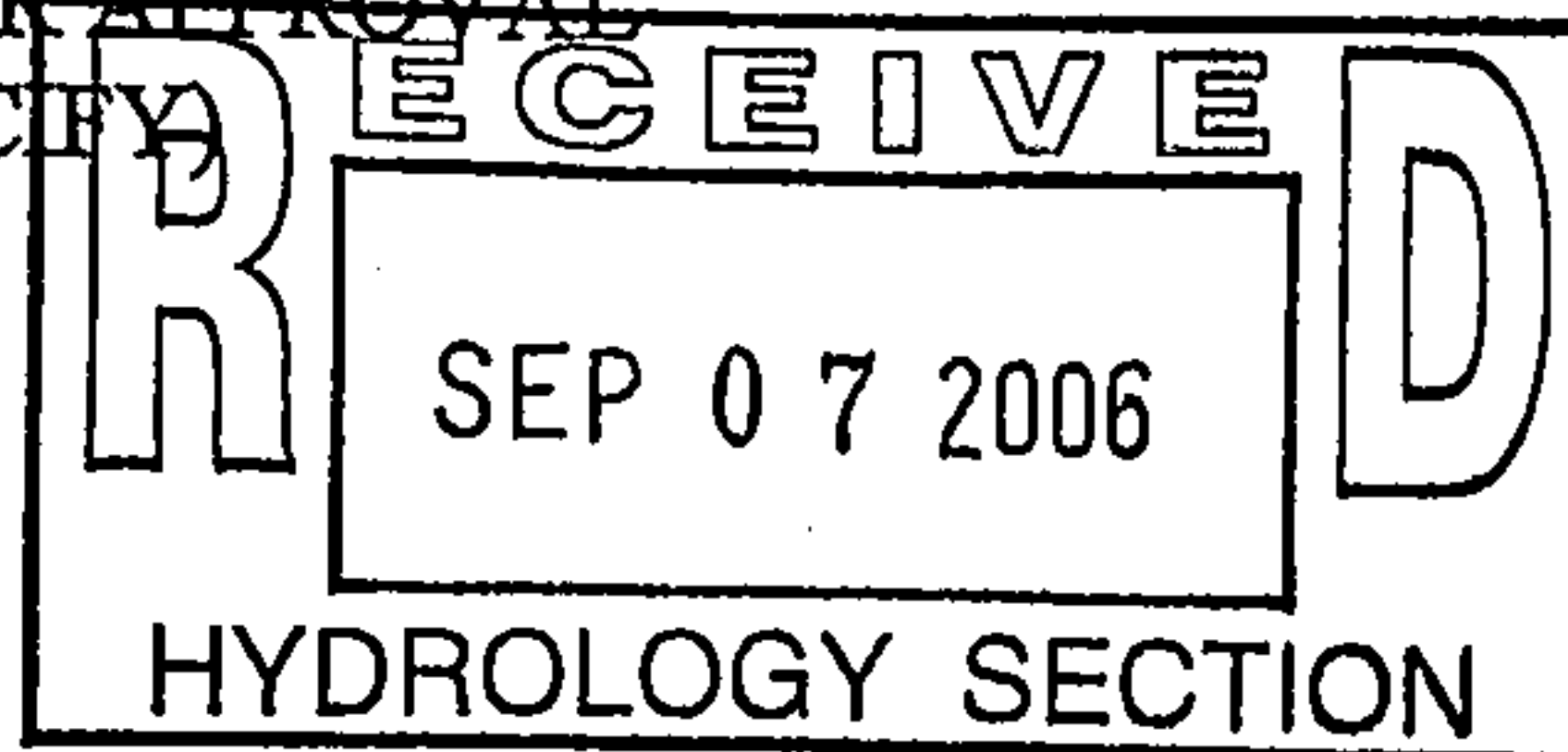
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☐ NO

☐ COPY PROVIDED



DATE SUBMITTED:

BY: 9-5-06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

- Call out all proposed items w/in the city ROW
to be built w/ work order
- Need a copy of refuse approval
- Why did you change the layout ~~of~~ of the HC spaces?
- Buildings w/ areas of 5761 ft² and 4386 ft²
are proposed, not existing
- copy of easement

PERMANENT EASEMENT

Grant of Permanent Easement, between A+ Properties, LLC ("Grantor"), whose address is 1911 Wyoming Blvd. NE, ABO, NM 87112 and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of Wheelchair Ramp, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantors property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall be subject to the City's right to modify or terminate the Easement as shown in the appropriate block below.

WITNESS my hand and seal this 29th day of June, 2006.

APPROVED:

[Signature]
City Engineer

7-12-06
Dated

By 7/11/06

GRANTOR:

[Signature]
(Individual)

GRANTOR: A+ Properties, LLC

By: [Signature]

Its: Member

(Corporation or Partnership)



Maru Herrera

Bern. Co. EASE

R 13.00

2006104328

6491891

Page: 1 of 3

07/13/2006 11:38A

BK-A128 Pg-4036

INDIVIDUAL

STATE OF _____)
COUNTY OF _____)ss

This instrument was acknowledged before me on _____ day of _____, 20____, by _____.

Notary Public

My Commission Expires:

CORPORATION

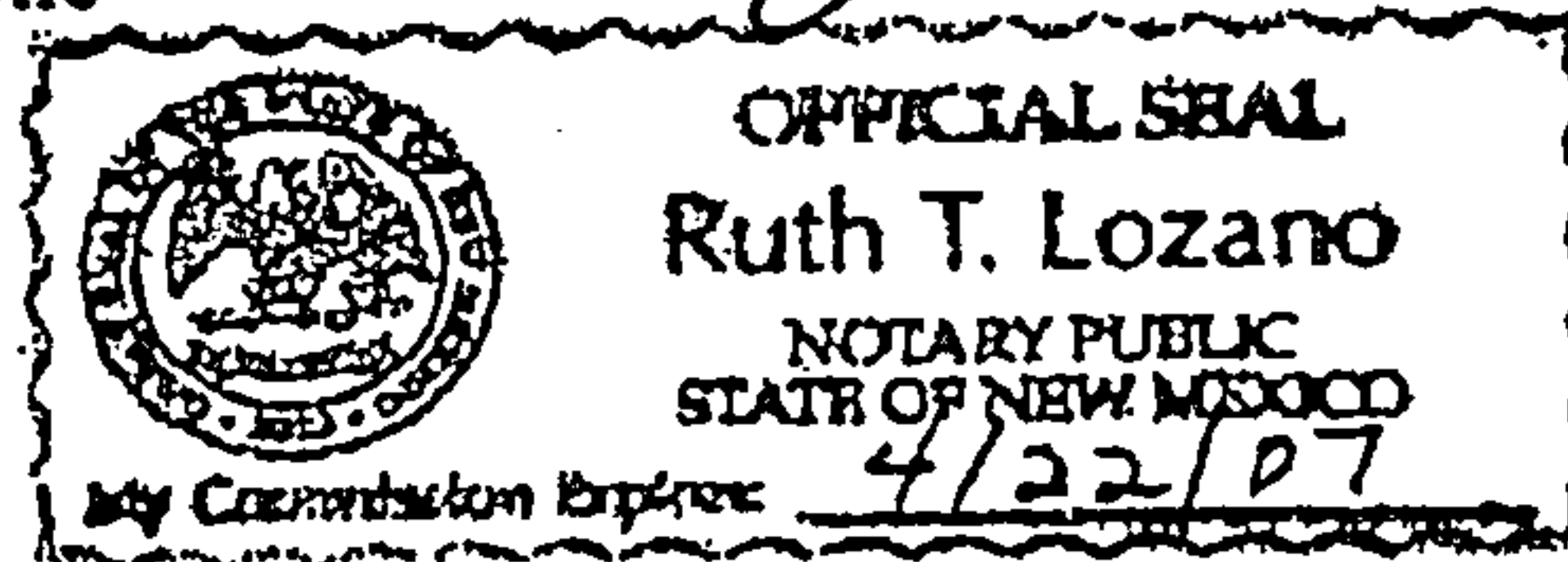
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)ss

This instrument was acknowledged before me on 29th day of JUNE, 2006, by John D. Petty, Member of A+ Properties, LLC, a New Mexico limited liability corporation, on behalf of the corporation.

Ruth T. Lozano
Notary Public

My Commission Expires:

4/22/07



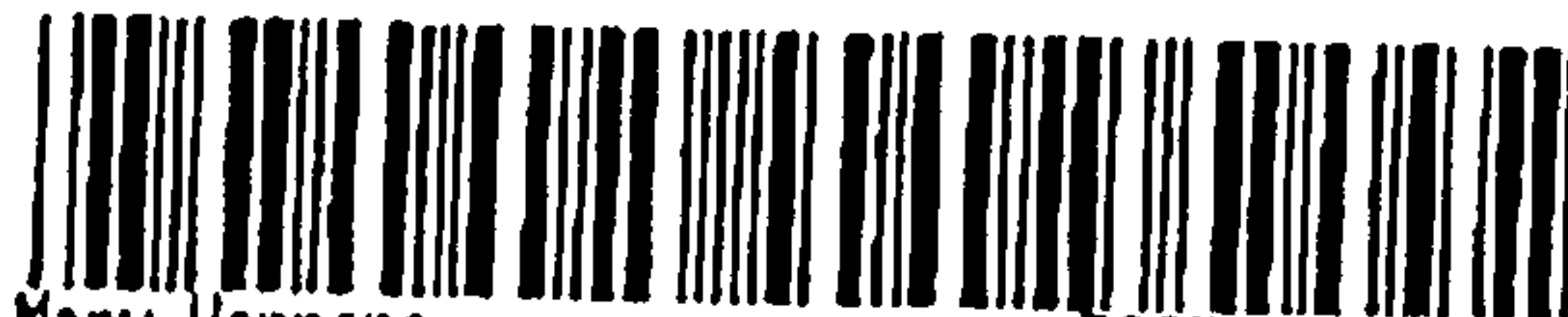
PARTNERSHIP

STATE OF _____)
COUNTY OF _____)ss

This instrument was acknowledged before me on _____ day of _____, 20____, by _____, partners(e), on behalf of _____, a partnership.

Notary Public

My Commission Expires:



Mary Herrera

Bern. Co. EASE

R 13.80

2006104328
6481891
Page: 2 of 3
07/13/2006 11:38A
Bk-A120 Pg-4036

(EXHIBIT 'A' ATTACHED)

Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being a portion of LOT 12, BLOCK 141, SNOW HEIGHTS ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on 2-11-1955 in Volume D01, Folio 135 and being more particularly described as a 10'x12' pedestrian sidewalk easement as follows:

BEGINNING at the southwest corner of said lot 12;

THENCE S 88°44'10" E, 47.92 feet to a point, said point being the true POINT OF BEGINNING of a 10'x12' pedestrian sidewalk easement;

THENCE continuing N 01°15'50" E, 10.00 feet to a point;

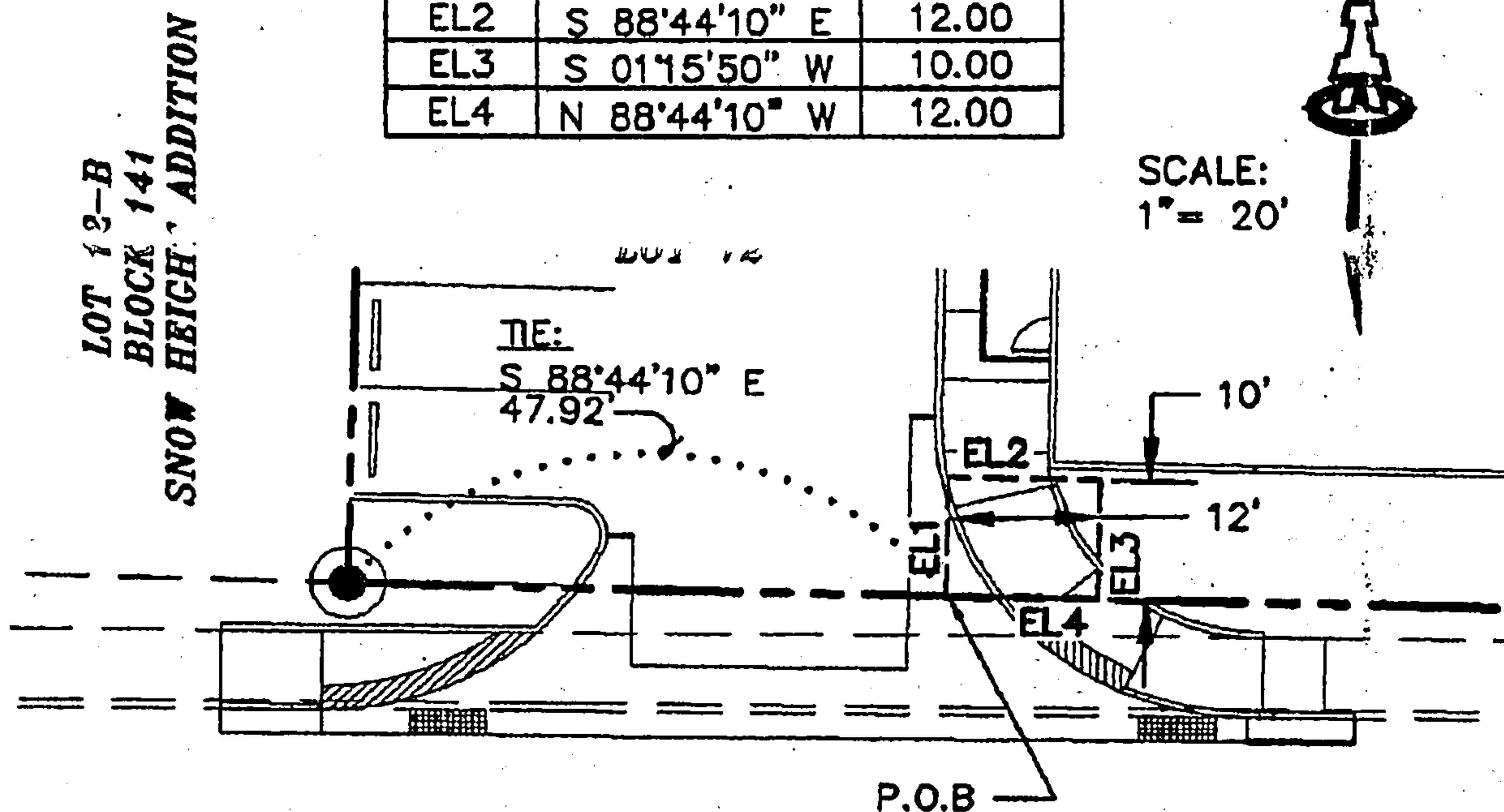
THENCE continuing S 01°15'50" W, 10.00 feet to a point;

THENCE continuing S 01°15'50" W, 10.00 feet to a point;

THENCE N 88°44'10" W, 12.00 feet to the POINT OF BEGINNING and containing 120 square feet, (0.0028 acres) more or less.

BASIS OF BEARING: SOUTH PROPERTY LINE OF SAID LOT 12: S 88°44'10" E

LINE TABLE		
LINE	BEARING	DISTANCE
EL1	N 01°15'50" E	10.00
EL2	S 88°44'10" E	12.00
EL3	S 01°15'50" W	10.00
EL4	N 88°44'10" W	12.00



INDIAN SCHOOL ROAD N.E.
(92' R/W)

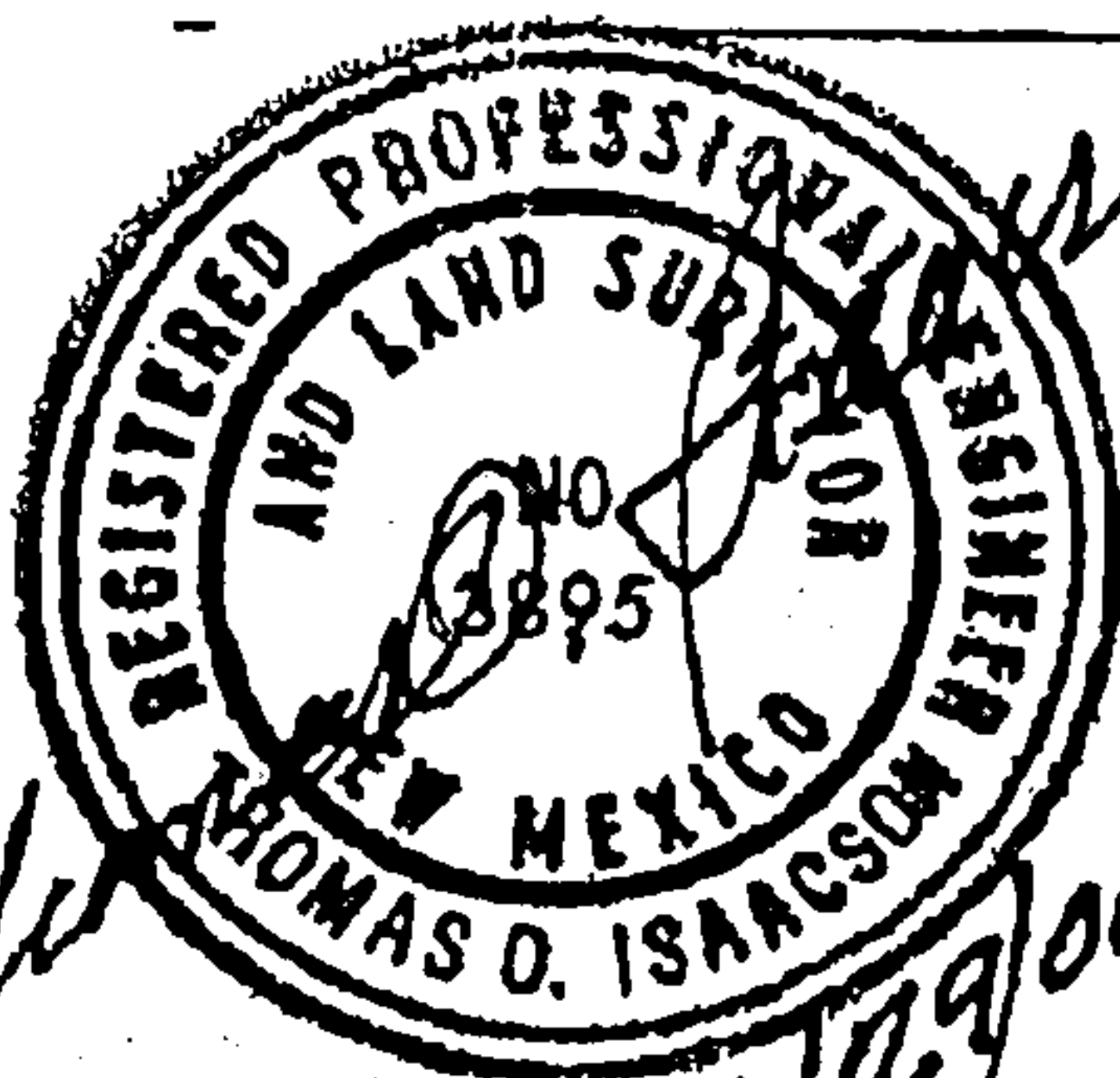


EXHIBIT 'A'

Page 1 of 1

1487ESMT-1.DWGdlp 06/29/06



Maru Herrera

Bern. Co. ERSE

R 13.00

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Page: 3 of 3

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