

CITY OF ALBUQUERQUE



October 22, 2020

Raymond Vigil, RA
Vigil & Associates
4477 Irving NW Suite A
Albuquerque, NM 87114

**Re: Albuquerque Fire Rescue Station # 9
9410 Menaul Blvd NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 3-28-19 (DRB) (H20D043)
Certification dated 10-6-20**

Dear Mr. Vigil,

Based upon the information provided in your submittal received 10-20-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.

OCTOBER 6, 2020

ERNEST P. GOMEZ
PLANNING DEPARTMENT,
CITY OF ALBUQUERQUE
ALBUQUEURQUE, NM 87107

RE: ALBUQUERQUE FIRE RESCUE STATION 9

I, RAYMOND VIGIL, NMRA #004027, OF THE FIRM VIGIL AND ASSOCIATES ARCHITECTURAL GROUP, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED DRB PLAN DATED MARCH 28, 2020.

I FURTHER CERTIFY THAT I HAVE SENT KEVIN DEGRAAUW, AIA, A REPRESENTATIVE OF THIS OFFICE TO PERSONALLY VISIT THE PROJECT SITE ON WEDNESDAY SEPTEMBER 30, 2020. KEVIN HAS DETERMINED BY VISUAL INSPECTION THAT THE SITE DEVELOPMENT PLAN IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF KEVIN'S AND MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

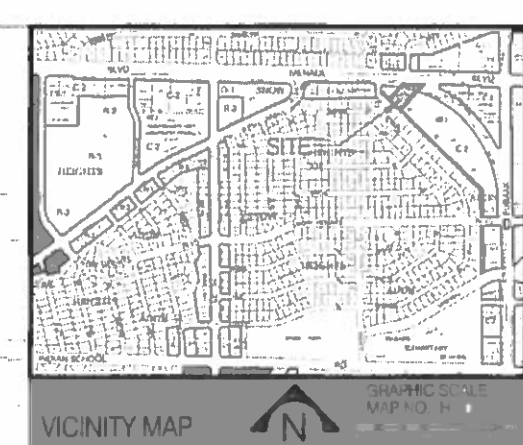
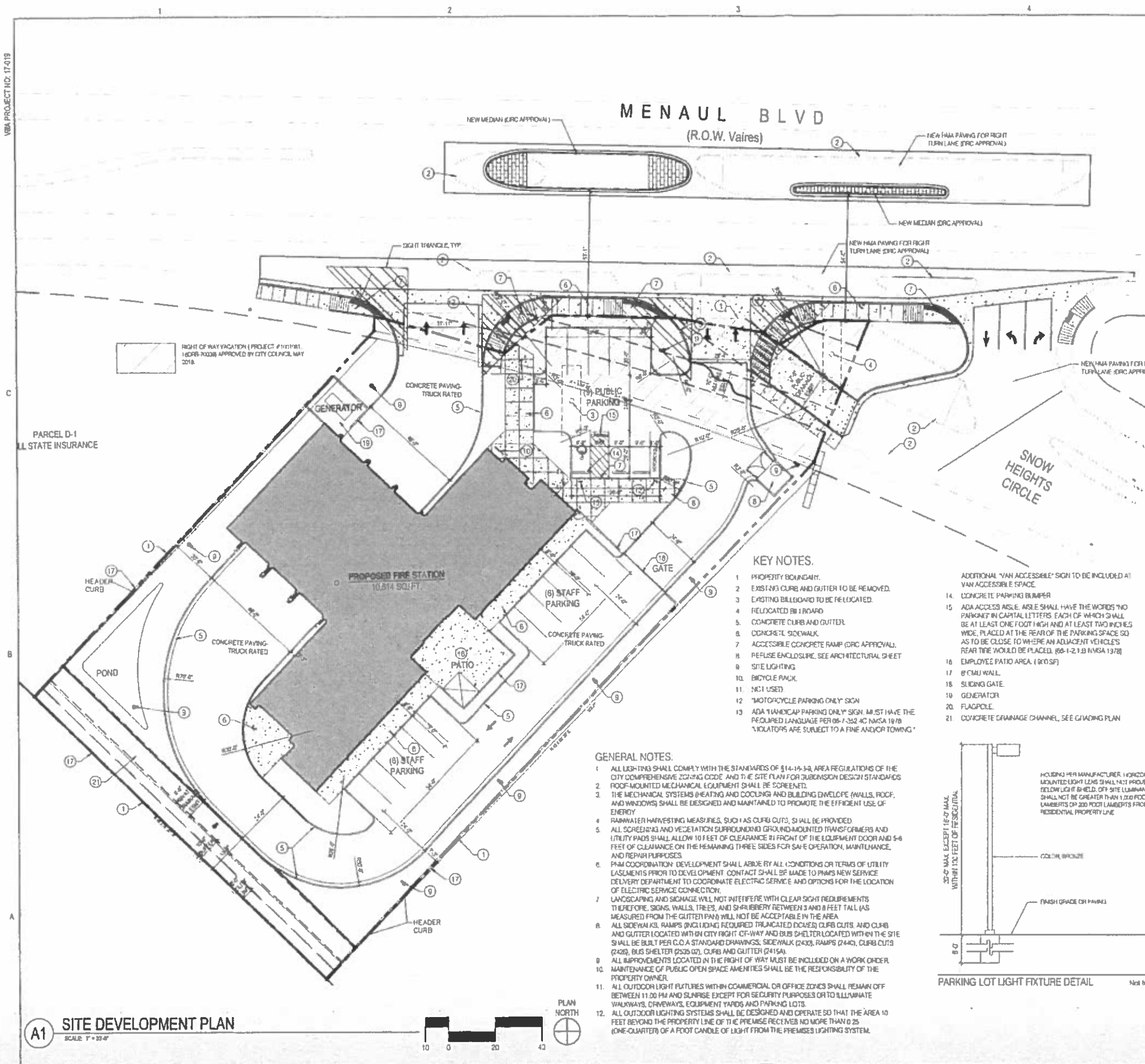
SITE DEVELOPMENTS PLANS WERE SIGNED ON MARCH 28, 2020 AND ARE ATTACHED TO THIS LETTER. THE APPROVED PERMIT SET PER ATTACHED SHEET AS-101 ALSO CONFIRMS THE LAYOUT- THUS THE OVERALL DESIGN INTENT IS PRESERVED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SIGNATURE OF ENGINEER OR ARCHITECT



ENGINEER'S OR ARCHITECT'S STAMP



SITE DATA:
LEGAL DESCRIPTION: PORTION OF PARCEL D WITHIN LOT 23 BLOCK 31 SNOW HEIGHTS ADDITION
ADDRESS: 9500 SNOW HEIGHTS CIRCLE NE
TOTAL SITE AREA: 1.24 ACRES (INCLUDES VACATED R.O.W.)
EXISTING ZONING: C-2 PROPOSED ZONING: SU-1 FOR FIRE STATION
LAND USE: COA FIRE STATION #9
BLDG AREA: 10,731 S.F.
PARKING: PUBLIC PARKING REQUIREMENT CALCULATED AT 1 SPACE PER EVERY 4 SEATS IN THE PUBLIC MEETING ROOM.
PUBLIC PARKING SPACES REQUIRED/PROVIDED: 5/8
STAFF PARKING SPACES: 12
HANDICAPPED REQUIRED/PROVIDED: 1/1
TOTAL PROVIDED PARKING: 21
MOTORCYCLE REQUIRED/PROVIDED: 1/1
BICYCLE REQUIRED/PROVIDED: 1/3
PROJECT NUMBER: 1001051
Application Number: 18EPC-40037
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated October 11, 2018 and the Findings and Conditions in the Official Notification of Decision are satisfied.
Is an Infrastructure List required? (X) Yes () No. If yes, then a set of approved DMC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

<i>Roguel M. Alvarado</i> Traffic Engineering, Transportation Division ABQWLA N/A Parks and Recreation Department City Engineer	3/27/19 Date 03-27-19 Date 3/27/19 Date 3/27/19 Date 3-28-19 Date
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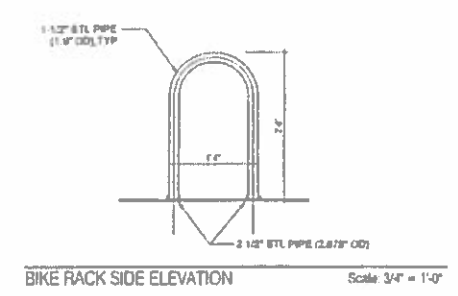
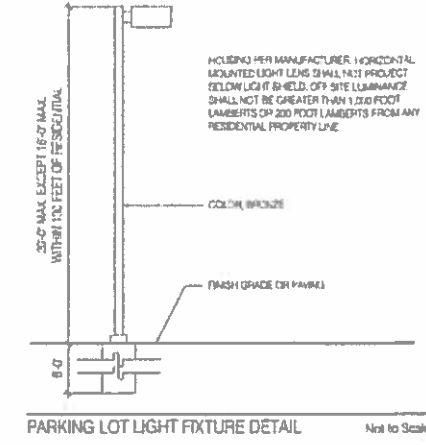
DRB Chairperson, Planning Department

KEY NOTES.

1. PROPERTY BOUNDARY.
2. EXISTING CURB AND GUTTER TO BE REMOVED.
3. EXISTING BILLBOARD TO BE RELOCATED.
4. RELOCATED BI-ROAD.
5. CONCRETE CURB AND GUTTER.
6. CONCRETE SIDEWALK.
7. ACCESSIBLE CONCRETE RAMP (ERC APPROVAL).
8. REFUSE ENCLOSURE. SEE ARCHITECTURAL SHEET.
9. SITE LIGHTING.
10. BICYCLE RACK.
11. NOT USED.
12. "MOTORCYCLE PARKING ONLY" SIGN.
13. ADA HANDICAP PARKING ONLY SIGN. MUST HAVE THE REQUIRED LANGUAGE PER 08-1-352.4C NMSA 1978. VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
14. CONCRETE PARKING BUMPER.
15. ADA ACCESSIBLE ASLE. ASLE SHALL HAVE THE WORDS "NO PARKING IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (08-1-2.1.3 NMSA 1978).
16. EMPLOYEE PATIO AREA (900 SF).
17. 8' CHAIN WALL.
18. SLIDING GATE.
19. GENERATOR.
20. FLAGPOLE.
21. CONCRETE DRAINAGE CHANNEL. SEE GRADING PLAN.

GENERAL NOTES:

1. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-1A-34, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
2. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
3. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
4. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
5. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-8 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
6. PAM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PAMS NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
7. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS TO INTERSECTIONS. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER FIN) WILL NOT BE ACCEPTABLE IN THE AREA.
8. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY AND BUS SHELTER LOCATED WITHIN THE SITE SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS: SIDEWALK (2400), RAMPS (2440), CURB CUTS (2420), BUS SHELTER (2535.02), CURB AND GUTTER (2415A).
9. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER. MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
10. ALL OUTDOOR LIGHT FIXTURES WITHIN COMMERCIAL OR OFFICE ZONES SHALL REMAIN OFF BETWEEN 11:00 PM AND SUNRISE EXCEPT FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, DRIVEWAYS, EQUIPMENT YARDS AND PARKING LOTS.
11. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND OPERATE SO THAT THE AREA 10 FEET BEYOND THE PROPERTY LINE OF THE PREMISES RECEIVES NO MORE THAN 0.25 (ONE-QUARTER) OF A FOOT CANDLE OF LIGHT FROM THE PREMISES LIGHTING SYSTEM.



A1 SITE DEVELOPMENT PLAN
SCALE: 1" = 30'-0"
PLAN NORTH

CITY OF ALBUQUERQUE, N. M.
FIRE STATION #9
VIGIL & ASSOCIATES

DATE: FEBRUARY 22, 2019
DRAWN BY: [Signature]
CHECKED BY: [Signature]
REVISIONS:

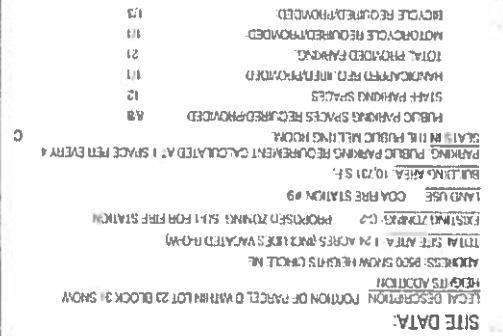
CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 784-6801 Fax 542-5485

VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
WWW.VA-ARCHITECT.COM

DRB SUBMITTAL

SITE PLAN

project no. 17-019



Traffic Engineering, Transportation Division
 Date _____
 ABCHYA
 Parks and Recreation Department
 Date _____
 For Engineer _____
 Solid Waste Management
 Date 03-25-19

Code Enforcement _____ Date _____

DAB Chairman, Planning Department _____ Date _____

CONCRETE PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5405

CITY OF ALBUQUERQUE, N.M.

FIRE STATIC
VIGIL & ASSOCIATES

project no. 17-019

SITE PLAN

DRB SUBMITTAL



VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
30000 VALARIE STREET, #300
SAN JOSE, CA 95134
415.435.1100
www.vigilassociates.com

MANUAL BLVD

KEY NOTES:

GENERAL NOTES:

1. FRONT BOUNDARY

2. EXISTING CURB AND GUTTER TO BE REMOVED.

3. EXISTING BOULEVARD TO BE RELOCATED.

4. RELOCATED BOULEVARD

5. CONCRETE CURB AND GUTTER

6. CONCRETE SIDEWALK

7. ACCESS TO CONCRETE RAMP

8. REFUSE ENCLOSURE SEE ARCHITECTURAL SHEET

9. SITE LOCATION

10. BICYCLE RACK

11. NO USE

12. NO BICYCLE PARKING ONLY SIGN

4.32

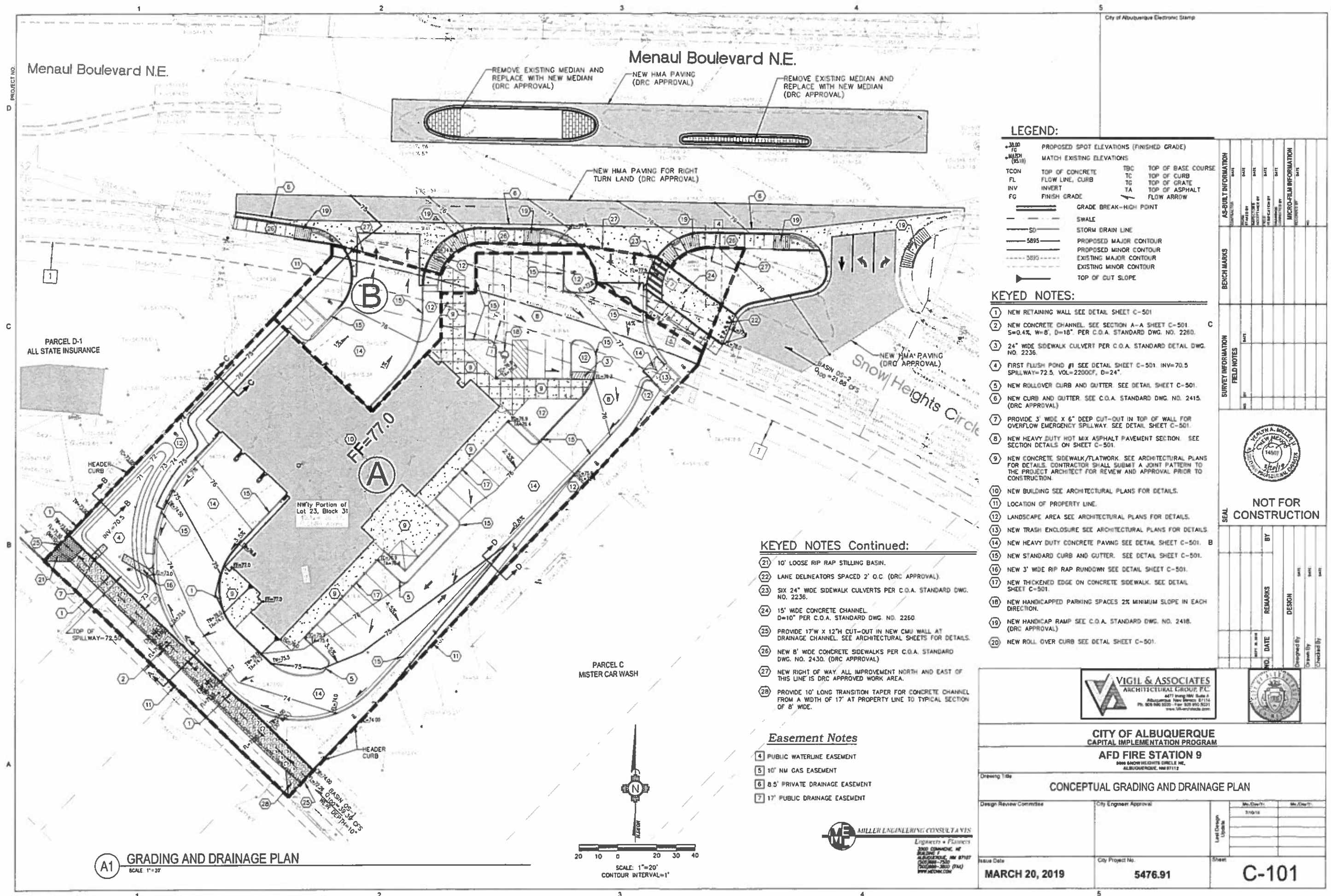
15. PARKING ACCESS: ASSESS WHAT HAVE THE WHICH SHALL
PARKING AND TRAFFIC LEVELS OF WHICH SHALL
BE IN ACCORD WITH THE STANDARD AND ROAD
WORK IN ACCORD AT THE HEAD OF THE PARKING SPACE
WHICH ARE CLOSE TO WHERE AN ADJACENT VEHICLE
BEAR THERE WOULD BE PLACED (1:200 SCALE 1:200 SCALE)
16. EMPLOYEE PARKING AREA (1:200 SCALE)
17. 6' HIGH WALL
18. SLOPING GATE
19. GENERATOR
20. FLUORIDE
21. CONDUCTIVE DIAPHRAGM CHANNEL SELF-CHARGING BATTERY

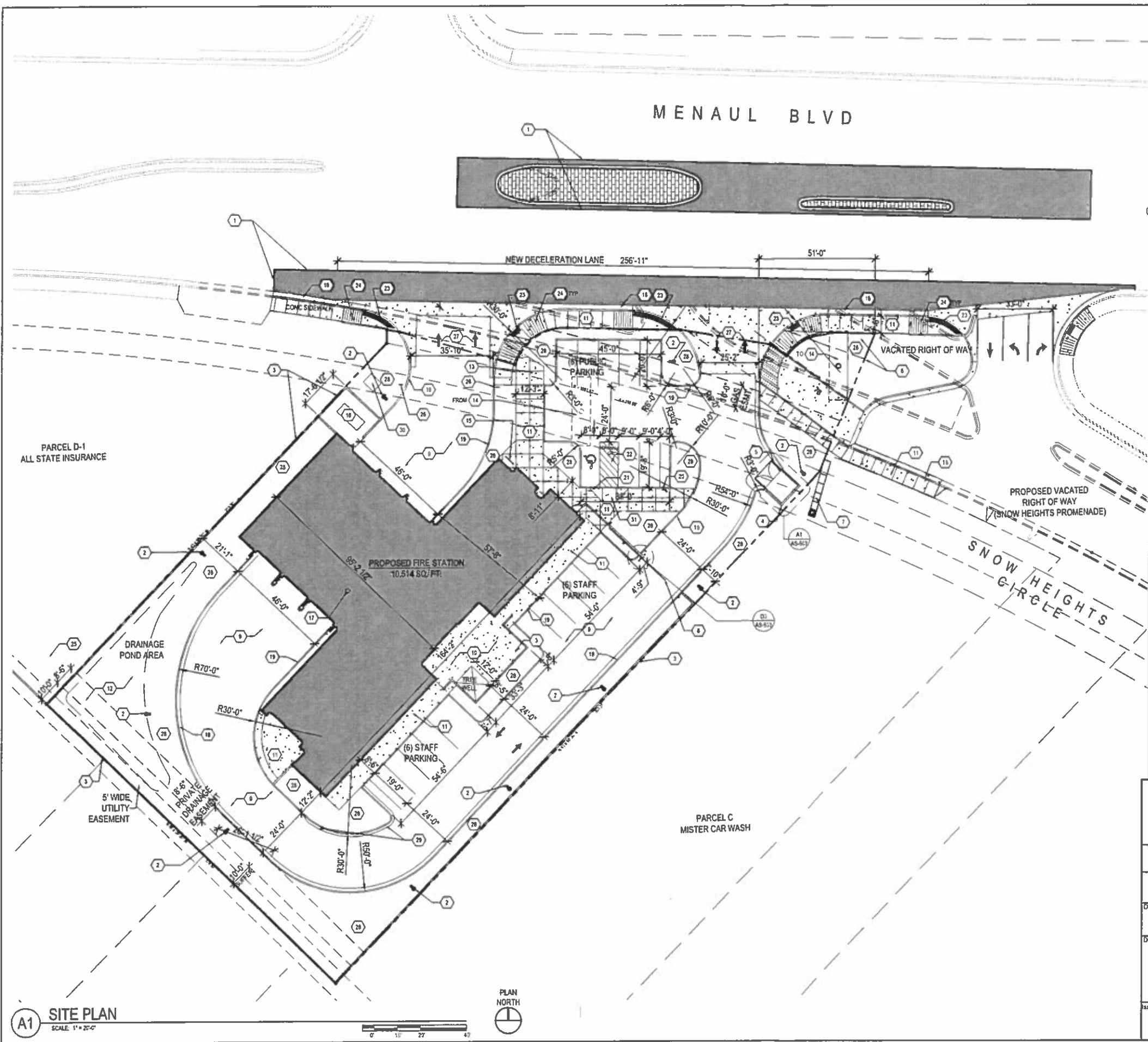
PROPOSED VACATED
RIGHT OF WAY
(SNOW HEIGHTS PROMINENT)

PARKING LOT LIGHT FIXTURE DETAILS

[illegible]

T:\Clients\MEL & ASSOCIATES\City of Alb Fire Station 9\Acad\Sheet\Grading & Drainage Plan_02-20-19.dwg, 3/20/2019 3:21:07 PM, DWG To PDF.pc3





GENERAL SHEET NOTES

- A. AT AREAS OF CUTTING AND TRENCHING AT EXISTING ASPHALT SURFACES FOR NEW WORK, THE CONTRACTOR SHALL PATCH AND REPAIR DAMAGED ASPHALT TO MATCH EXISTING ADJACENT SURFACES AS PART OF HIS SCOPE OF WORK.
- B. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON EXISTING RECORD DRAWINGS AND HAVE NOT BEEN FIELD VERIFIED. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY/LOCATE ALL UNDERGROUND UTILITIES WITH LOCAL UTILITY COMPANIES AND TO SITE INVESTIGATE (AND DO - AS REQ'D) UTILITY LINES SHOWN FOR VERIFICATION PRIOR TO WORK.
- C. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT WITH SITE UTILITIES OR FEATURES AND OBTAIN RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- D. CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.
- E. CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT FROM DAMAGING EXISTING UTILITY LINES, WALKS, LANDSCAPING, ETC. WHICH WILL REMAIN AS PART OF THE FINAL SYSTEM. CONTRACTOR SHALL REPAIR AND/OR RESTORE THESE ITEMS AS REQUIRED TO PRE-CONSTRUCTION CONDITION.
- F. SEE LANDSCAPE DRAWINGS FOR SITE IRRIGATION AND GROUND COVER/PLANTINGS.
- G. SLOPE PAVEMENT MINIMUM 1%, MAXIMUM 2% FOR ACCESSIBILITY. SEE CIVIL DRAWINGS FOR GRADING & DRAINAGE.
- H. SEE STRUCTURAL FOR SITE WALL REINFORCING.
- I. REFER TO CHL FOR PAVING SECTIONS @ FIRE ACCESS LANES.
- J. COMPACTION TESTS ON UTILITY TRENCHES SHALL BE TAKEN FOR EACH 18 INCHES OF DEPTH PER 100 LINEAR FEET OF TRENCH LENGTH OR LESS, AS DIRECTED BY THE ENGINEER. COMPACTION TESTS SHALL BE TAKEN IN ACCORDANCE WITH ASTM D2922 AND D5107. AREAS REPRESENTED BY NON-COMPLYING TESTS SHALL BE REMOVED AND RE-TESTED FOR COMPLIANCE. ALL COMPACTION TEST REPORTS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER ON A DAILY BASIS FOR REVIEW. MATERIALS CAN BE UTILIZED IF APPROVED BY THE GEOTECHNICAL ENGINEER.

SHEET KEYNOTES

- 1. SAWCUT AND REPLACE PAVEMENT TO EXTENTS SHOWN.
- 2. 15'-0" TALL SITE LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS.
- 3. 8'-0" TALL, 8" COLORED CMU WALL. PROVIDE GRADE STEPS IN WALL FOUNDATION AS NECESSARY TO MAINTAIN A 4'-0" ABOVE GRADE MINIMUM AT ALL AREAS.
- 4. DUMPSTER ENCLOSURE, 8'-0" HIGH BURNISHED CMU WALL.
- 5. 5'-0" DUMPSTER GATE - PAINTED STEEL FRAME WITH METAL PANEL PER ALL.
- 6. PUBLIC WATER EASEMENT.
- 7. EXISTING "MASTER" CARWASH SIGN.
- 8. 8'-0" TALL ORNAMENTAL CANTILEVER GATE. PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE (MENAU BLVD). COORDINATE POWER, CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR REQUIREMENTS.
- 9. ALTERNATE #1: ASPHALT PAVING-BASE BID. CONCRETE PAVING (TRUCK RATED)-ADDITIVE ALTERNATE. SEE GEOTECH REPORT.
- 10. STAINED AND SCORED CONCRETE PATIO SLAB.
- 11. CONCRETE SIDEWALK.
- 12. PONDING AREA. SEE GRADING & DRAINAGE.
- 13. FLAGPOLE. SEE DETAIL.
- 14. EXISTING BILLBOARD TO BE RELOCATED. CONTRACTOR TO COORDINATE REMOVAL, FOOTINGS, PERMITS, REINSTALLATION OF BILLBOARD UNIT AND POWER SERVICE IN ITS ENTIRETY.
- 15. ONE RACK, 2 SPACES.
- 16. GENERATOR ON CONCRETE SLAB. SEE ELECTRICAL.
- 17. EXISTING POWER POLE AND OVERHEAD SERVICE TO EXISTING BILLBOARD TO BE REMOVED.
- 18. CONCRETE CURB AND GUTTER. SEE CIVIL.
- 19. CONCRETE HEADER CURB. SEE CIVIL.
- 20. MOTORCYCLE PARKING SIGN.
- 21. HANDICAP PARKING SIGN. SEE DETAIL.
- 22. PAINTED HANDICAP ACCESS AISLE.
- 23. HANDICAP RAMP WITH DETECTABLE WARNING. SEE CIVIL.
- 24. HANDICAP RAMP WITH 1:20 SLOPE UP TO SIDEWALK.
- 25. 8'-0" WIDE PROPOSED TRENCH ALONG PROPERTY. 185'-0" +/- 5' F.
- 26. "DO NOT ENTER" SIGN ON POST. FACE TOWARDS MENAU BLVD.
- 27. PAINTED DIRECTIONAL ARROW SIGNAGE ON PAVEMENT.
- 28. LANDSCAPING AREA- REFER TO L-200 FOR ADDITIONAL INFORMATION.
- 29. INSTALL ROLL CURB THIS AREA TO EXTENTS SHOWN PER CCA DETAIL. TRANSITION BACK TO STANDING CURB AT ENDS.
- 30. NEW PNM TRANSFORMER FOR BUILDING. REFER TO ELECTRICAL DRAWINGS.
- 31. HC RAMP PER DETAIL, AU AS-001.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
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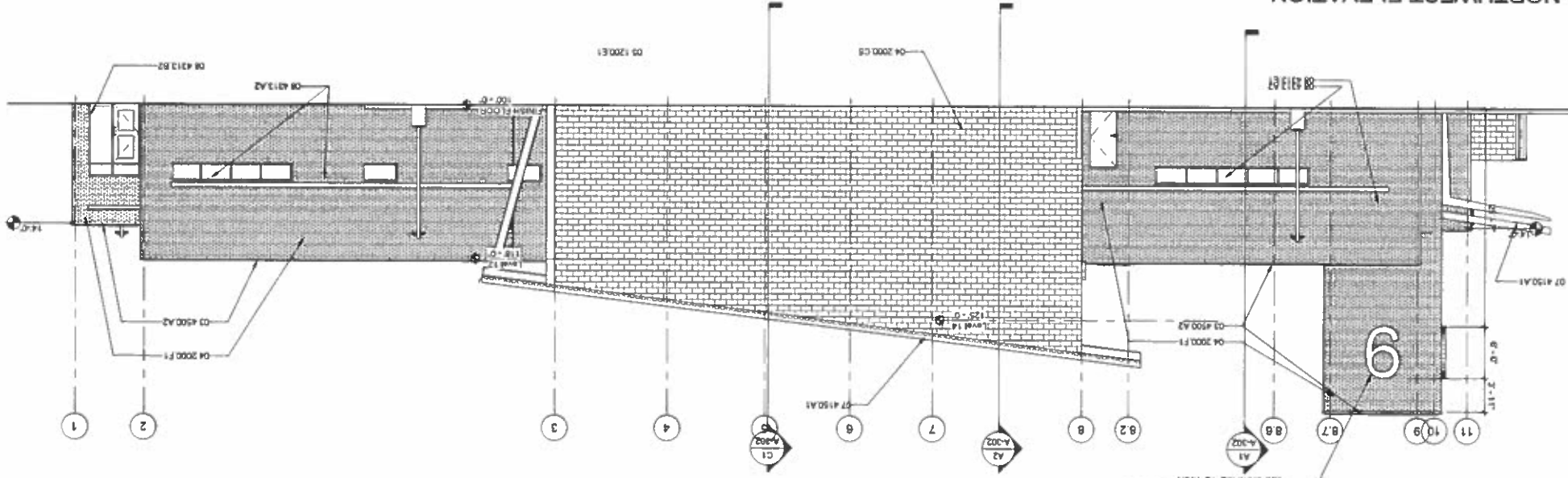


CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 9
9999 SNOW HEIGHTS CIRCLE NE,
ALBUQUERQUE, NM 87113

Drawing Title		Design Review Committee		City Engineer Approval		No./Day/Yr	
SITE PLAN						7/10/18	
Issue Date:		City Project No.		Sheet			
MAY 24, 2019		5476.92		AS-101			

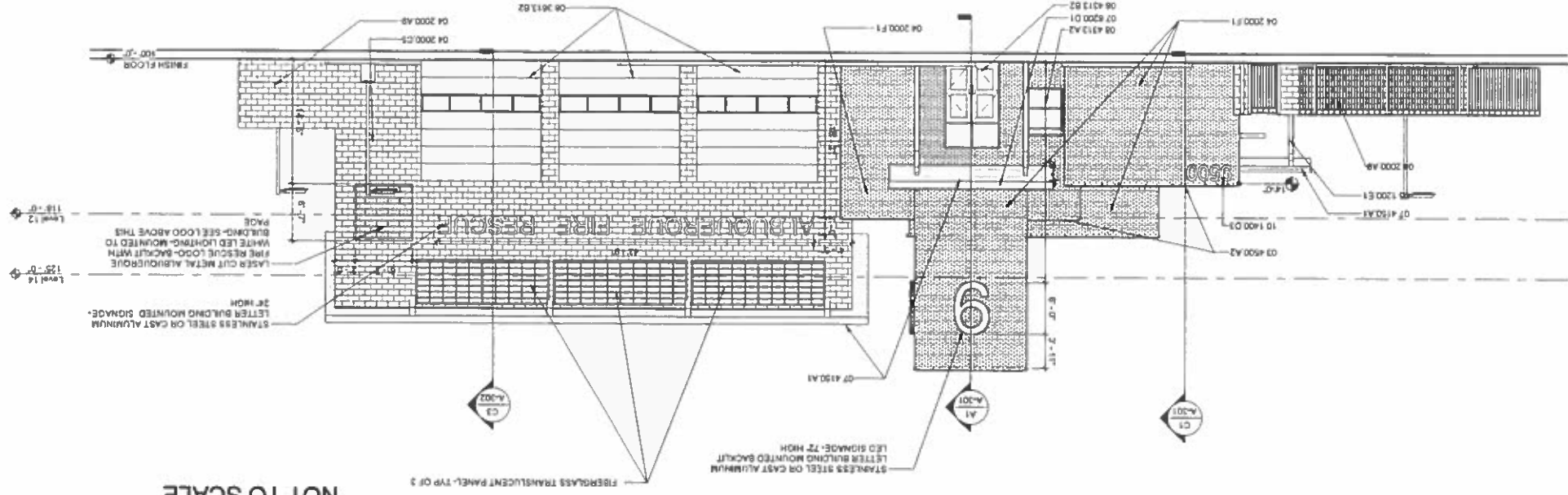
C1 NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0"



A1 NORTHEAST ELEVATION

SCALE: 1/8" = 1'-0"



NOT TO SCALE
FIRE RESCUE LOGO



REFERENCE KEYNOTES	
01 4500 A2	PRECAST ARCHITECTURAL CONCRETE CORNER
04 2000 A8	CMU - INTERIALLY COLORED
04 2000 C3	FACE BRICK VENEER
04 2000 F1	FACE BRICK VENEER
05 1200 E1	STEEL COLUMN - SEE STRUCT
07 4150 A1	STANDING SEAM METAL ROOF
07 6200 D1	PREPARED FACIA
08 4313 B2	ALUMINUM GLASS SECTIONAL DOOR
08 4313 A2	ALUMINUM STORMWIND WINDOW
08 4313 B3	ALUMINUM STORMWIND DOOR FRAME
08 4313 C1	ALUMINUM SUN SCREEN
10 1400 C3	BUILDING IDENTIFICATION LETTERS - 12" HIGH

GENERAL SHEET NOTES	
A.	ALL EXTERIOR HOLLOW METAL DOOR AND FRAMES AND EXPOSED STEEL BEAMS AND COLUMNS & DOOR STOPS SHALL BE PAINTED. SEE SHEET A-201 FOR COLOR SCHEDULE.
B.	ALL EXTERIOR EXPOSED CMU SHALL BE Laid IN THE PATTERNS INDICATED ON DETAILS XXX (UNO).
C.	SEE SITE PLANS FOR MORE INFORMATION AND DTLS ON CMU SITE WALLS.
D.	SEE SHEET A-202 FOR WINDOW TYPES.
E.	USE CONTROL JOINTS AT DESIGNATED MATERIALS.
F.	SEE COLOR AND MATERIAL SCHEDULE ON SHEET A-203 FOR EXTERIOR FINISHES AND PAINT COLORS.
G.	ITEMS SUCH AS SURFACE MOUNTED UTILITY CONDUIT SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR.
H.	TO MATCH THE ADJACENT WALL COLOR.

SHEET KEYNOTES - A-202

CITY OF ALBUQUERQUE
CAPITAL IMPROVEMENT PROGRAM
AFD FIRE STATION 9
5476.92



VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
4477 9th Ave NW, Suite 4
Albuquerque, NM 87112
Tel: 505 880 5200 Fax: 505 880 5011
www.vigil-associates.com

BUILDING ELEVATIONS

Design Review Committee
City Engineer Approval
Last Design Update

Issue Date
City Project No.
5476.92
A-202

Sheet

DESIGN	
NO.	DATE
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Designed By
Checked By

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GENERAL SHEET NOTES	
A.	ALL EXTERIOR WINDOW DOORS AND FRAMES AND EXPOSED STEEL BEAMS AND COLUMN DOOR SCHEDULE SHALL BE PAINTED, SEE SHEET
B.	ALL EXTERIOR EXPOSED CHUB SHALL BE LAMB IN THE PATTERN INDICATED
C.	SEE SHEET PLANS FOR MORE INFORMATION AND DTLS ON CURB SITE WALLS
D.	ON RETAINING WALLS
E.	SEE SHEET 1-XXXX FOR WINDOW TYPES
F.	USE CONTROL JOINTS AT DISCONTINUITY MATERIALS
G.	SEE COLOR AND MATERIAL SCHEDULE ON SHEET 1-XXXX FOR EXTERIOR STUCCO AND MASONRY
H.	TO MATCH THE ADJACENT UNPAINTED COLOR.
I.	TO MATCH THE ADJACENT UNPAINTED UNPAINTED SHALL BE PAINTED
SHEET KEYNOTES - A-202	