

City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Lexington Place Apts. Building Permit #: _____ Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 2800 Lexington Pl NE, Albuquerque NM 87112

Applicant: Jeebs & Zuzu LLC Contact: Edgar Mafra

Address: 5924 Anaheim Ave NE, Suite A, Abq NM 87113

Phone#: 505-797-1318 Fax#: _____ E-mail: edgar@jeebsandzuzu.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 28, 2023

David Hickman, RA
Jeebs and Zuzu, LLC
5924 Anaheim Ave NE, Suite A
Albuquerque, NM 87113

Re: Lexington Place Apartments Renovation
2800 Lexington PI NE
Traffic Circulation Layout
Architect's Stamp 11-21-23 (H20-D045)

Dear Mr. Hickman,

The TCL submittal received 11-27-2023 is approved for Site Plan For Building Permit Approval by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

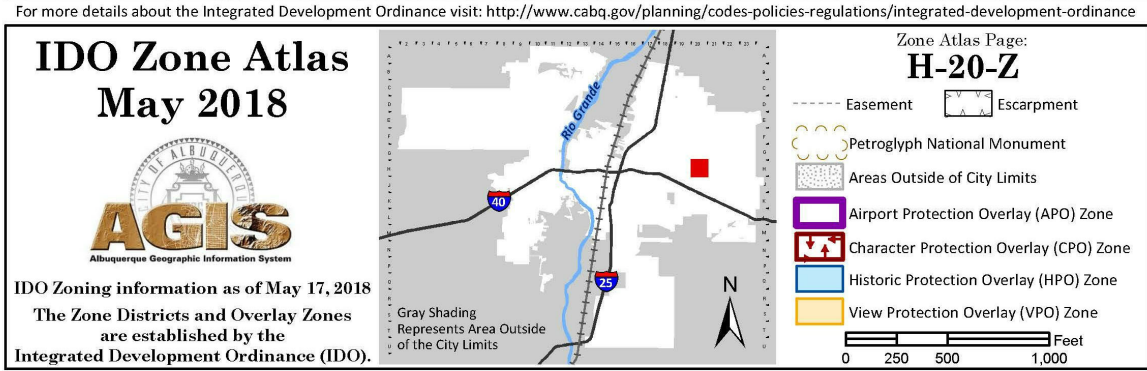
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File



GENERAL NOTES:

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.

PROJECT INFORMATION:

LEGAL DESCRIPTION:

LOTS 5 THRU 15 BLK 1 SPANISH VILLAGE ADD & LTS 3 THRU 9 BLK2 CRESTWOOD GARDENS CONT 4.812 AC

UPC: 101006147802640122

ACRES: 4.812

ZONING CLASSIFICATION: R-MH

PERMITTED AND ACTUAL USE: MULTI-FAMILY HIGH DENSITY

CONSTRUCTION TYPE: VB - SPRINKLED

ALTERATION LEVEL: 2

KEYED NOTES:

- RECOAT, SEAL, AND RESTRIPE NOTED ASPHALT DRIVEWAY AND PARKING AREAS.
- EXISTING PARKING STRIPING AND LAYOUT TO REMAIN.
- NEW STANDARD PARKING TO BE A MINIMUM OF 8.5'X18' AS PER TABLE 7.4.77 OF DPM. PLEASE SEE PARKING DETAILS.
- NEW COMPACT PARKING TO BE A MINIMUM OF 7.5'X15' AS PER DPM. PLEASE SEE PARKING DETAILS.
- NEW ADA CONCRETE PARKING PAD AND NEW CURB RAMP ONTO NEW SIDEWALK. SEE 5/TCL.1.1 FOR DETAILS.
- EXISTING SIDEWALK AND CURBING TO REMAIN.
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- EXISTING PUBLIC SIDEWALK TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING REFUSE COLLECTION TO REMAIN.
- EXISTING PUBLIC XEROSCAPE AREA TO REMAIN.
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- NEW CONCRETE ADA RAMP. SEE DETAILS.
- EXISTING CONCRETE DRIVE PAD TO REMAIN.
- EXISTING CONCRETE STAIRS TO REMAIN.
- NEW RESIDENTIAL UNITS.
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- SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING MONUMENT SIGN TO REMAIN.

GENERAL NOTES:

ZONING ORDINANCE ANALYSIS: (INTEGRATED DEVELOPMENT ORDINANCE - IDO)

IDO: Applicable Sections of the IDO include:

Part 5-6 Landscaping Buffering, and Screening

(4) Renovation or redevelopment of an existing multi-family, mixed-use, or nonresidential primary building, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, as indicated by building permits, is \$500,000 or more.

5-6(C)(2)(a) A minimum of 15 percent of the net lot area of each development shall contain landscaping. - **See Landscaping Plan**

Part 5-12 Signs (Erection of Monument Sign - To be Completed under Separate Permit)

5-12(B)(1) This Section 14-16-5-12 shall apply to the erection of all signs located outside of, or located within but designed to be viewed from outside of, a structure in any zone district, unless specifically exempted by this IDO. - **Signs to be approved under separate permit**

NOTE: The following Section of the IDO is NOT APPLICABLE

Part 5-5 Parking and Loading

(B) Applicability. (Explanation of lack of applicability)

5-5(B)(1)(a) - Construction of a new primary building. - (The New Leasing Office Building will contain the leasing function and manager's office for the existing complex. In this case, the office, lobby, maintenance, and community spaces are all ACCESSORY uses to the property's primary residential use. This is not a new Primary Use building.)

5-5(B)(1)(b) - Expansion of an existing building - (No existing buildings are being expanded or will receive increased areas.)

5-5(B)(1)(c) - A change in use of an existing primary use building - (No changes in use are being considered.)

5-5(B)(1)(d) - A change in use of a nonconforming existing primary use building - (No changes in use are being considered.)

Therefore, the provisions of this part of the IDO are not applicable and changes in the number of parking spaces provided are not required.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2015, UMC 2015, UPC 2015, NEC 2017, ANSI A117.1-2009 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
- ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED. FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.
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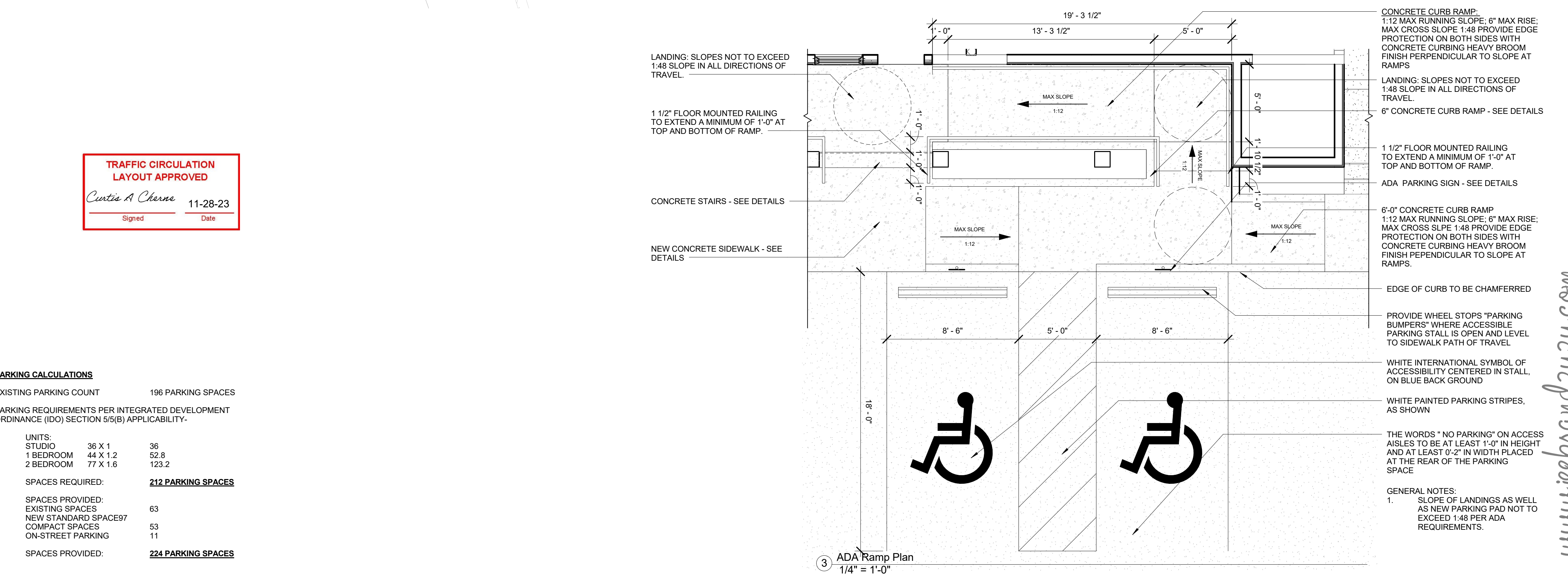
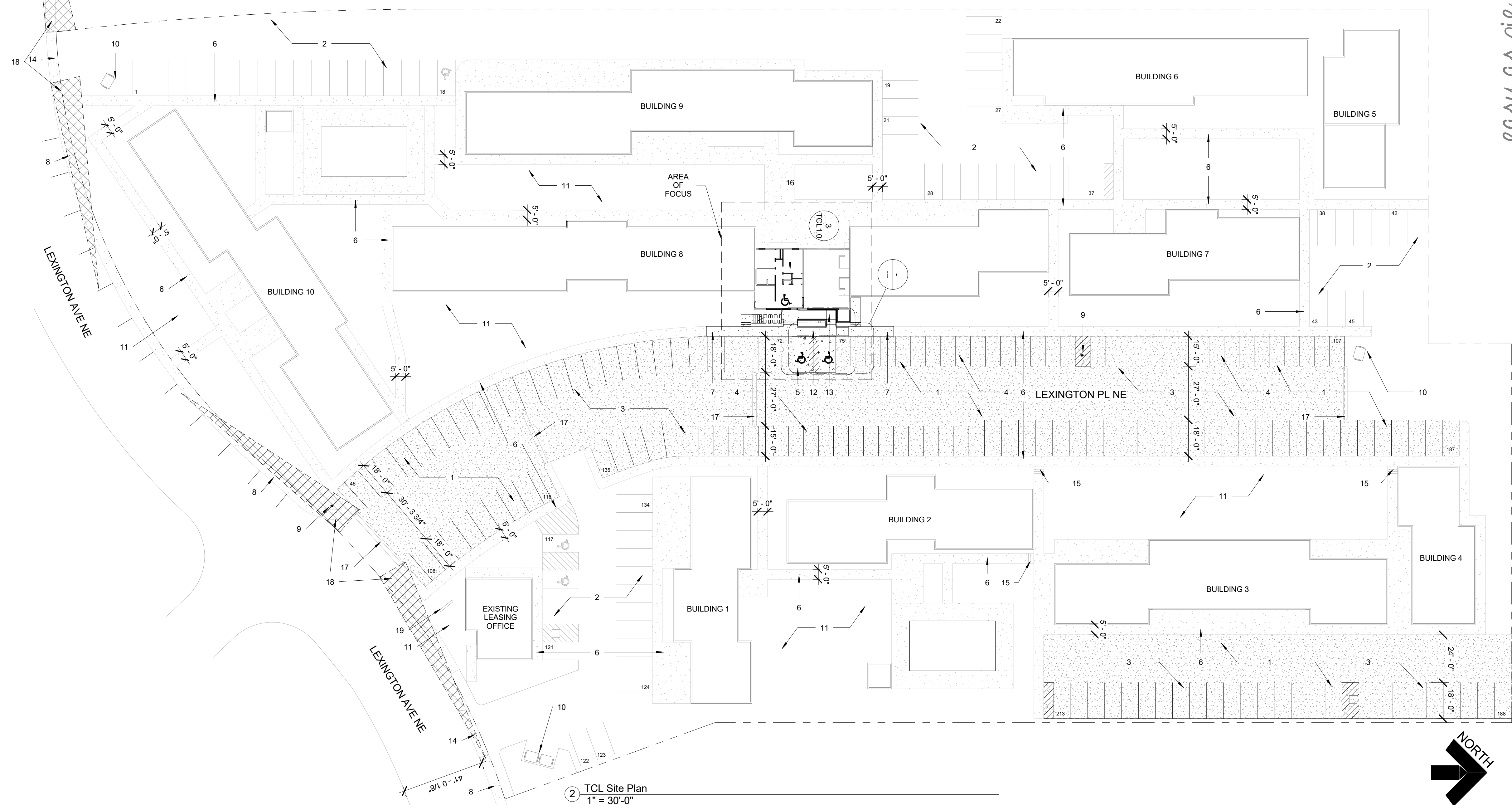
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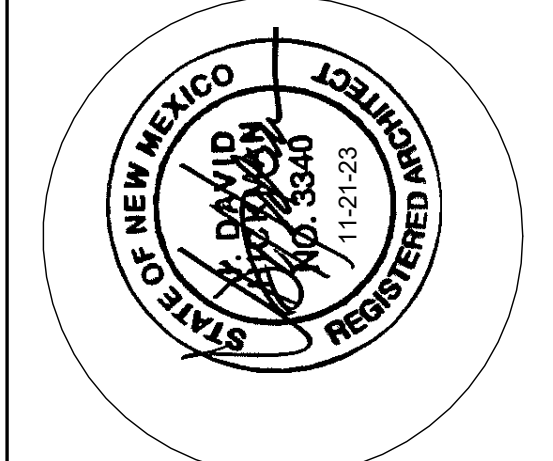


TRAFFIC CIRCULATION LAYOUT APPROVED

Curtis A. Chavez 11-28-23

Signed Date

<u>PARKING CALCULATIONS</u>		
EXISTING PARKING COUNT	196 PARKING SPACES	
PARKING REQUIREMENTS PER INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 5/5(B) APPLICABILITY-		
UNITS:		
STUDIO	36 X 1	36
1 BEDROOM	44 X 1.2	52.8
2 BEDROOM	77 X 1.6	123.2
SPACES REQUIRED:	<u>212 PARKING SPACES</u>	
SPACES PROVIDED:		
EXISTING SPACES	63	
NEW STANDARD SPACE97		
COMPACT SPACES	53	
ON-STREET PARKING	11	
SPACES PROVIDED:	<u>224 PARKING SPACES</u>	



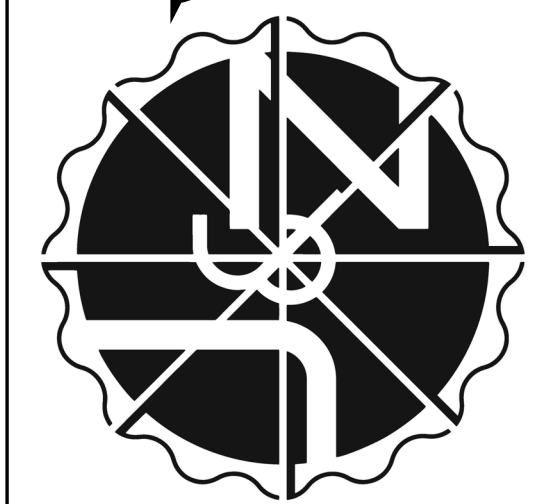
JEEBS & ZUZU, LLC.

Architecture

Construction

Design-Build

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318



job no: 23-020

drawn: KAC

checked: J&Z

date: 11/21/2023

Lexington Apts Renovation

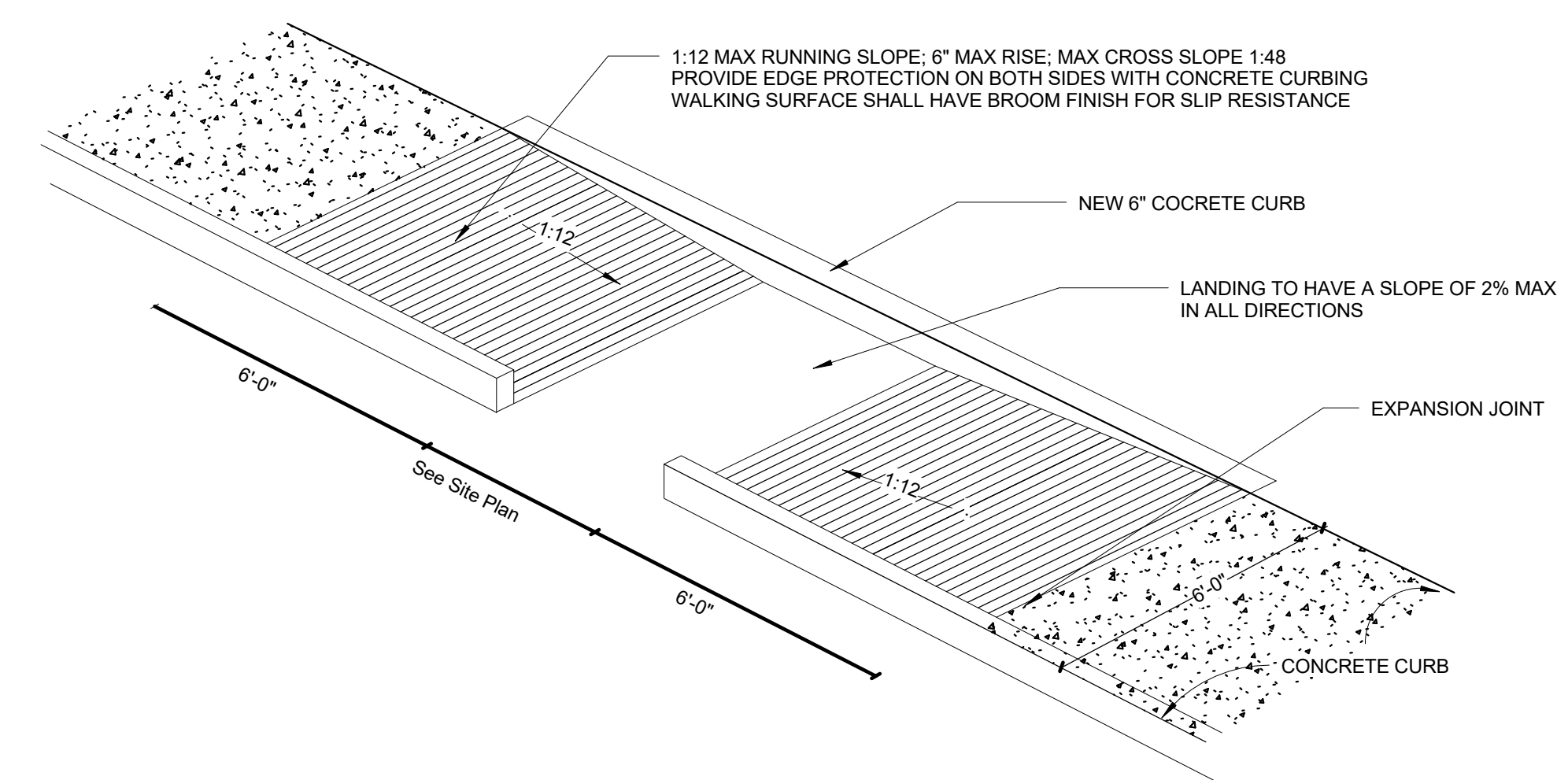
2800 Lexington Pl NE
ABQ, NM 87112

TCL1.0

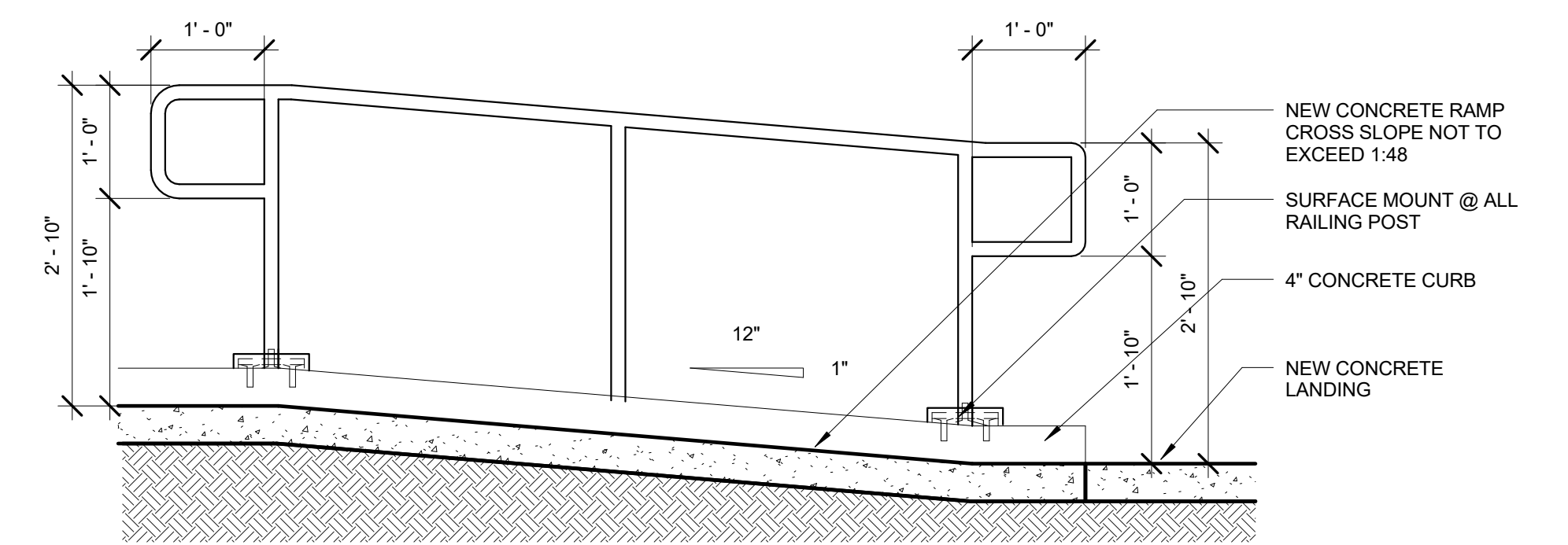
sheet no:

TRAFFIC CIRCULATION
LAYOUT APPROVED

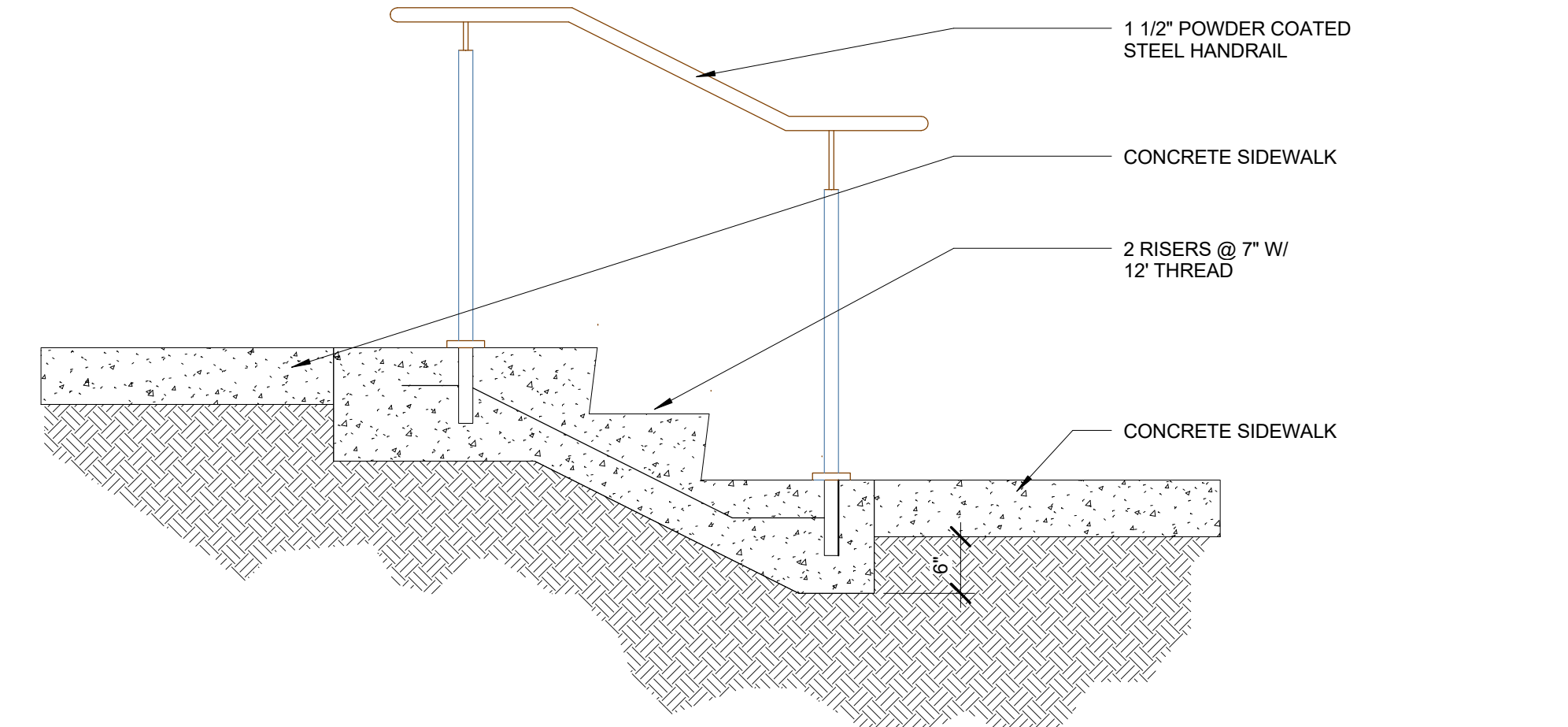
Curtis A. Charne 11-28-23
Signed Date



3 Curb Ramp Detail
3/8" = 1'-0"



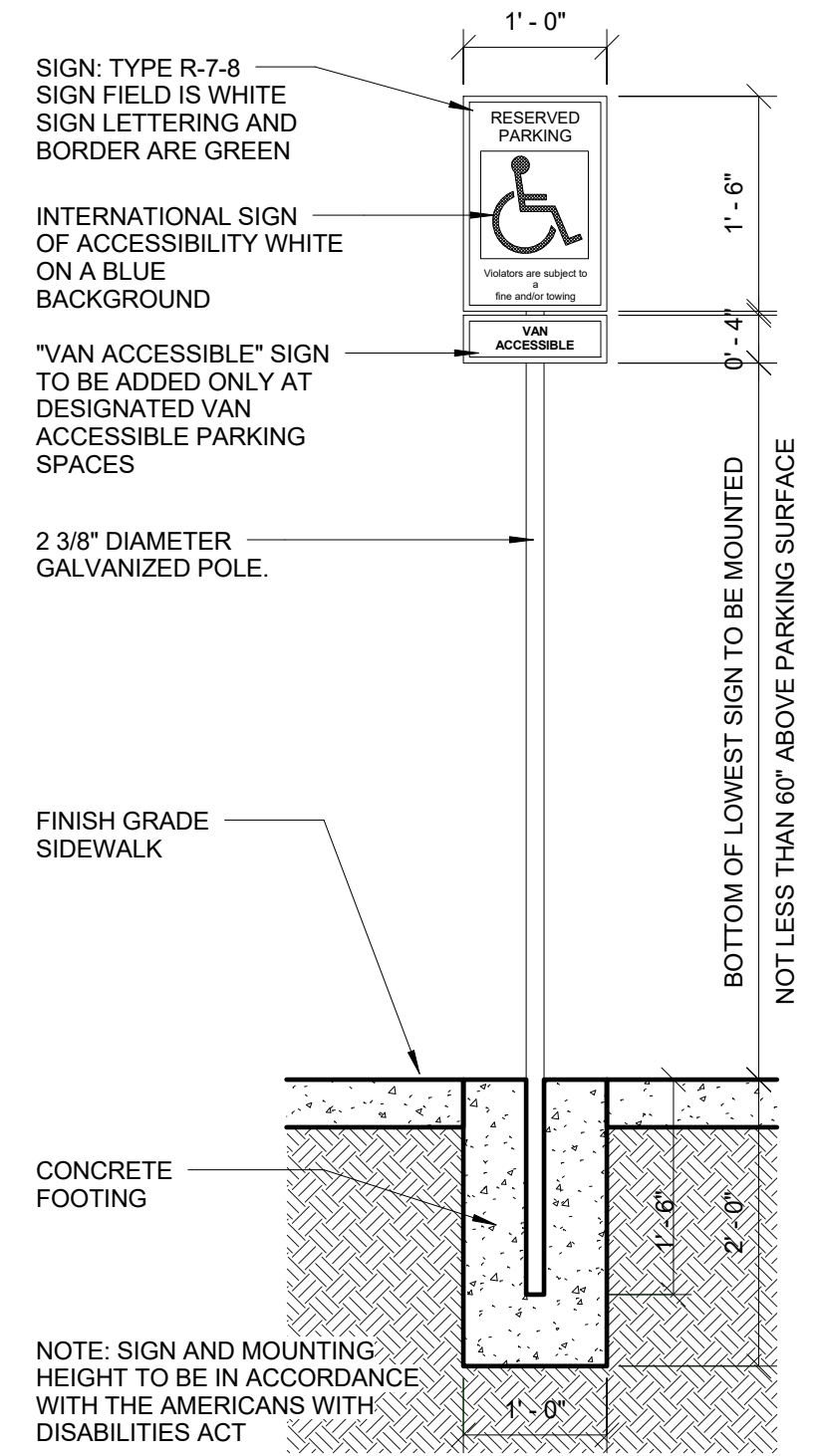
1 Handrail Detail Slope
3/4" = 1'-0"



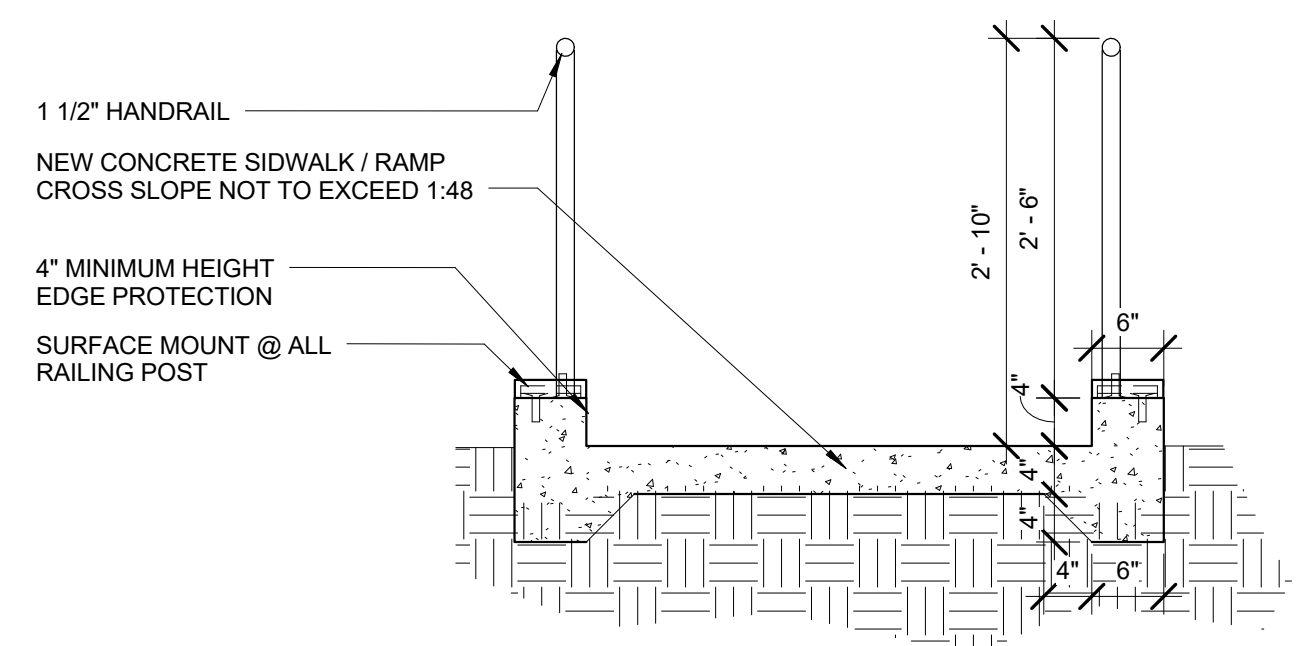
7 Stair and Riser Detail
3/4" = 1'-0"



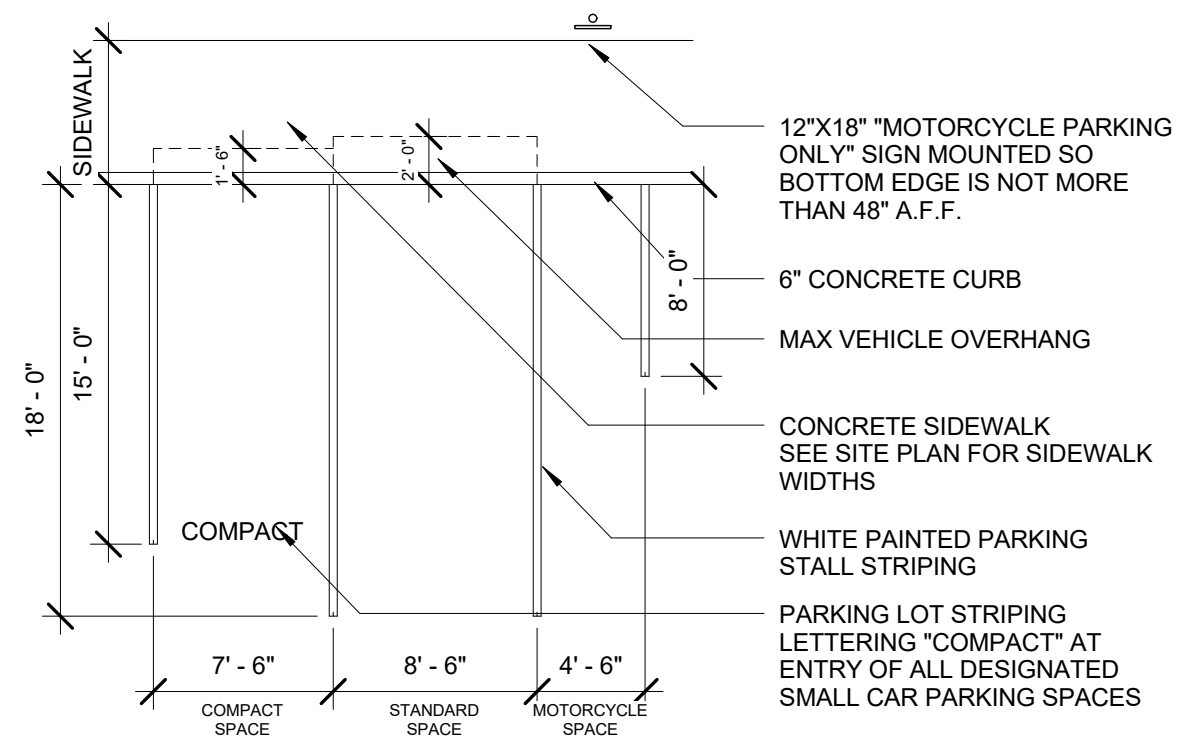
4 Accessible Parking Space Marking
1/4" = 1'-0"



2 ADA Parking Signage
3/4" = 1'-0"



5 Handrail Section
3/4" = 1'-0"



6 Parking Detail
1/8" = 1'-0"

www.jeebsandzuzu.com

easy as pie

JEEBS & ZUZU, LLC.
**Architecture
Construction
Design-Build**

Lexington Apts Renovation

2800 Lexington PI NE
ABQ, NM 87112

job no: 23-020

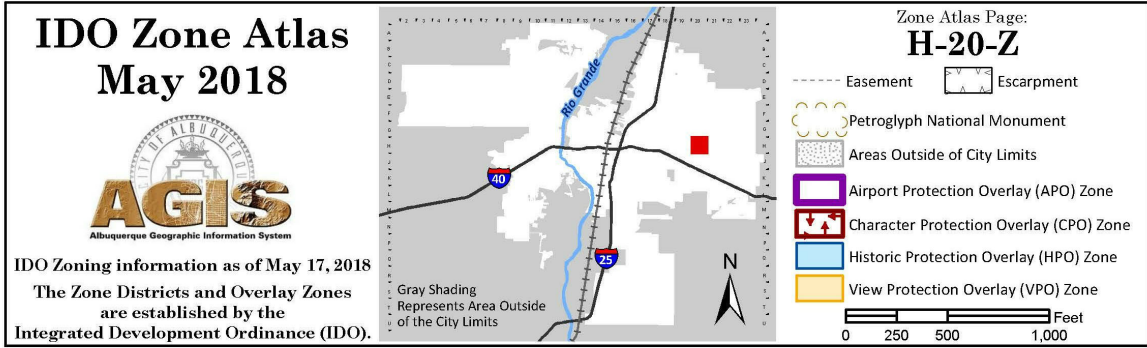
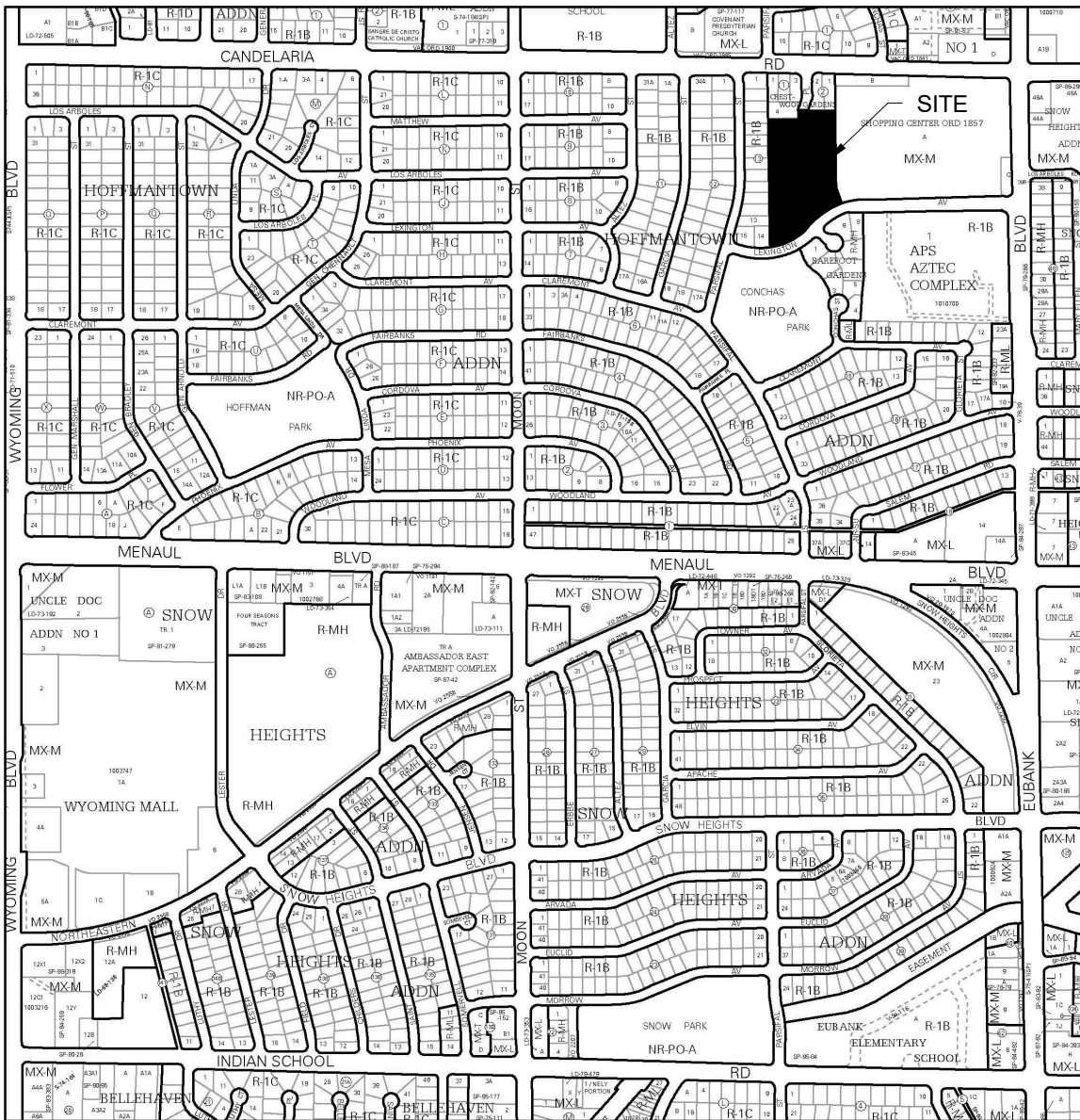
drawn: EAM

checked: J&Z

date: 11/21/2023

SITE DETAIL

sheet no: **TCL1.1**



- GENERAL NOTES:**
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- PROJECT INFORMATION:**
- LEGAL DESCRIPTION:**
- LOTS 5 THRU 15 BLK 1 SPANISH VILLAGE ADD & LTS 3 THRU 9 BLK2 CRESTWOOD GARDENS CONT 4.812 AC
- UPC:**
- ACRES: 4.812
- ZONING CLASSIFICATION:**
- PERMITTED AND ACTUAL USE: MULTI-FAMILY HIGH DENSITY
- CONSTRUCTION TYPE:**
- ALTERATION LEVEL: 2
- KEYED NOTES:**
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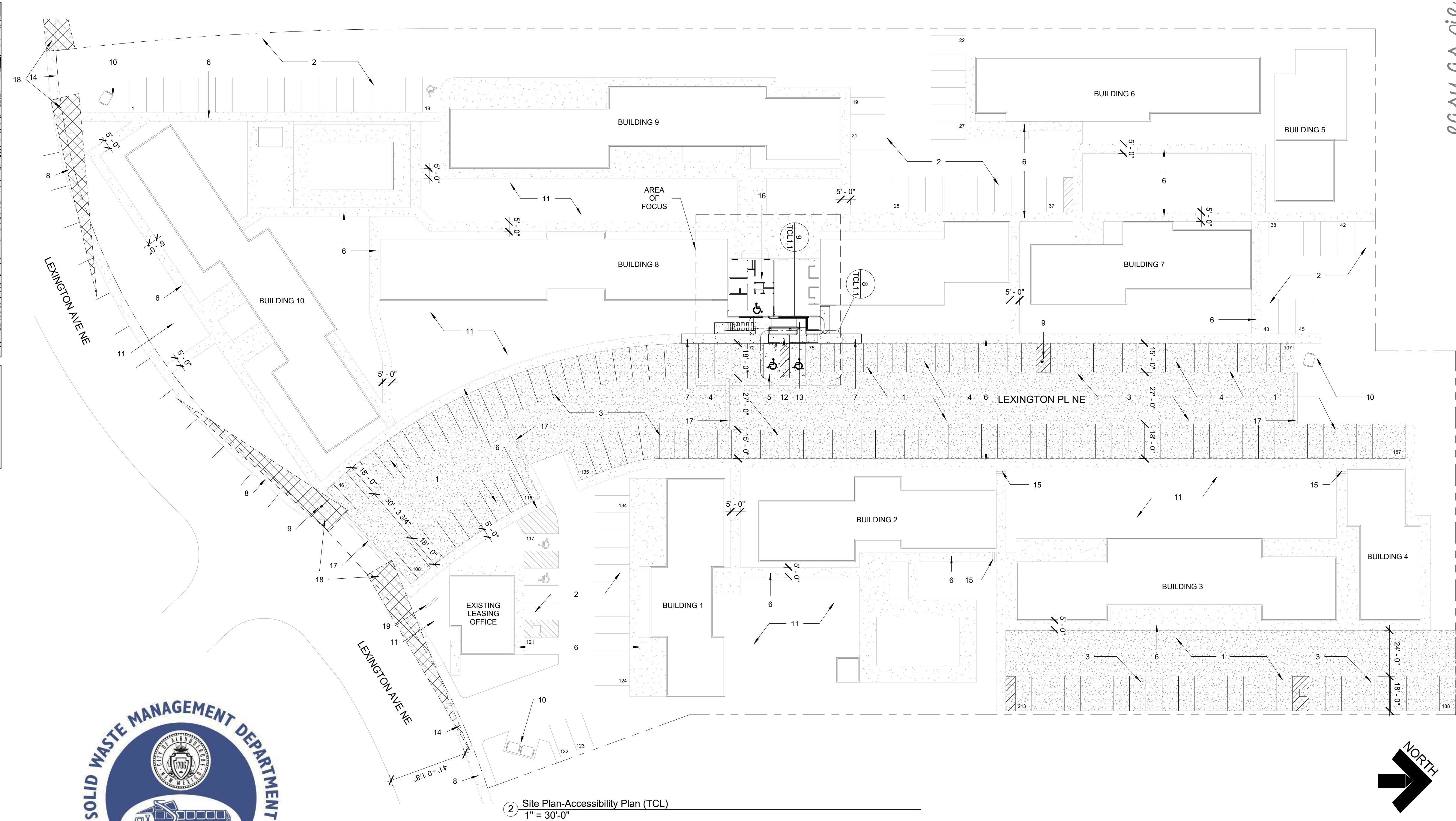
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Approved for access by the Solid Waste Department.

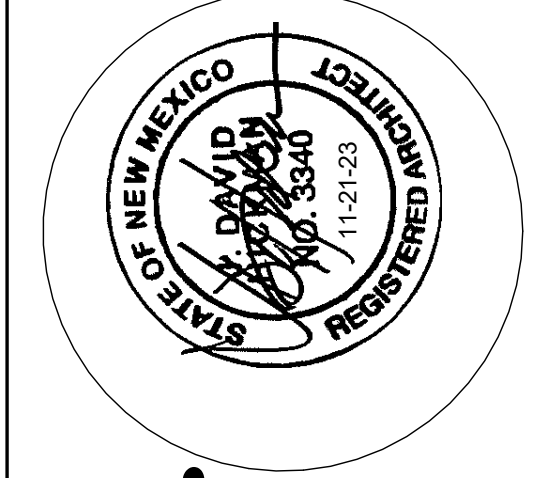
All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: Herman Gallegos

Date: 11-21-23

****EXISTING DUMPSTER LOCATION GOING TO REMIAN****

PARKING CALCULATIONS			
PARKING REQUIREMENTS PER INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 5/5(B) APPLICABILITY-			
UNITS:			
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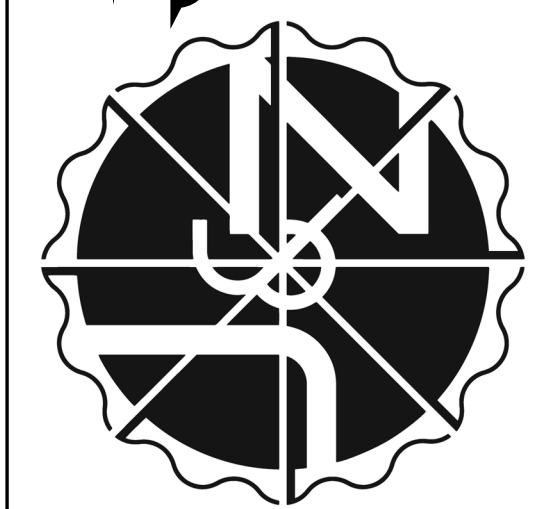
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checked: JDH

date: 11/21/2023

Lexington Apts Renovation

2800 Lexington Pl NE
ABQ, NM 87112

TCL1.0

easy as pie

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TRAFFIC CONTROL LAYOUT

sheet no: