

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 16, 2022

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: Dutch Brothers - Juan Tabo
Grading & Drainage Plan
Engineer's Stamp Date: 10/24/22
Hydrology File: H21D004B**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 10/25/2022, the Grading & Drainage Plan is approved for Building Permit, Grading Permit and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Carrie Compton (cacompton@cabq.gov) on the 4th floor of Plaza de Sol.
3. Please pay the Payment-in-Lieu of \$ 896.00 by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DATE SUBMITTED: 10/24/2022

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: _____ DATE: _____

DEVELOPMENT: _____

LOCATION: _____

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is _____ cubic feet

The provided volume is _____ cubic feet

The deficient volume is _____ cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: _____

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ _____

THIS SECTION IS FOR CITY USE ONLY

- ☐ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.
- ☐ Waiver is DENIED.

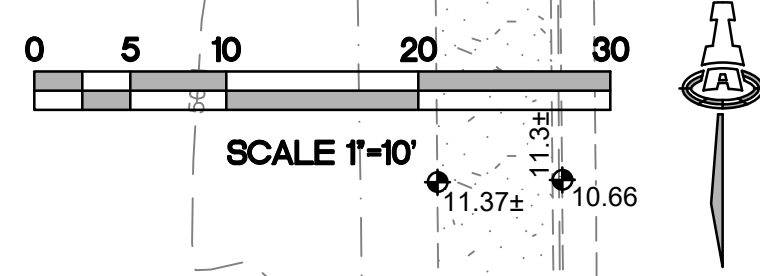
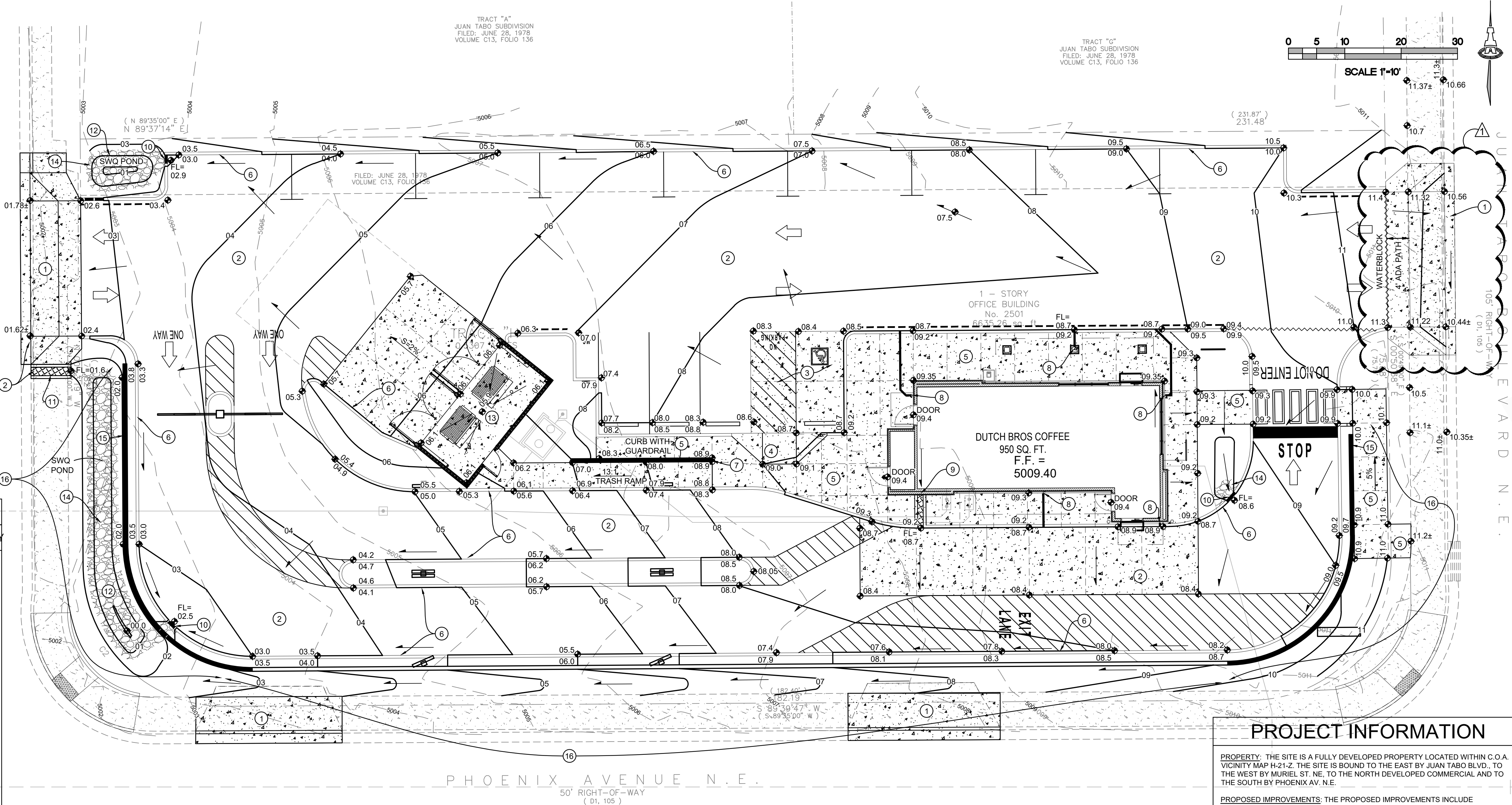
Renée C. Brissette

City of Albuquerque
Hydrology Section

11/16/22



MURIEL STREET N.E.
50' RIGHT-OF-WAY (D1, 105)



S.O.19 : NOTICE TO CONTRACTORS

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

- Build sidewalk culvert per COA STD DWG 2236.
- Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial **"811"** (or (505) 260-1990) for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

GENERAL CALCULATIONS

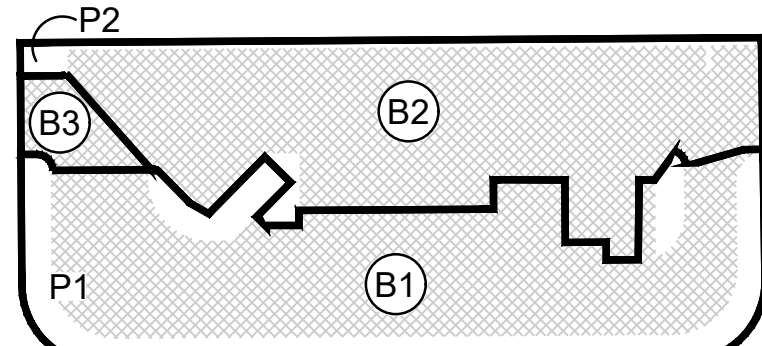
CALCULATIONS: 2513 Dutch Bros. Coffee - Juan Tabo : 10/17/2022									
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993									
100-YEAR, 6-HOUR CALCULATIONS									
AREA OF SITE:		23119		SF		=		0.53 ACRE	
100-year, 6-hour									
HISTORIC FLOWS:				DEVELOPED FLOWS:				EXCESS PRECIP:	
		Treatment	SF	%		Treatment	SF	%	Precip. Zone 4
Area A	=	0	0%		Area A	=	0	0%	E _A = 0.80
Area B	=	1156	5%		Area B	=	4554	20%	E _B = 1.08
Area C	=	0	0%		Area C	=	0	0%	E _C = 1.46
Area D	=	21963	95%		Area D	=	18565	80%	E _D = 2.64
Total Area	=	23119	100%		Total Area	=	23119	100%	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)									
Weighted E =		$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$							
Historic E	=	2.56 in.		Developed E		=	2.33 in.		
On-Site Volume of Runoff: V360 = E*A / 12									
Historic V ₃₆₀	=	4936 CF		Developed V ₃₆₀		=	4494 CF		
On-Site Peak Discharge Rate: Q _p = Q _{pA} A _A +Q _{pB} A _B +Q _{pC} A _C +Q _{pD} A _D / 43,560									
For Precipitation Zone 4									
Q _{pA}	=	2.20		Q _{pC}	=	3.73			
Q _{pB}	=	2.92		Q _{pD}	=	5.25			
Historic Q _p	=	2.7 CFS		Developed Q _p	=	2.5 CFS			

KEYED NOTES

- NO WORK SHALL BE PERFORMED IN THE PUBLIC R/W WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN.
- CONSTRUCT ADA COMPLIANT PARKING SPACES AND ACCESS AISLES AT ELEVATIONS SHOWN.
- CONSTRUCT ADA COMPLIANT CURB RAMP AT ELEVATIONS SHOWN.
- CONSTRUCT ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN.
- 6" HIGH CURB / TURNED DOWN WALK. TYPICAL. NOTE: TO ENSURE READABILITY, NOT ALL CURBS ARE LABELED WITH BOTH FLOWLINE AND TOP OF CURB ELEVATION. ALL SPOT ELEVATIONS SHOWN WITHIN GUTTER ARE FLOWLINE ELEVATION. ADD CURB HEIGHT FOR ADJACENT TOP OF CURB ELEVATION. SEE PAVING PLAN AND DETAILS FOR CURB TYPES AND ADDITIONAL INFORMATION.
- SIDEWALK GRADE BREAK, NORTH SIDE @ 5% MAX FOR ADA COMPLIANCE. SOUTH SIDE SLOPES DOWN TO DUMPSTER AREA AT GRADES SHOWN (NOT ADA COMPLIANT @ 1:132). INSTALL GUARDRAIL.
- CONCENTRATED ROOF DISCHARGE LOCATION. EXTEND AND DAYLIGHT TO FACE OF CURB.
- MAIN CONCENTRATED ROOF DISCHARGE LOCATION. CONSTRUCT 12" BOTTOM WIDTH COVERED SIDEWALK CULVERT TO PASS ROOF DISCHARGE TO ASPHALT PAVEMENT.
- PROVIDE 18" WIDE OPENING IN CURB TO PASS FLOW.
- CONSTRUCT 18" BOTTOM WIDTH COVERED CONCRETE SIDEWALK CULVERT PER COA STD. DWG. 2236.
- CONSTRUCT STORMWATER QUALITY RETENTION POND (SWQ) AT ELEVATIONS SHOWN. TYPICAL. SLOPE = 2:1 ARMORED WITH 8" THICK X 4" AVG. DIAMETER ANGULAR ROCK OVER PERMANENT EROSION CONTROL MATERIAL. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
- CONCRETE DUMPSTER PAD SLOPED TO INTERIOR DRAIN INLET(S). SEE UTILITY PLAN FOR CONTINUATION.
- INSTALL ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED.
- EROSION PROTECTION MUST BE PLACED TO PERMIT STORMWATER TO PASS SMOOTHLY. HAND PLACE AT CURB OPENINGS AND SWALES TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.
- CONSTRUCT GARDEN RETAINING WALL(S) (RETAINING < 18") TO ACHIEVE GRADE DIFFERENCE SHOWN. TOP OF GRADE PROVIDED ON BOTH SIDES. DESIGN BY OTHERS.
- DRIVE-THROUGH LANES ADJACENT TO PUBLIC RIGHTS-OF-WAY ARE REQUIRED TO HAVE A VEGETATIVE SCREEN OR WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE PRIMARY BUILDING (EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3' BUT NOT MORE THAN 4' TALL. INTEGRATE WITH GARDEN RETAINING WALLS WHERE REQUIRED.

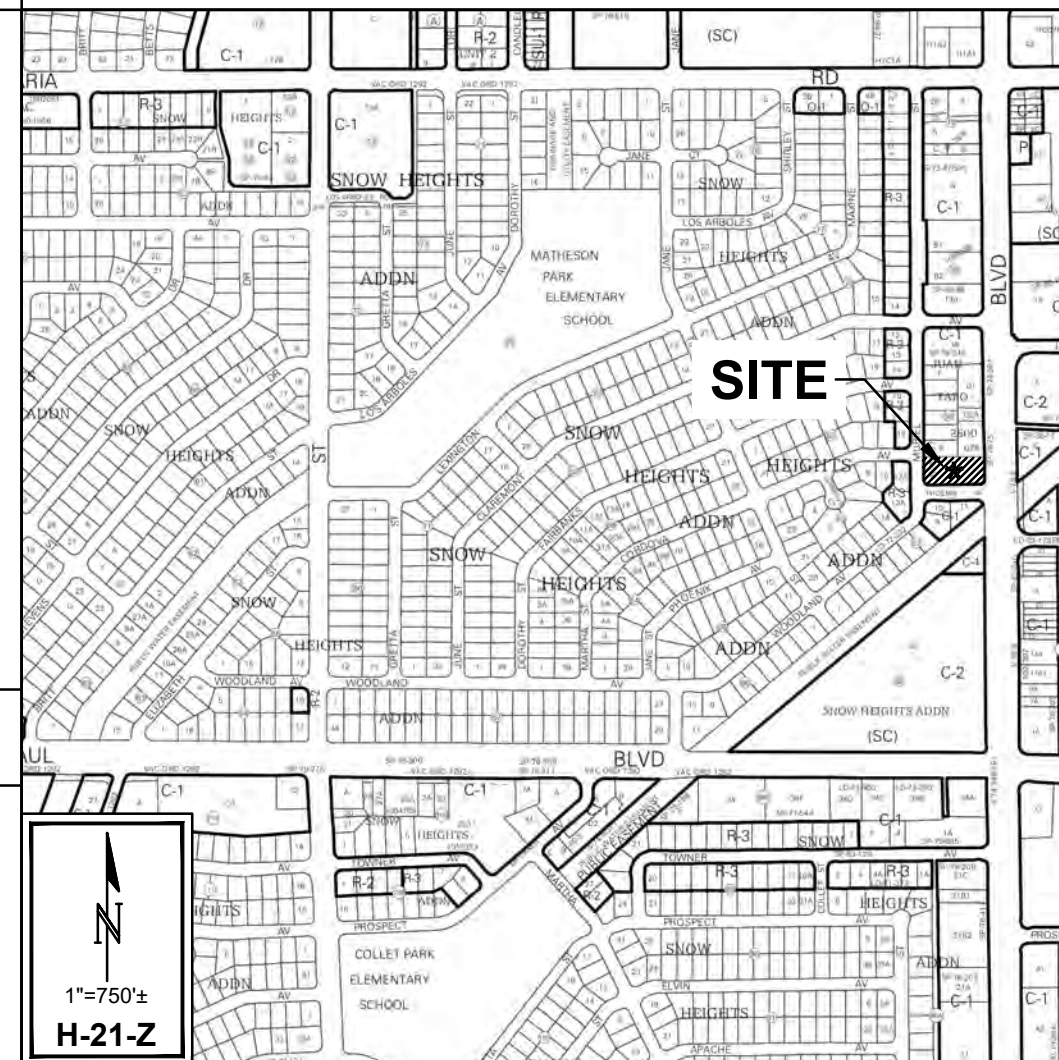
STORMWATER QUALITY PONDS

FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26".



Basin	Area	Type	% D	SWQV REQ'D
B1	12,152 SF	8,491 SF	70%	184 CF
B2	10,193 SF	9,295 SF	91%	201 CF
B3	774 SF	774 SF	100%	17 CF
	23,119 SF	18,560 SF	80.3%	402 CF

VICINITY MAP H-21



POND P1
VOLUME = 228 CF

POND P2
VOLUME = 62 CF

TOTAL VOLUME = 290 CF

TOTAL SWQV REQUIRED = 402 CF
TOTAL SWQV PROVIDED = 290 CF

A PAYMENT-IN-LIEU WAIVER IS REQUESTED FOR THE 112 CF (112 CF * \$8/CF = \$896.00) OF STORMWATER QUALITY VOLUME NOT RETAINED DUE TO THE LIMITED SIZE OF THE PROPERTY.

PROJECT INFORMATION

PROPERTY: THE SITE IS A FULLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP H-21-2. THE SITE IS BOUND TO THE EAST BY JUAN TABO BLVD., TO THE WEST BY MURIEL ST. NE, TO THE NORTH DEVELOPED COMMERCIAL AND TO THE SOUTH BY PHOENIX AV. N.E.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE DEMOLITION OF THE EXISTING SITE. A NEW COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT "H" JUAN TABO SUBDIVISION

ADDRESS: 2501 JUAN TABO NE

BENCHMARK: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "10-422", HAVING AN ELEVATION OF 5013.801, NAVD 1988.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER FEMA FIRM MAP #35001C0357H, DATED 8-16-2012, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: THE SITE WILL SURFACE FLOW FROM THE EAST TO THE WEST TO FREE DISCHARGE TO MURIEL ST. NE. PROPOSED SITE DISCHARGE BASED ON 15% LAND TREATMENT "B" AND 80% LAND TREATMENT "D" REPRESENTS A REDUCTION IN OVERALL DISCHARGE FROM THE PREVIOUS DEVELOPMENT. STORMWATER QUALITY PONDING WILL BE PROVIDED WITHIN THE PERIMETER LANDSCAPING.

SURVEYOR: ANTHONY L. HARRIS, N.M.P.S. #11463
HARRIS SURVEYING, INC.
1308 CIELO VISTA DEL SUR, NW
CORRALES, NEW MEXICO 87048

A.D.A. COMPLIANCE

- SIDEWALK(S): LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1 (5%).
TARGET CROSS SLOPE = 1% TO 1.5%.
CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7%.
LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.33%).
TARGET CROSS SLOPE = 1% TO 1.5%.
CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%.
SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

LEGEND

- — — — — -5009 — — — — — EXISTING CONTOUR
- — — — — 09 — — — — — PROPOSED 1.0' CONTOUR
- ◆ 08.6 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 5009.40 FINISH FLOOR ELEVATION

Isaacson & Arfman, Inc.
Civil Engineering Consultants

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Engineer
10/24/2022

Dutch Bros

Dutch Bros. Coffee
2501 Juan Tabo NE

Accelerated
DEVELOPMENT SERVICES

CONSTRUCTION DOCUMENT REVIEW
ISSUE: 11-21-22
PROJECT NUMBER: IA 2513
FILE: 11-21-22
DRAWN BY: 11-21-22
CHECKED BY: 11-21-22
DATE: 2022-11-01

SHEET TITLE
GRADING & DRAINAGE PLAN

SHEET NUMBER
CG-101