

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

November 10, 2022

Fred C. Arfman, PE  
Isaacson & Arfman, Inc.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Dutch Bros**  
**2501 Juan Tabo NE**  
**Traffic Circulation Layout**  
Engineer's Stamp 10-24-22 (H21-D004A)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 11-02-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Identify the right of way width, medians, curb cuts, and street widths on Juan Tabo Blvd, Phoenix Ave. and Muriel St. NE.
3. Per the DPM Table 7.4.46, Driveway access off Juan Tabo should be 150 ft. away from the intersection of Juan Tabo and Phoenix. Please clearly show this dimension on the site plan.
4. List radii for curves for driveway access off Juan Tabo; for passenger vehicles. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
5. Minimum throat length for this site should be 50 ft. please show this dimension on the site plan.
6. Minimum width for the ADA parking space is 8.5 ft.
7. Driveway access off Muriel should be built as a curb return design (per COA std dwg 2426) and provide the radius.
8. ADA curb ramp at the corner of Juan Tabo Blvd. and Phoenix Ave. must be updated to current standards and have truncated domes installed.
9. ADA curb ramp at the corner of Phoenix Ave. and Muriel St. must be updated to current standards and have truncated domes installed.
10. Please show 12 cars are stacking in the drive-thru lanes on the site plan.
11. All bicycle racks shall be designed according to the following guidelines:
  - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
  - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

# CITY OF ALBUQUERQUE

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- c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
  - d. The rack allows varying bicycle frame sizes and styles to be attached.
  - e. The user is not required to lift the bicycle onto the bicycle rack.
  - f. Each bicycle parking space is accessible without moving another bicycle.
12. Bicycle racks shall be sturdy and anchored to a concrete pad.
  13. A 1-foot clear zone around the bicycle parking stall shall be provided.
  14. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
  15. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
  16. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
- PO Box 1293
17. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way. provide a copy of refuse approval.
- Albuquerque
18. Provide a copy of Fire Marshal approval.
  19. Please provide "One Way" and "Do Not Enter" signage. And provide face signs details.
  20. Please provide a sight distance exhibit
- NM 87103
21. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
- www.cabq.gov
22. Please specify the City Standard Drawing Number when applicable.
  23. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
  24. Please provide a letter of response for all comments given.
  25. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout

# CITY OF ALBUQUERQUE

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2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

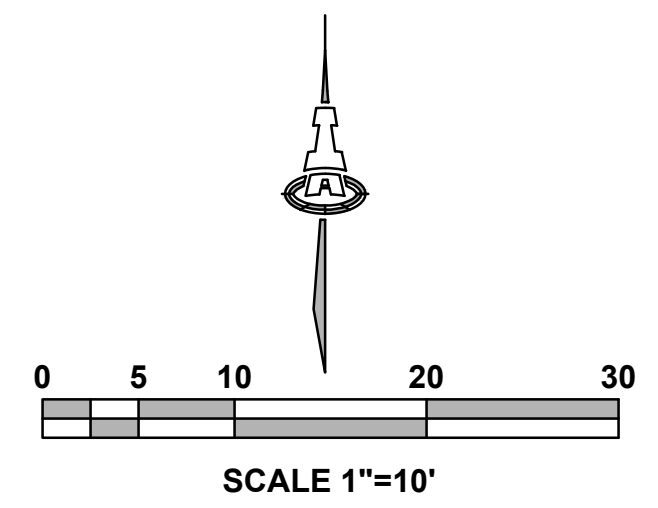
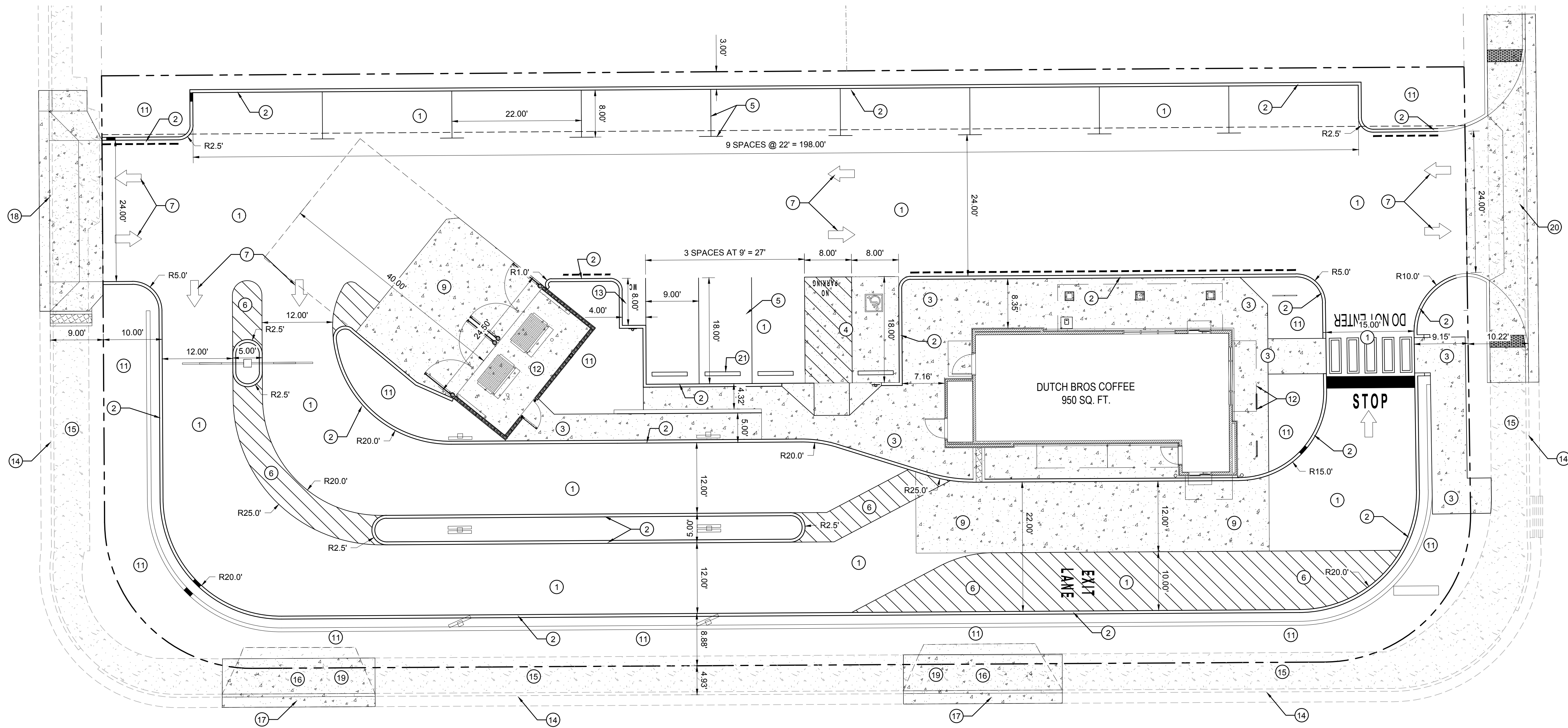
PO Box 1293  
Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Albuquerque

\ma via: email  
C: CO Clerk, File

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**PROJECT DATA**

**PARKING CALCULATION (IDO Table 5-5-1):**  
 5 SPACES PER 1,000 GFA = 8 PARKING SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 8  
 TOTAL PARKING PROVIDED = 13  
 (including 1 ADA Van space)

DRIVETHRU STACKING SPACES REQUIRED PER IDO TABLE 5-5-8=12  
 DRIVETHRU STACKING SPACES PROVIDED=14

MOTORCYCLE PARKING REQUIRED = 1 (IDO Table 5-5-4)  
 MOTORCYCLE PARKING PROVIDED = 1

BICYCLE PARKING REQUIRED = 3 (IDO Table 5-5-5)  
 BICYCLE PARKING PROVIDED = 3 (3 bicycles per 1 bike rack)

**GENERAL NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. ALL CURB RADII ARE 2' UNLESS OTHERWISE NOTED.
- C. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

**KEYED NOTES**

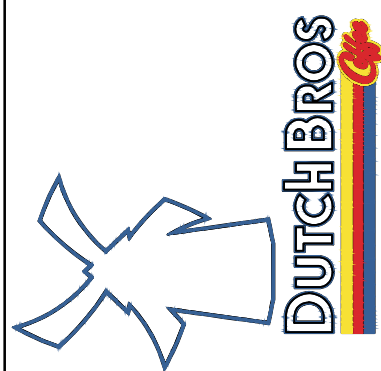
- 1. ASPHALT PAVING.
- 2. PCC MEDIAN CURB AND GUTTER, PER DETAIL ON SHEET CP-501.
- 3. PCC FLATWORK, PER DETAIL ON SHEET CP-501.
- 4. ADA ACCESSIBLE RAMP, PER DETAIL ON SHEET CP-501.
- 5. 4" WHITE STRIP.
- 6. CROSS WALK / EXIT LANE STRIPING.
- 7. DIRECTION ARROW.
- 8. ADA PARKING, PER DETAIL ON SHEET CP-501.
- 9. PCC PAVING, SEE PAVING PLAN.
- 10. REFUSE ENCLOSURE, SEE ARCHITECTURAL.
- 11. LANDSCAPING.
- 12. BIKE RACK, PER DETAIL ON SHEET \_\_\_\_.
- 13. MOTORCYCLE PARKING, SIGNAGE PER DETAIL ON SHEET CP-501.
- 14. EXISTING CURB & GUTTER TO REMAIN.
- 15. EXISTING SIDEWALK TO REMAIN.
- 16. EXISTING CURB & GUTTER, SIDEWALK, AND DRIVE PAD TO BE REMOVED & DISPOSED.
- 17. STANDARD CURB & GUTTER, PER COA STD DWG 2415A.
- 18. MODIFIED EXISTING DRIVEPAD WITH SIDEWALK AT BACK OF CURB, PER COA STD DWG 2425A.
- 19. SIDEWALK (WIDTH PER PLAN) PER COA STD DWG 2430.
- 20. NEW DRIVEPAD PER COA STD DWG 2426.
- 21. PARKING BUMPER, PER DETAIL ON SHEET \_\_\_\_.

**LEGEND**

- EXISTING CURB AND GUTTER
- ===== PROPOSED CURB AND GUTTER

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FRED C. ARTMAN  
 NEW MEXICO  
 7332  
 CONCEPTUAL  
 NOT FOR CONSTRUCTION  
 10-24-2022  
 Engineer



**Dutch Bros. Coffee**  
 2501 Juan Tabo NE  
 Accelerated  
 DEVELOPMENT SERVICES

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER: IA 2513	FILE: -
DRAWN BY: -	CHECKED BY: -
DATE: 2022 09-11	

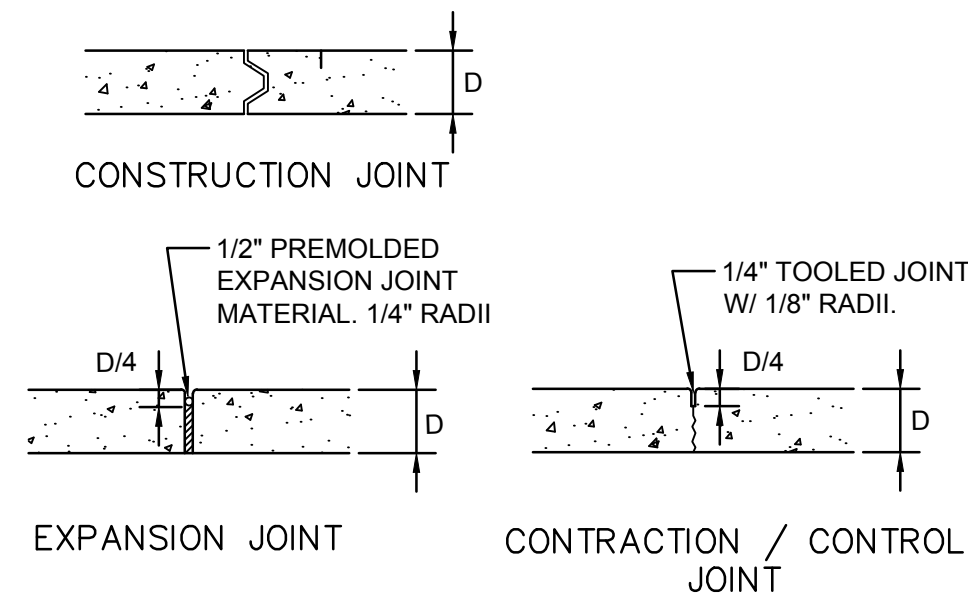
No	Date	Description

SHEET TITLE  
**TRAFFIC CIRCULATION LAYOUT PLAN**

SHEET NUMBER

**CP-401**

P:\PROJECTS\2020\2501 JUAN TABO NE\DWG\CP-401.dwg, 10/24/2022 5:14 PM

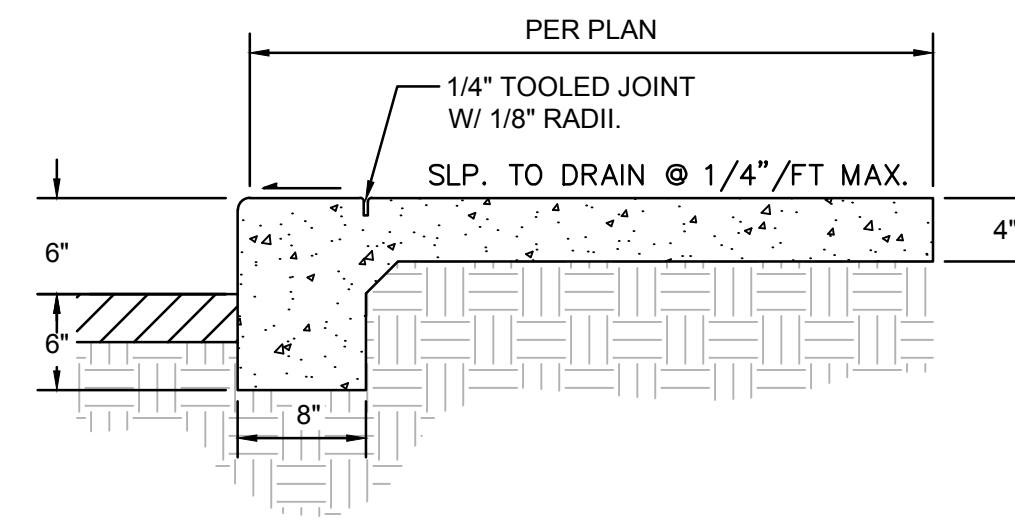


**GENERAL NOTES**

1. ODD-SHAPED AREAS OF PAVEMENT SHOULD BE AVOIDED TO MINIMIZE RANDOM CRACKING
2. LONGITUDINAL JOINT SPACING SHALL NOT EXCEED 12.5'
3. TRANSVERSE JOINT SPACING SHALL BE AT REGULAR INTERVALS OF 15' OR LESS
4. OFFSETS AT RADIUS POINTS SHALL BE AT LEAST 1.5' WIDE

**CONCRETE JOINTS**

SCALE: N.T.S.

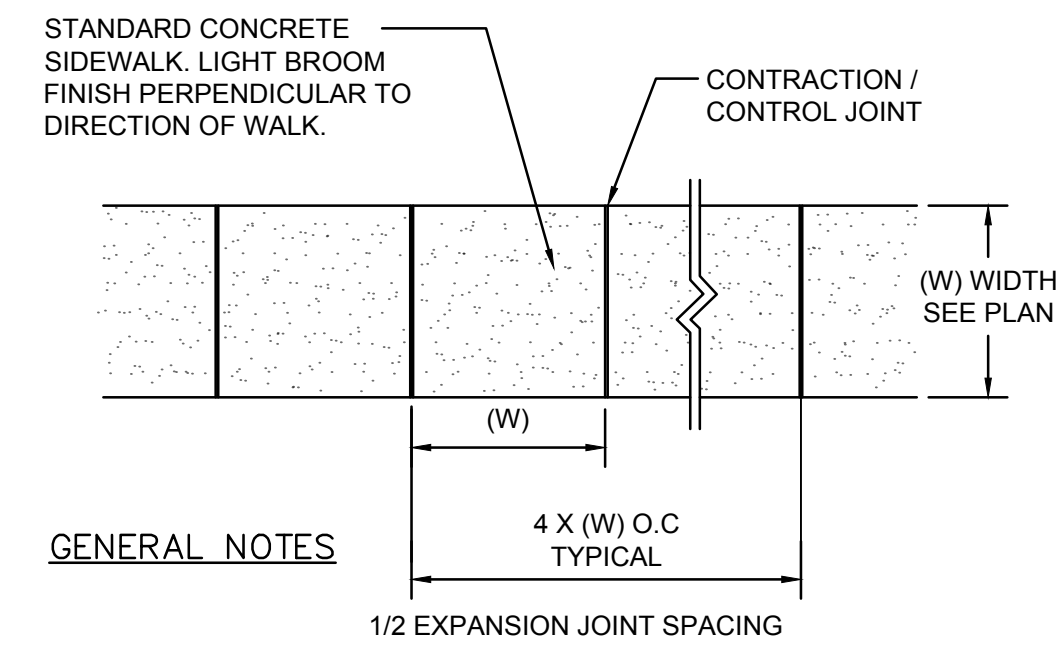


**GENERAL NOTES**

1. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
2. 1/2" EXPANSION JOINTS @ 24' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
3. REQUIRES FULL FORM ON ALL FACES.
4. 3/8" RADII AT ALL EXPOSED EDGES.

**SIDEWALK - TURNED DOWN EDGE**

SCALE: N.T.S.



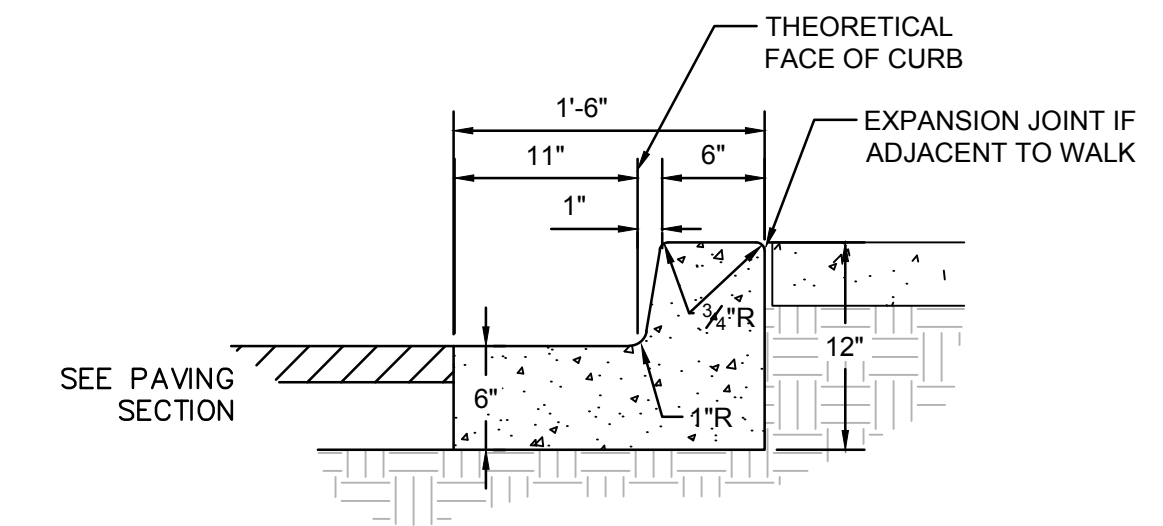
**GENERAL NOTES**

1. 4000 PSI COMPRESSIVE STRENGTH CONCRETE
2. SEE CONCRETE JOINTS DETAIL
3. FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP.)
4. 3/8" RADII AT ALL EXPOSED EDGES.

**CONCRETE WALK**

BROOM FINISH

SCALE: N.T.S.



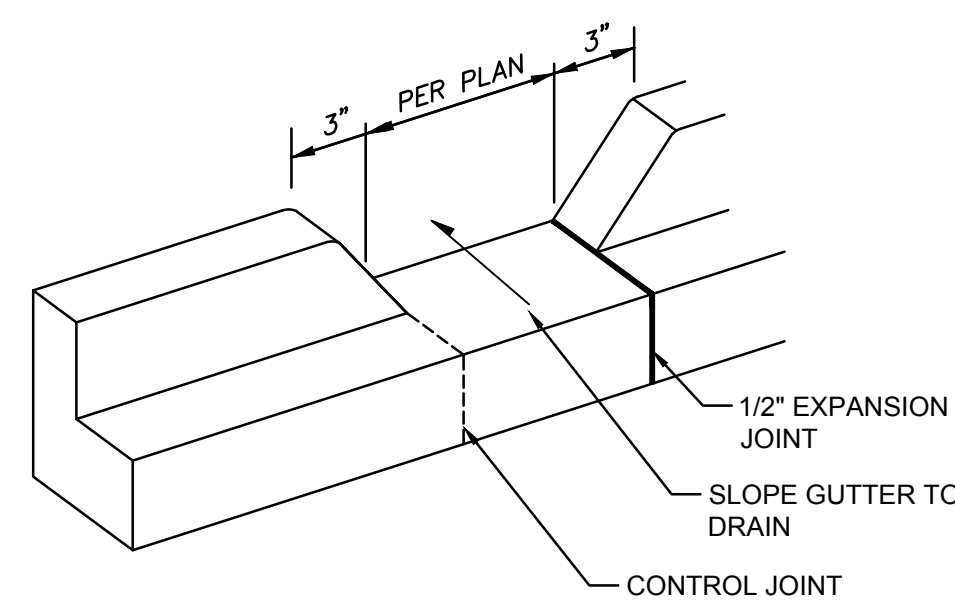
**GENERAL NOTES**

1. REQUIRES FULL FORM ON ALL FACES.
2. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
3. EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
4. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

**MEDIAN CURB AND GUTTER**

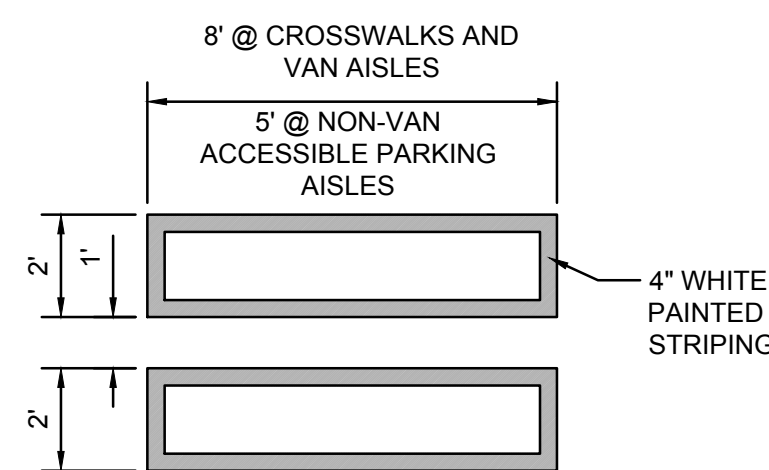
8" WIDE THEORETICAL FACE OF CURB

SCALE: N.T.S.



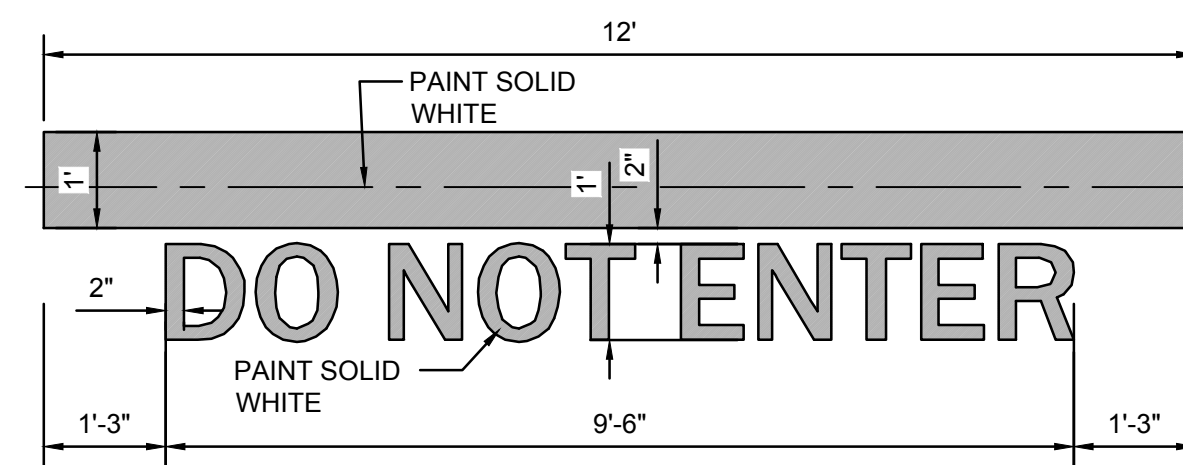
**CURB OPENING**

SCALE: N.T.S.

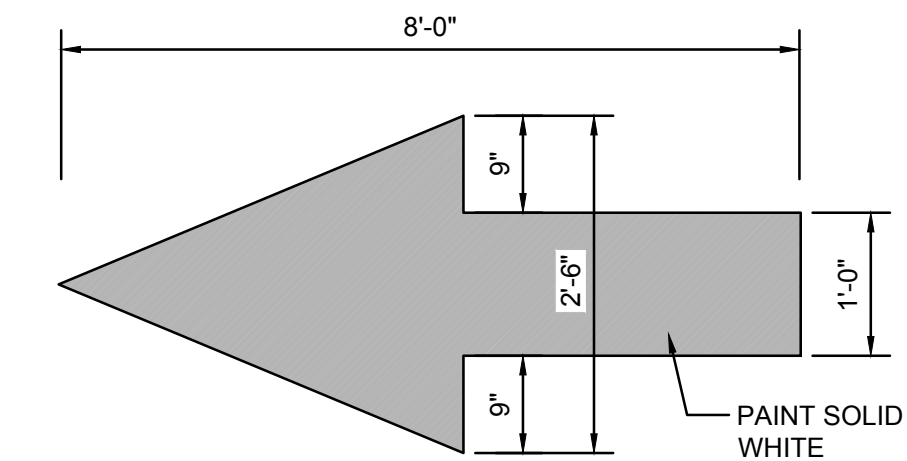


**PAINTED ACCESSIBLE CROSSWALK**

SCALE: N.T.S.

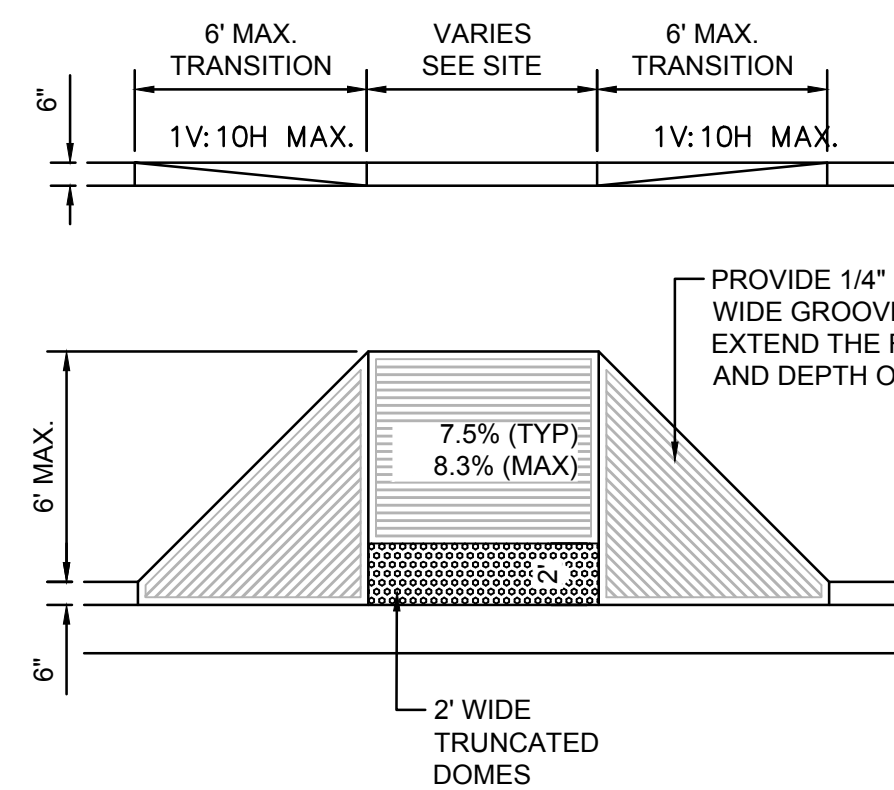


**PAINTED 'DO NOT ENTER'**



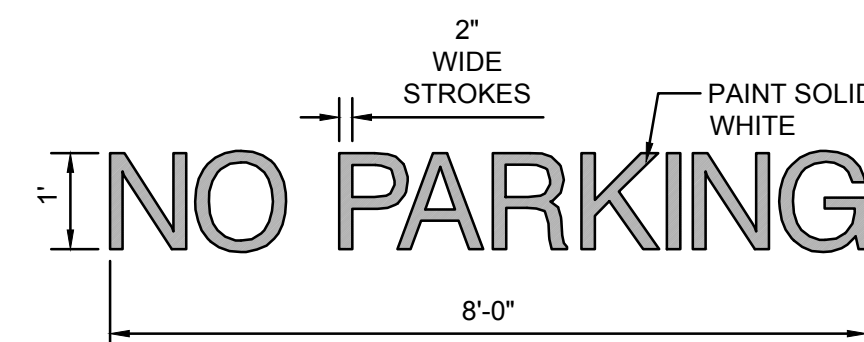
**PAINTED TRAFFIC ARROW**

SCALE: N.T.S.



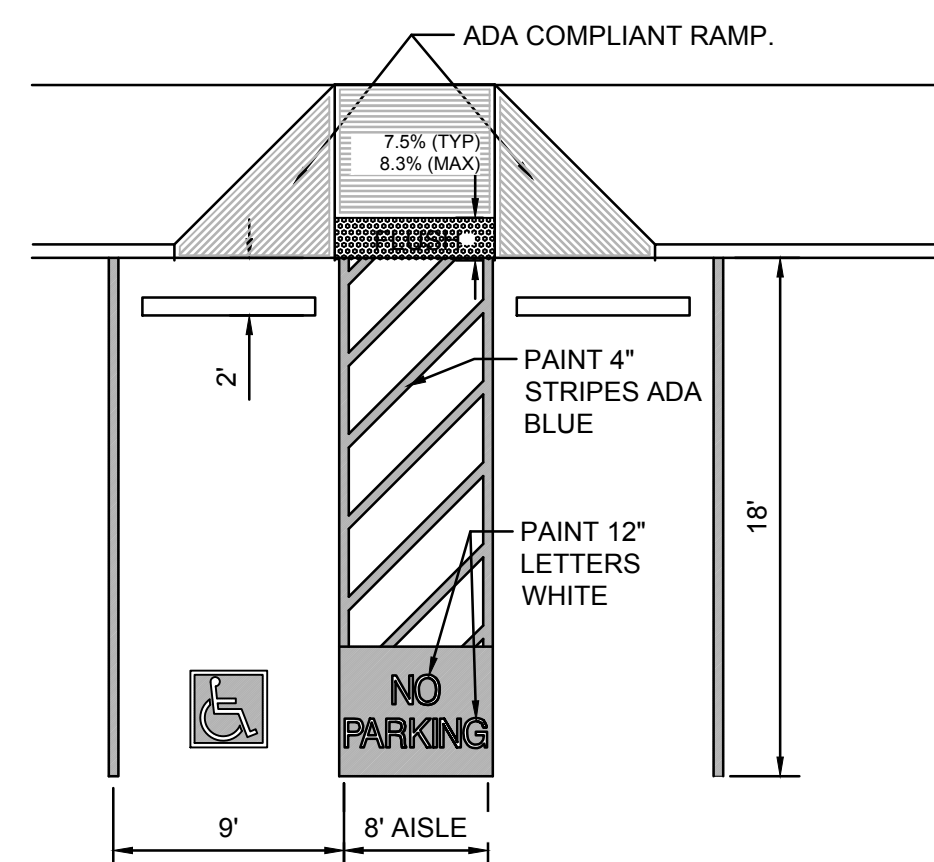
**FLARED ACCESSIBLE RAMP**

SCALE: N.T.S.



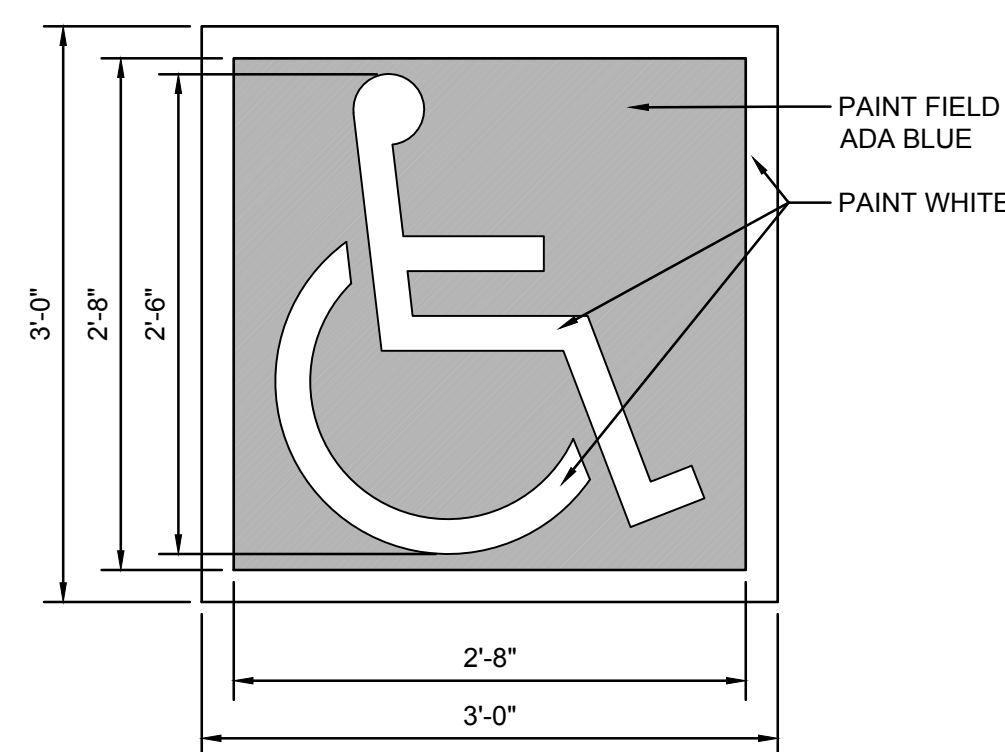
**PAINTED 'NO PARKING'**

SCALE: N.T.S.



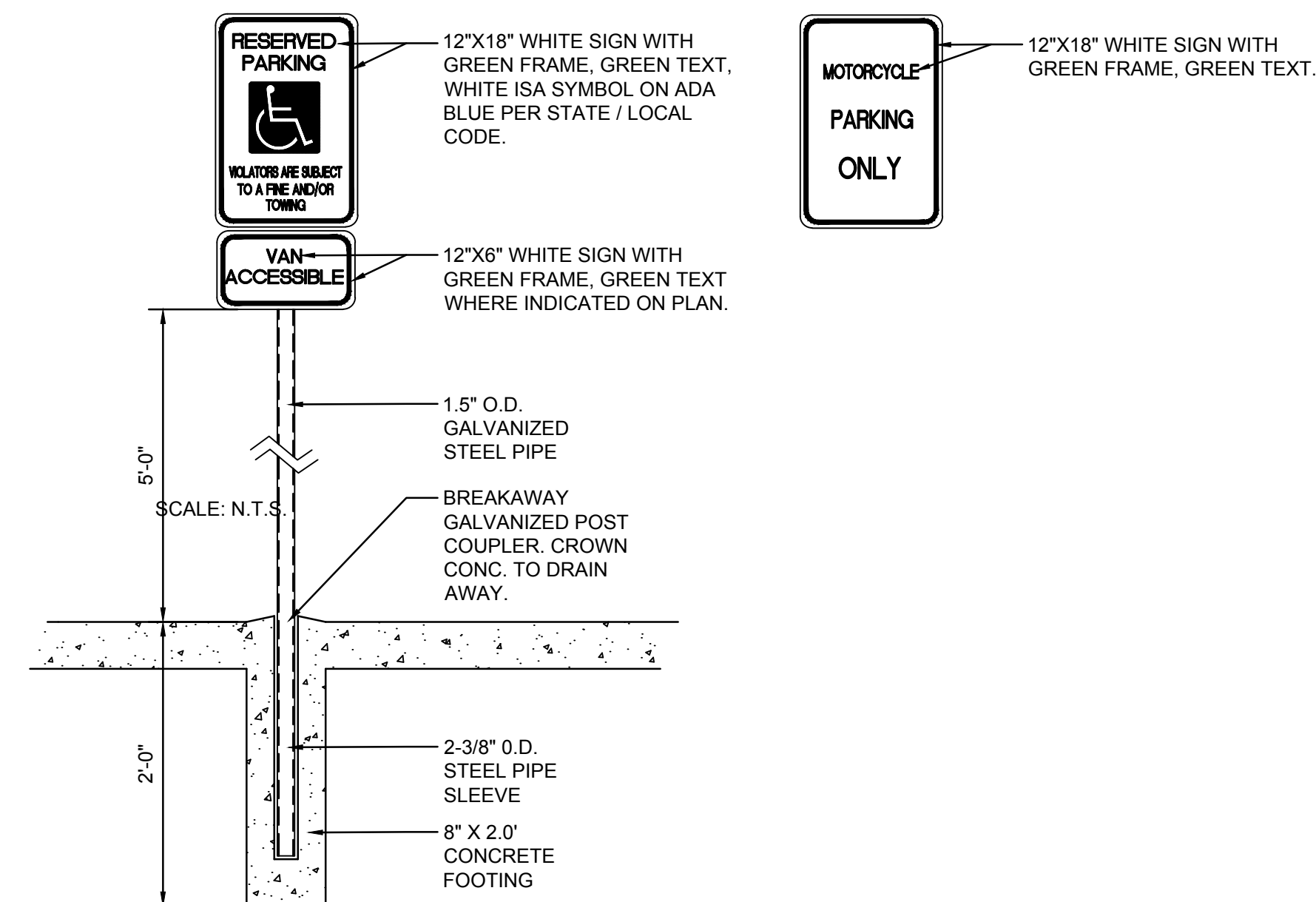
**ADA PARKING DETAIL**

SCALE: N.T.S.



**ACCESSIBILITY SYMBOL**

SCALE: N.T.S.



**SIGNAGE**

SCALE: N.T.S.

DESIGN	ISSUE	DATE
DESIGN DEVELOPMENT	PROJECT NUMBER: IA 2513	
	FILE:	
	DRAWN BY:	
	CHECKED BY:	
	DATE:	2022 09-11

**SHEET TITLE**

**PAVING DETAILS**

**SHEET NUMBER**

**CP-501**



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** Dutch Brothers - Juan Tabo **Building Permit #** \_\_\_\_\_ **Hydrology File #** H-21

**DRB#** \_\_\_\_\_ **EPC#** \_\_\_\_\_

**Legal Description:** Tract "H" Juan Tabo Subdivision **City Address OR Parcel** 2501 Juan Tabo NE

**Applicant/Agent:** Isaacson & Arfman, Inc. **Contact:** Fred C. Arfman / Justin Thor Simenson / Bryan Bobrick

**Address:** 128 Monroe St NE, ABQ, NM 87108 **Phone:** (505)268-8828

**Email:** freda@iacivil.com / thors@iacivil.com / bryanb@iacivil.com

**Applicant/Owner:** Accelerated Development **Contact:** Jake Palmer

**Address:** 2415 E. Camelback Rd Ste 400 Phoenix AZ, 85016 **Phone:** 602.682.8153

**Email:** Jake.Palmer@accelerateddevco.com

**TYPE OF DEVELOPMENT:**  PLAT (#of lots)  RESIDENCE  DRB SITE  ADMIN SITE:

RE-SUBMITTAL:  YES  NO

**DEPARTMENT:**  TRANSPORTATION  HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 10/24/2022