

CITY OF ALBUQUERQUE



December 21, 2015

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE Bldg. F
Albuquerque, NM 87110

**Re: Collet Park Elementary
2100 Morris St NE
Request for Permanent C.O. - Accepted
Engineer's Stamp dated: 10-27-15 (H21D010)
Certification dated: 12-17-15**

Dear Mr. Miller,

Based on the Certification received 12/17/2015, the site is acceptable for release of a permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

PO Box 1293

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

www.cabq.gov

TE/AC
C: email

SITE LOCATION

COLLET PARK ELEMENTARY IS LOCATED AT 2100 MORRIS ST., N.E. IN ALBUQUERQUE, NM. THE SCHOOL BOUNDARY IS IRREGULAR AND BOUNDED BY PROSPECT AVENUE TO THE NORTH, MORRIS STREET TO THE WEST, SNOW VISTA BOULEVARD TO THE SOUTH AND ON THE EAST BY GRETTA STREET AND MARTHA STREET.

EXISTING ON SITE CONDITIONS

THE SITE IS DEVELOPED WITH ELEMENTARY SCHOOL INFRASTRUCTURE INCLUDING CLASSROOMS, PLAYGROUNDS, AND PLAYGROUNDS. A MASTER GRADING AND DRAINAGE PLAN WAS DEVELOPED IN 1987 THAT WAS DIVIDED INTO NINE BASINS, WHICH ARE ALPHABETICALLY IDENTIFIED. SINCE IMPROVEMENTS ARE WITHIN BASIN C AND E-1, THIS REPORT FOCUSES ONLY ON SURFACE FLOWS AND A PORTION OF BASIN E DRAINS. DRAINAGE TO MORRIS STREET VIA SURFACE FLOWS, A PORTION OF BASIN E DRAINS, AND A PORTION OF BASIN C DRAINS. A PORTION OF BASIN E DRAINS TO PIEDRA LITTA ARROYO VIA SURFACE FLOWS AND A PORTION OF BASIN E DRAINS TO MORRIS STREET VIA SURFACE FLOWS. THE DRAINAGE DATA ON THIS PAGE SUMMARIZES THE EXISTING PEAK DISCHARGE AND RUNOFF VOLUME FOR BASIN C AND E.

PROPOSED CONDITIONS

THE PROPOSED DEVELOPMENT OF THE SITE WILL CONSIST OF A SINGLE, ONE STORY BUILDING AND THE RENOVATION OF EXISTING BUILDING STRUCTURES INCLUDING NEW CONCRETE SIDEWALKS AND HANDICAP ACCESS RAMPED FROM THE LOOP DROFF OFF AREA INTO TWO SEPARATE PROPOSED BASINS. DIVIDED EXISTING DRAINAGE BASIN E-1 INTO TWO SEPARATE PROPOSED BASINS. THE MAJORITY OF THE STORM WATER FLOW GENERATED FROM THIS DEVELOPMENT WITHIN BASIN C WILL CONTINUE TO DRAIN TO MORRIS STREET VIA SURFACE FLOW. THE STORM WATER FLOW GENERATED WITHIN BASIN B WILL BE COLLECTED BY A NEW STORM DRAIN SYSTEM. THIS FLOW WILL THEN BE DISCHARGED INTO THE EXISTING BASIN E-1. THIS MAP SUMMARIZES THE EXISTING PEAK DISCHARGE AND RUNOFF VOLUME FOR BASIN C.

E-1
E-2

OFFSITE FLOWS

THERE ARE NO APPARENT OFFSITE FLOWS AFFECTING THE SITE.

CONCLUSION

RUNOFF VOLUME AND FLOW RATE INCREASED AS A RESULT OF CHANGES IN LAND TREATMENTS FOR BASIN C BY 0.015 ACRE FEET AND THE PEAK FLOW RATE HAS INCREASED BY 0.13 CFS. RUNOFF VOLUME AND FLOW RATE INCREASED AS A RESULT OF CHANGES IN LAND TREATMENTS FOR BASIN E BY 0.02 ACRE FEET AND THE PEAK FLOW RATE INCREASED BY 0.07 CFS. THE MAJORITY OF THE RUNOFF FROM THE STREET SURFACE FLOWS FROM BASIN C INTO THE STORMWATER COLLECTION SYSTEM FROM BASIN E-1. THERE ARE NOT ANY IMPROVEMENTS BEING DONE IN PROPOSED BASIN E-2. THESE CALCULATIONS TAKE INTO CONSIDERATION PARKING LOT IMPROVEMENTS SHOWN ON PLANS BY WILSON AND COMPANY STAMP DATED 11-17-2010 (121/2010) AS EXISTING CONDITIONS.

SPECIAL ORDER 19

DRAINAGE FACILITIES WITHIN THE CITY

RIGHT-OF-WAY NOTICE TO CONTRACTOR

- 1) AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2) ALL WORK DETAILED ON THESE PLANS IS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, STRICTLY IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS' CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- 3) TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- 4) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5) BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6) MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- 7) WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

DRAINAGE DATA

Precipitation Zone 4 - 10-year Storm										P(1440) =	
Basin		Basin Area (Ac)		Land Treatment Factors		P(1440) =		1.93 in		2.44 in	
Basin	Basin Area (Ac)	A	B	C	D	Ew (in)	V(10-6) (af)	V(10-24) (af)	Q(10) (cfs)		
Existing Conditions											
C	1.21	0.10	0.00	0.25	0.86	1.38	0.139	0.175	3.72		
E	0.82	0.00	0.00	0.13	0.49	1.49	0.077	0.097	2.04		
Total	1.83								5.77		
Proposed Conditions											
C	1.21	0.10	0.00	0.16	0.95	1.45	0.146	0.186	3.84		
E-1	0.07	0.00	0.00	0.00	0.07	1.69	0.010	0.013	0.25		
E-2	0.55	0.00	0.00	0.13	0.42	1.46	0.067	0.085	1.79		
Total	1.83								5.88		

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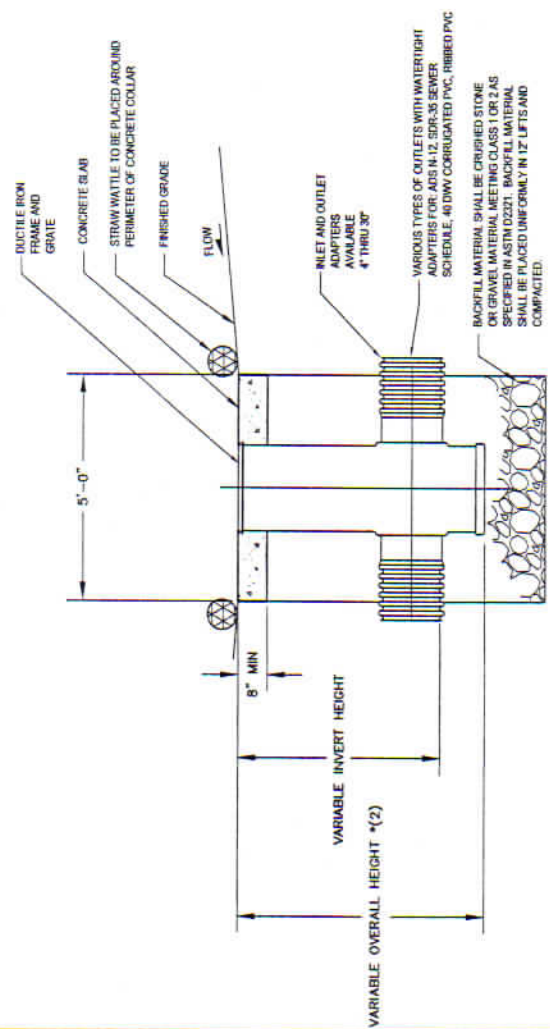
GENERAL NOTES:

- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY JEFF MORSEMAN AND ASSOCIATES, MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- PROJECT BENCHMARK IS ACS BRASS DISC STAMPED "2-H21", SET ON TOP OF A CONCRETE POST FLUSH WITH TOP OF CURB, LOCATED AT THE INTERSECTION OF MENAUL BOULEVARD N.E. AND JUAN THO BOULEVARD N.E.
ELEVATION = 5605.234 FEET (NAVD 1988)
- TEMPORARY BENCHMARK #1 IS A P.K. NAIL AT TOP BACK OF CURB, LOCATED AT THE SOUTHWEST CORNER OF PROSPECT AVENUE N.E. AND MORRIS STREET N.E.,
ELEVATION = 5528.32 FEET (NAVD 1988)
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.

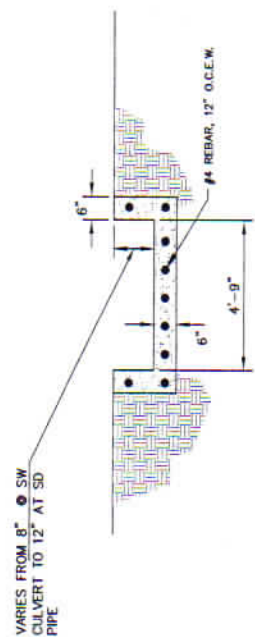
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY LOCATING CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 280-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE 90% COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557. LOCATIONS OF ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X. DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLANE ACCORDING TO THE FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO AND UNINCORPORATED AREAS PER MAP NO 3500IC 3576.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.

- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY. (FUGITIVE DUST PERMIT)
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.

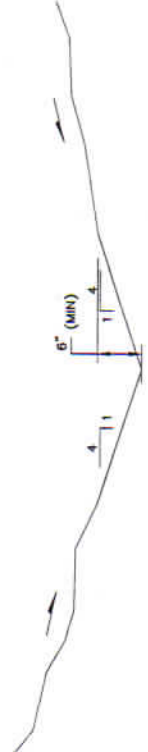
15. AS OF MARCH 10, 2003, THE USDA REQUIRES NPDES PERMITS TO HAVE COVERAGE FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS (COMMON PLANS OF DEVELOPMENT) THAT WILL RESULT IN THE DISTURBANCE (OR RE-EXPANSION) OF ONE OR MORE ACRES, INCLUDING DISBURSMENTS OF TOTAL LAND AREA. THE DEVELOPER SHOULD BE MADE AWARE THAT THE USEPA REQUIRES THAT ALL "OPERATORS" (SEE FEDERAL REGISTER/VOL. 63, NO. 128 / MONDAY, JULY 6, 1999 PG 36508) OBTAIN NPDES PERMIT COVERAGE FOR CONSTRUCTION PROJECTS. GENERALLY THIS MEANS THAT AT LEAST TWO PARTIES WILL REQUIRE PERMIT COVERAGE. THE OWNER/DEVELOPER OF THIS CONSTRUCTION PROJECT SHALL OBTAIN PERMIT COVERAGE FROM THE SAME PROJECT SPECIFICATIONS AS THE GENERAL CONTRACTOR WHO HAS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT THE SITE, WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORM WATER POLLUTION PLAN AND OTHER CONDITIONS, AND POSSIBLY OTHER "OPERATORS" THAT WILL REQUIRE APPROPRIATE NPDES PERMIT COVERAGE FOR THIS PROJECT.
16. THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY THE NRCS FIELD OFFICE REPRESENTATIVE THAT IS APPROPRIATE FOR THE PROJECT LOCATION. ALL DISTURBED AREAS WITH SLOPES LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ALL DISTURBED AREAS WITH SLOPES EQUAL TO OR GREATER THAN 3:1 SHALL RECEIVE CLASS "B" SEEDING. THE SEED MIX SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A SOILING COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN C125) OR APPROVED EQUAL ALL MATERIALS. EQUIPMENT AND LABOR ASSOCIATED WITH THE PROPER CONSTRUCTION OF THE STEEP SLOPE SEEDING WILL BE CONSIDERED INCIDENTAL AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS MATERIAL OR WORK. THE SEEDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEEDING MANUFACTURER'S RECOMMENDATIONS AND APPROVED BY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.
17. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
18. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0% AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 13.1%.
19. ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
20. THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
21. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
22. FOR CLARIFICATION, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.



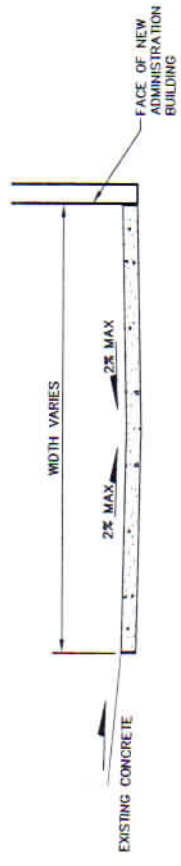
C1 DRAIN BASIN CONCRETE COLLAR AND STRAW WATTLE
SCALE: NOT TO SCALE



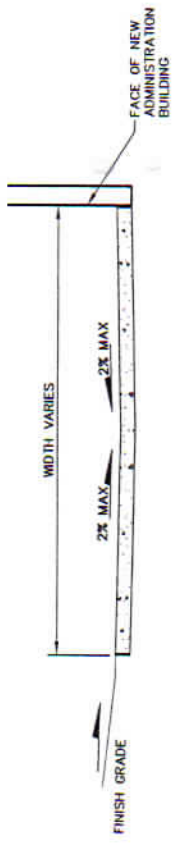
D3 CONCRETE CHANNEL
SCALE: NOT TO SCALE



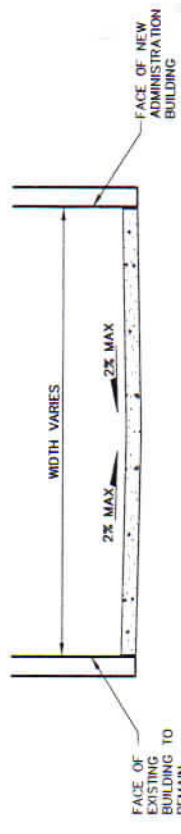
C3 TYPICAL EARTHEN SWALE
SCALE: NOT TO SCALE



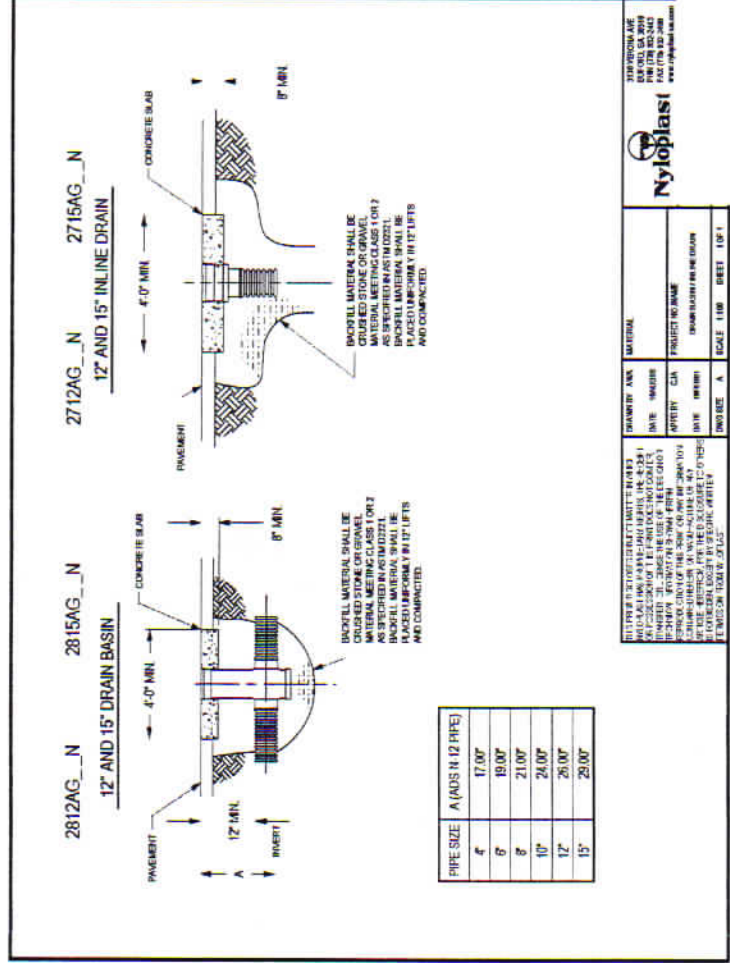
D4 TYPICAL SIDEWALK SECTION 'C1'



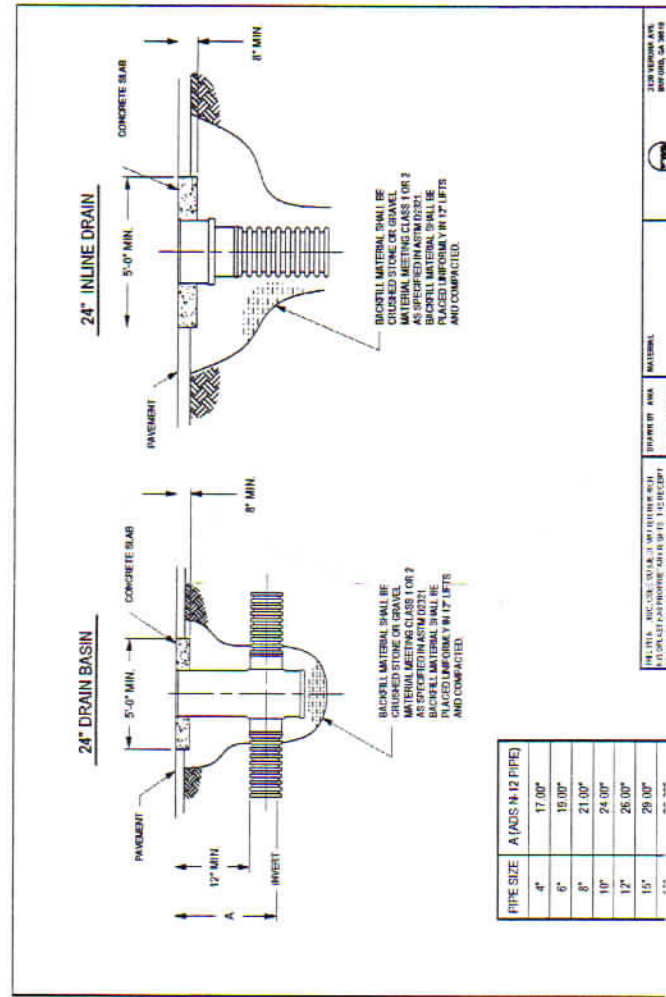
C4 TYPICAL SIDEWALK SECTION 'B1'



B4 TYPICAL SIDEWALK SECTION 'A1'



A1 NYLOPLAST DRAIN BASIN DETAIL
SCALE: NOT TO SCALE



NOTE: DRAIN BASIN COVERS SHALL BE ADA COMPLIANT AND PEDESTRIAN RATED.

PIPE SIZE	A (ADS IN 12 HFE)
4"	17.00"
6"	19.00"
8"	21.00"
10"	24.00"
12"	26.00"
15"	29.00"

[illegible]

PIPE SIZE	A (ADS-N 12 PIPE)
4"	17.00"
6"	19.00"
8"	21.00"
10"	24.00"
12"	26.00"
15"	28.00"

[illegible]

I, YVES DUVAL, INFLUENCE NUMBER 14057, OF THE FIRM ALBERT ENGINEERING CONSULTANTS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONDUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PROJECT DOCUMENTS. I HAVE REVIEWED THE PROJECT DOCUMENTS AND I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12 15 AND 16 SEPTEMBER 2011. I HAVE BEEN INFORMED THAT THE ABOVE INFORMATION IS REPRESENTATIVE OF THE ACTUAL SITE CONDITIONS AND THE PROJECT DESIGN. I HAVE NO KNOWLEDGE AND BELIEVE THIS CERTIFICATION IS CORRECT TO SUPPORT A REQUEST FOR THE CITY OF ALBUQUERQUE.

THE SECOND OF THE INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO SUBSTANTIATE COMPLIANCE OF THE CONSTRUCTION DRAWINGS OF THIS PROJECT. THINGS RELYING ON THIS SECOND DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

ME MILLER ENGINEERING CONSULTANTS
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