

3 | enlarged plaza plan
A001 | 1/8"=1'-0"

2 | Geographic Responsiveness Diagram

SITE PLAN KEY NOTES:

- (1) REMOVE EXISTING CONCRETE DRIVE APRON AND REPLACE WITH NEW SIDEWALK AND CURB. COA STD DWG. 2430.
- (2) EXTEND WATER METER ACCESS TO FLUSH WITH TOP OF NEW SIDEWALK.
- (3) DUMPSTER ENCLOSURE: SEE $\frac{18}{A002} \frac{19}{A002}$
- (4) EXISTING CURB AND PARKING SPACES. THE NEW CURB INTO EXISTING CURB.
- (5) EXIST. SIDEWALK TO REMAIN
- (6) NEW LIGHT POLE: SEE ELEC DWGS AND $\frac{13}{A002}$
- (7) NEW POURED IN PLACE CONCRETE WALL: SEE $\frac{14}{A002}$
- (8) NEW PERF MTL PANEL FENCE: SEE $\frac{16}{A002} \frac{17}{A002}$
- (9) 12' WIDE LANDSCAPE BED, SEE LANDSCAPE PLAN
- (10) ASPHALT PAVING: SEE SOILS REPORT FOR PAVING SECTION
- (11) 4" WIDE WHITE PARKING STRIPES
- (12) NEW CURB AND GUTTER: SEE $\frac{116}{A002}$
- (13) ROOF DRAIN LINE: SEE CIVIL
- (14) PUBLIC UTILITY EASEMENT
- (15) NEW CONCRETE DRIVE APRON AND RETURNS PER CITY OF ABO STD DWG 2426
- (16) CLEAR SIGHT TRIANGLE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- (17) 4' WIDE SIDEWALK FLUSH WITH ASPHALT
- (18) 2'X4' WHITE PAINT RECTANGLES PAINTED ON ASPHALT. 12" BETWEEN
- (19) ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STD DWG 2415A
- (20) SAWCUT CONTROL JOINTS: SEE $\frac{3}{A002}$
- (21) EXISTING MONUMENT SIGN TO REMAIN
- (22) EXISTING MONUMENT SIGN TO BE REMOVED
- (23) EXISTING RAMP AND SIDEWALK TO REMAIN
- (24) REMOVE EXISTING CONCRETE BETWEEN PLANTING BEDS ALONG LENGTH OF THIS SIDEWALK
- (25) EXISTING PROPERTY LINE BEING REMOVED BY SEPARATE PLATTING ACTION
- (26) DASHED LINES INDICATE DEMO. SEE PHASING NOTE ABOVE
- (27) REMOVE EXISTING ATM AND CONCRETE PAD
- (28) NEW ADA RAMP PER CITY OF ABO STD DWG. ALL RAMPS IN RIGHT OF WAY SHALL RECEIVE YELLOW TRUNCATED DOME SURFACE.
- (29) REMOVE EXISTING CONCRETE RETAINING WALL
- (30) LANDSCAPE AREA: SEE LANDSCAPE PLAN
- (31) MONUMENT SIGN: SEE $\frac{112}{A002}$
- (32) 12" TALL WHITE LETTERS PAINTED ON ASPHALT: "ONE WAY-DO NOT ENTER" AT EXIT, "DRIVE THRU ENTRANCE" AT ENTRANCE
- (33) DIRECTIONAL SIGN: SEE $\frac{118}{A002}$
- (34) DIRECTIONAL SIGN: SEE $\frac{119}{A002}$
- (35) CONC. SPLASH BLOCKS @ ROOF DRAINS
- (36) TRANSFORMER LOCATION: SEE ELEC.

1 NOTE: UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DRAWING 2415.

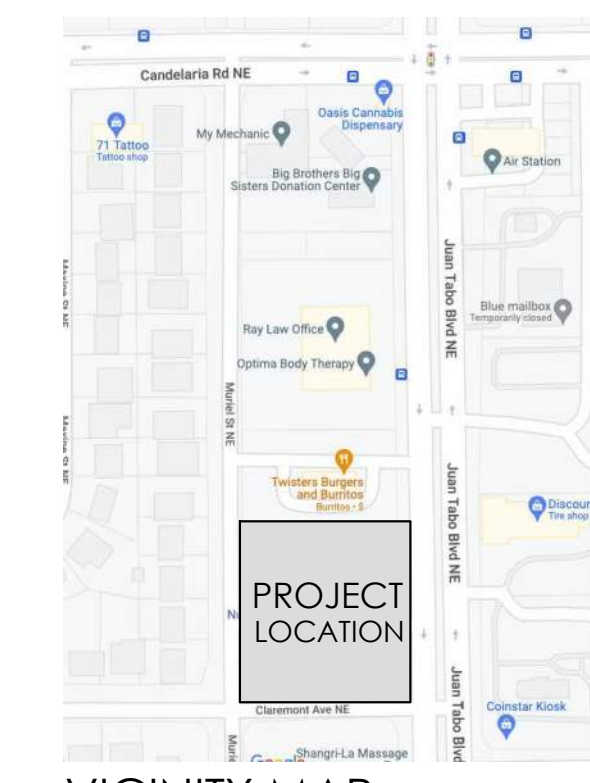
1 | site plan
A001 | 1"=20'

SITE DATA		PR-2022-007701
SITE LOCATION	SI. 22805 QUINCY BOULEVARD NE ALBUQUERQUE, NM 87112-4708	
LEGAL DESCRIPTIONS	3-A-1 TRACT B-2 BLOCK 79 SNOW HEIGHTS ADDITION	
UPC NUMBER:	101906418906730212	
ZONING:	MX-L	
ZONE ATLAS PAGE:	H-21	
PREVIOUS DRB APPROVAL:	NONE FOUND	
TOTAL LOT AREA:	55,797 SF (1.3 AC)	
GROSS BUILDING AREA:	4226 SF	
BUILDING FOOTPRINT AREA:	4226 SF	
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	51,571 SF	
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	7.5 %	
PARKING CALCULATIONS (PER IDO):		TOTAL SPACES PROVIDED: 51
3 SP/1000 SF (4226 SF = 12.69 SPACES REQUIRED		
ACCESSIBLE PARKING REQ'D: (51-100)=4 INCL. 1 VAN TOTAL PROVIDED: 4		
MOTORCYCLE PARKING REQUIRED: (51-100) 3 SP.		TOTAL PROVIDED: 3
BICYCLE PARKING REQUIRED: (3 MIN)		TOTAL PROVIDED: 5

PHASING PLAN:

- PHASE ONE:
1. DEMOLISH ALL EXISTING CONSTRUCTION ON THE PORTION OF THE PROPERTY NORTH OF THE PROPERTY LINE BEING REMOVED. (SEE NOTE 25 ON SITE PLAN. THE EXISTING CREDIT UNION BUILDING, PARKING LOT AND DRIVE THROUGH ON THE SOUTH PORTION OF THE PROPERTY IS TO REMAIN OPEN).
 2. FENCE OFF THE NORTH PORTION OF THE PROPERTY AND CONSTRUCT THE NEW SINGLE STORY CREDIT UNION BUILDING AS DESCRIBED IN THESE CONSTRUCTION DRAWINGS.
 3. GRADE THE NORTH PORTION OF THE PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN. PROVIDE TEMPORARY PONDING AS NECESSARY.

- PHASE TWO:
1. REMOVE THE EXISTING BUILDING ON THE SOUTH PORTION OF THE PROPERTY ALONG WITH ALL SITE WORK, RETAINING WALLS, PARKING LOTS, CURBS, AND LANDSCAPE.
 2. GRADE SOUTH PORTION OF PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN.
 3. CONSTRUCT THE DRIVE THROUGH CANOPY AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.
 4. COMPLETE ALL SITE FLATWORK, INCLUDING CONCRETE WALKS, DRIVEWAYS, RAMPS, CURBS, PAVING, AND LANDSCAPE FOR THE ENTIRE SITE AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.



SITE PLAN

A NEW BRANCH FOR:



revisions:
 9-18-22 TCL COMMENT

date: 5-16-23

sheet: A001