

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 18, 2024

Joe Slagle, R.A
Joe Slagle Architect, Inc
P.O Box 10362
Albuquerque, NM 87184

Re: Nusenda Credit Union
2801 Juan Tabo Blvd. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 10-26-22 (H21-D020)
Certification dated 09-12-24

Dear Mr. Slagle,

Based upon the information provided in your submittal received 09-17-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- A Truncated Domes must be installed at the corner ramp of Juan Tabo Blvd and Claremont Ave.
- The city right of way ramp at the corner of Claremont Ave and Muriel St. must be updated to the current ADA standard and truncated domes must be installed. Per site visit the corner ramp width was 3 ft. the minimum width should be 4 ft.



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- Prior to issue a Perm CO, the construction of the site access off Muriel St. must be completed.



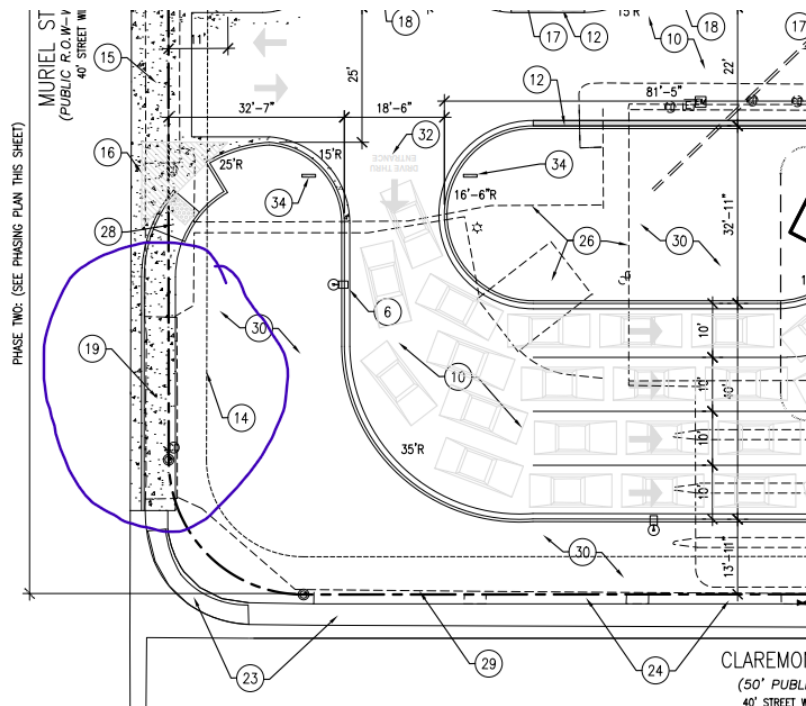
PO Box 1293

Albuquerque

- Per approved site plan, Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

NM 87103

www.cabq.gov



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- Per approved site plan “All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter.” A build note must be provided referring to the appropriate City Standard drawing. Broken sidewalk off Juan Tabo must be fixed.



PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Anchor down bike rack.
- Motorcycle parking signs must be installed.

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

CITY OF ALBUQUERQUE

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If you have any questions, please contact me at (505) 924-3675.

Sincerely,

A handwritten signature in black ink, appearing to read 'Marwa Al-najjar', with a long, sweeping horizontal line extending to the right.

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Nusenda Credit Union Building Permit #: BP-2023-11751 Hydrology File #: _____
DRB#: PR-2022-007701 EPC#: _____ Work Order#: _____
Legal Description: Tract 13-A-1 Block 79 Snow Heights Addition
City Address: 2801 Juan Tabo Blvd NE

Applicant: Nusenda Credit Union Contact: Jeff Martinez
Address: P.O. Box 8530 Albuquerque NM 87198
Phone#: 505 235 8752 Fax#: _____ E-mail: jeffmartinez@nusenda.org
Other Contact: Joe Slagle Architect Contact: Joe Slagle
Address: P.O. Box 10362, Albuquerque NM 87184
Phone#: 505 228 8707 Fax#: _____ E-mail: joe@slaglearchitect.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE X DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT X TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ____ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY (TEMPORARY)
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 9-12-24 By: Joe Slagle

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

September 12, 2024

Re: Building permit no. BP-2023-11751: New Branch office for Nusenda Credit Union at 2801 Juan Tabo NE, Abq NM.

Transportation Certification Letter

I, Joe Slagle am the architect of record for this project, and I visited the jobsite today for the purpose of viewing the parking lot, drive aisles, entrances, sidewalks and ADA accessibility requirements for the purpose of certifying that the construction matches the approved construction documents.

This project is two phases: the first phase being the construction of the new Nusenda building at the north portion of the property along with phase one of the site work for the new building. The second phase will consist of demolishing the existing Nusenda building on the southern portion of the property as soon as the new building is open and constructing the free-standing drive thru canopy and all associated site work. This certification is for phase one only with the intent of obtaining a temporary certificate of occupancy for the new building. Permanent C.O. will be obtained once the drive thru canopy and site work is complete.

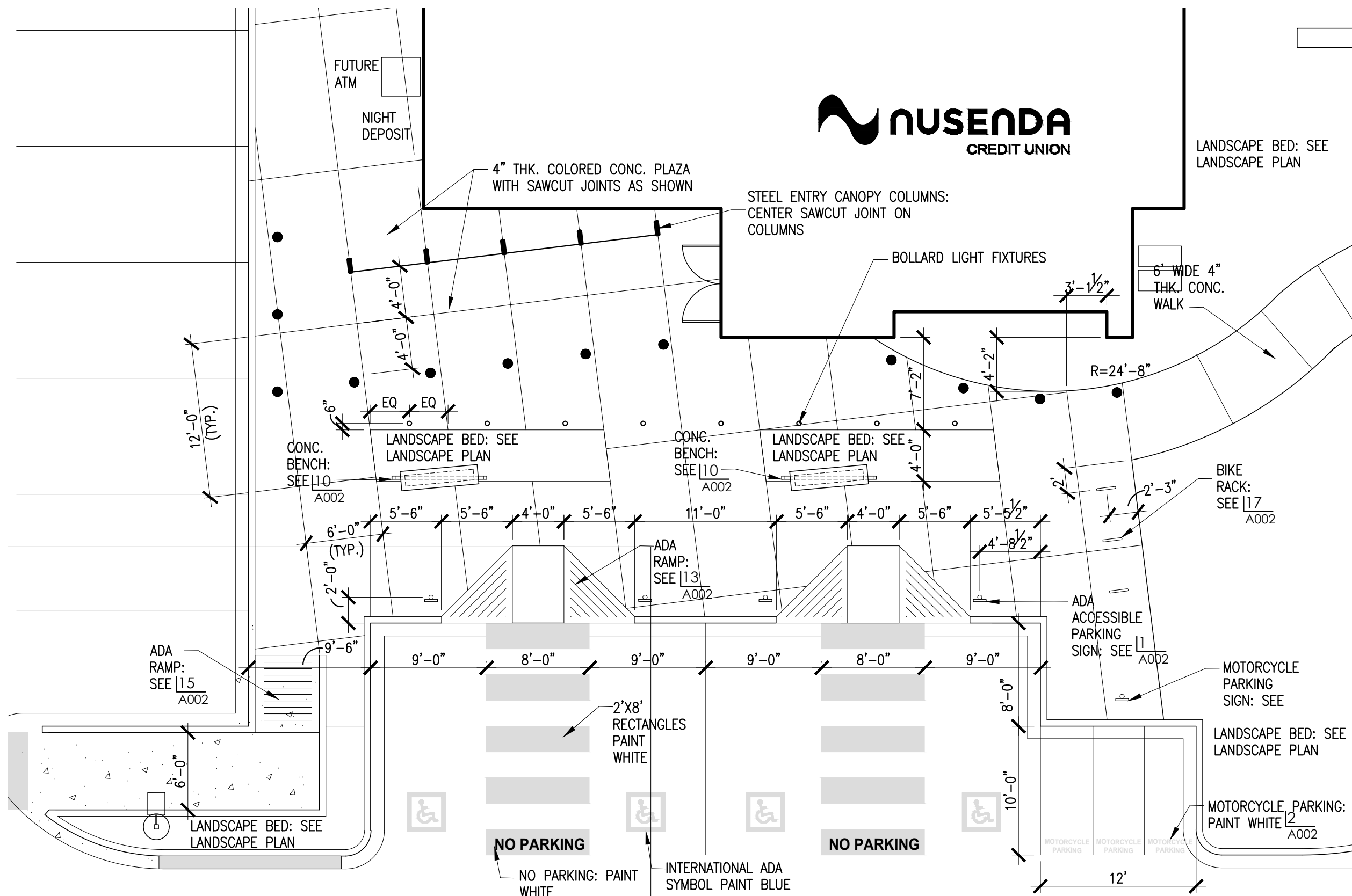
The attached site plan documents my findings today at the jobsite.

Sincerely

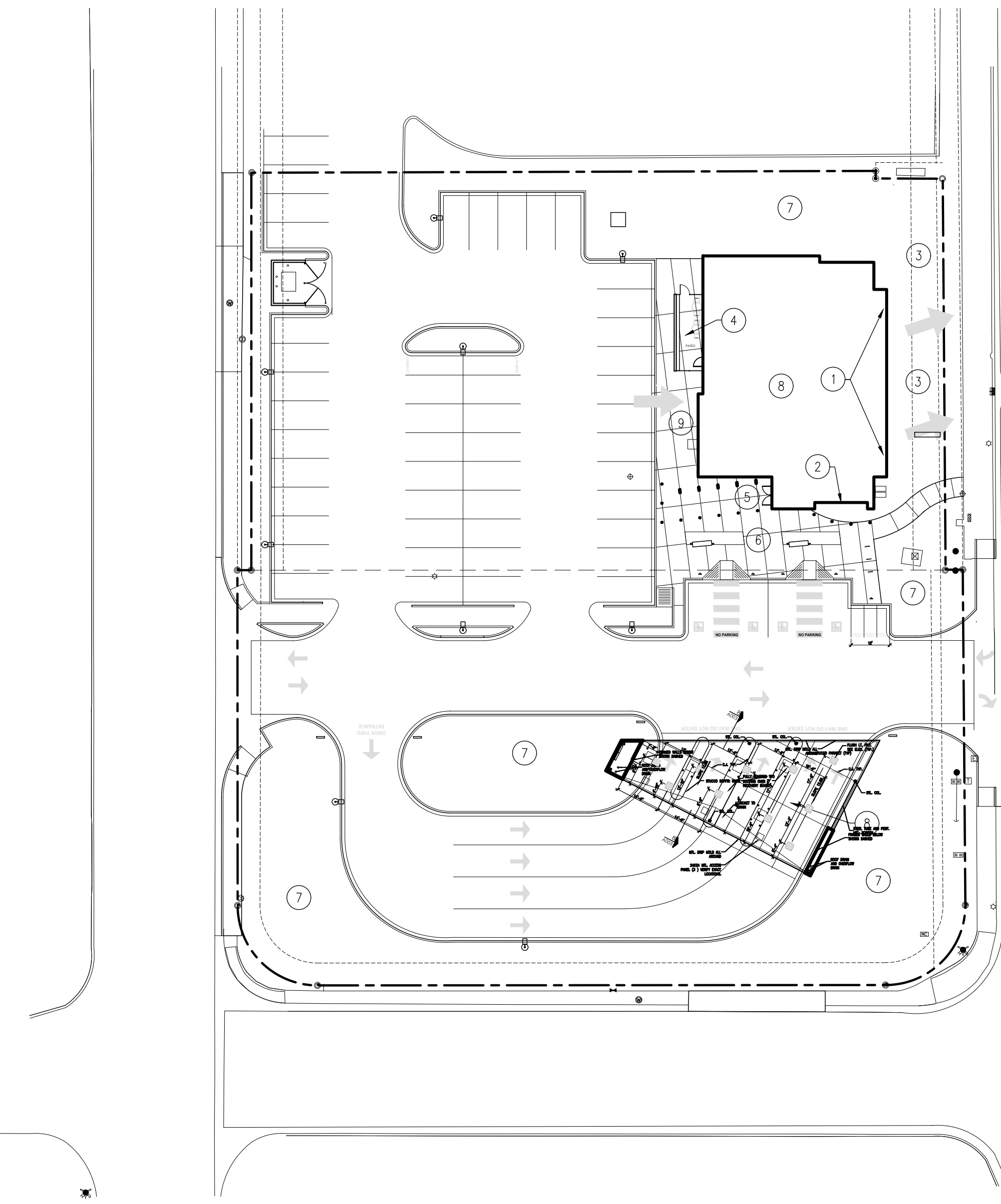


Joe Slagle Architect, Inc.





3 | enlarged plaza plan
A001 1/8"=1'-0"



- KEYED NOTES:
- 1 LARGE EAST FACING GLASS WALL ALLOWS FILTERED MORNING SUN AS WELL AS PARTIAL VIEWS OF SANDIA MOUNTAINS. GLASS WILL BE INSULATED LOW-E ELECTROCHROMIC SELF TINTING GLASS TO CONTROL DIRECT SUN GLARE.
 - 2 LARGE SOUTH FACING GLASS WALL WITH PROTECTIVE OVERHANG PROVIDES SOUTHERN SUN
 - 3 EXTENSIVE LANDSCAPING AT EAST SIDE OF BUILDING TO PROVIDE VISUAL AND SOUND BUFFER FROM STREET
 - 4 OUTDOOR PATIO LOCATED ON WEST SIDE OF BUILDING TO PROTECT FROM ROAD NOISE. LARGE WEST WALL COVERED WITH CLIMBING VINES PROVIDES COOLING EFFECT
 - 5 ENTRY FACING SOUTH AND WEST WITH EXTENSIVE PROTECTIVE CANOPY TO PROTECT FROM INCLEMENT WEATHER.
 - 6 LANDSCAPED ENTRY PLAZA WITH TREES AND BENCHES TO PROVIDE COOLING EFFECT AT ENTRANCE
 - 7 LARGE UNBROKEN LANDSCAPE AREAS HELP OFFSET HEAT ISLAND EFFECT
 - 8 SLIGHTLY SOUTH SLOPING ROOFS AT BUILDING AND DRIVE THROUGH CANOPY TO ALLOW FOR INSTALLATION OF SOLAR PANELS
 - 9 FEW SMALL OPENINGS ON WEST SIDE. TO MITIGATE HARSH AFTERNOON HEAT.

2 | Geographic Responsiveness Diagram
A001 1/8"=1'-0"

SITE PLAN KEY NOTES:

- 1 REMOVE EXISTING CONCRETE DRIVE APRON AND REPLACE WITH NEW SIDEWALK AND CURB. COA STD DWG. 2430.
- 2 EXTEND WATER METER ACCESS TO FLUSH WITH TOP OF NEW SIDEWALK.
- 3 DUMPSTER ENCLOSURE: SEE 18 A002 A002
- 4 EXISTING CURB AND PARKING SPACES. TIE NEW CURB INTO EXISTING CURB.
- 5 EXIST. SIDEWALK TO REMAIN
- 6 NEW LIGHT POLE: SEE ELEC DWGS AND 13 A002
- 7 NEW POURED IN PLACE CONCRETE WALL: SEE 14 A002
- 8 NEW PERF MTL PANEL FENCE: SEE 6 A002 7 A002
- 9 12' WIDE LANDSCAPE BED, SEE LANDSCAPE PLAN
- 10 ASPHALT PAVING: SEE SOILS REPORT FOR PAVING SECTION
- 11 4" WIDE WHITE PARKING STRIPES
- 12 NEW CURB AN GUTTER: SEE 16 A002
- 13 ROOF DRAIN LINE: SEE CIVIL
- 14 PUBLIC UTILITY EASEMENT
- 15 NEW CONCRETE DRIVE APRON AND RETURNS PER CITY OF ABQ STD DWG 2426
- 16 CLEAR SIGHT TRIANGLE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- 17 4' WIDE SIDEWALK FLUSH WITH ASPHALT
- 18 2'X4' WHITE PAINT RECTANGLES PAINTED ON ASPHALT. 12' BETWEEN.
- 19 ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STD DWG 2415A
- 20 SAWCUT CONTROL JOINTS: SEE 13 A002
- 21 EXISTING MONUMENT SIGN TO REMAIN
- 22 EXISTING MONUMENT SIGN TO BE REMOVED
- 23 EXISTING RAMP AND SIDEWALK TO REMAIN
- 24 REMOVE EXISTING CONCRETE BETWEEN PLANTING BEDS ALONG LENGTH OF THIS SIDEWALK
- 25 EXISTING PROPERTY LINE BEING REMOVED BY SEPARATE PLATTING ACTION
- 26 DASHED LINES INDICATE DEMO. SEE PHASING NOTE ABOVE
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- 30 LANDSCAPE AREA: SEE LANDSCAPE PLAN
- 31 MONUMENT SIGN: SEE 112 A002
- 32 12" TALL WHITE LETTERS PAINTED ON ASPHALT: "ONE WAY-DO NOT ENTER" AT EXIT, "DRIVE THRU ENTRANCE" AT ENTRANCE
- 33 DIRECTIONAL SIGN: SEE 18 A002
- 34 DIRECTIONAL SIGN: SEE 19 A002
- 35 CONC. SPLASH BLOCKS @ ROOF DRAINS
- 36 TRANSFORMER LOCATION: SEE ELEC.
- 37 EXISTING ADA RAMPS TO BE UPDATED PER CURRENT STANDARDS AND TRUNCATED DOMES INSTALLED.

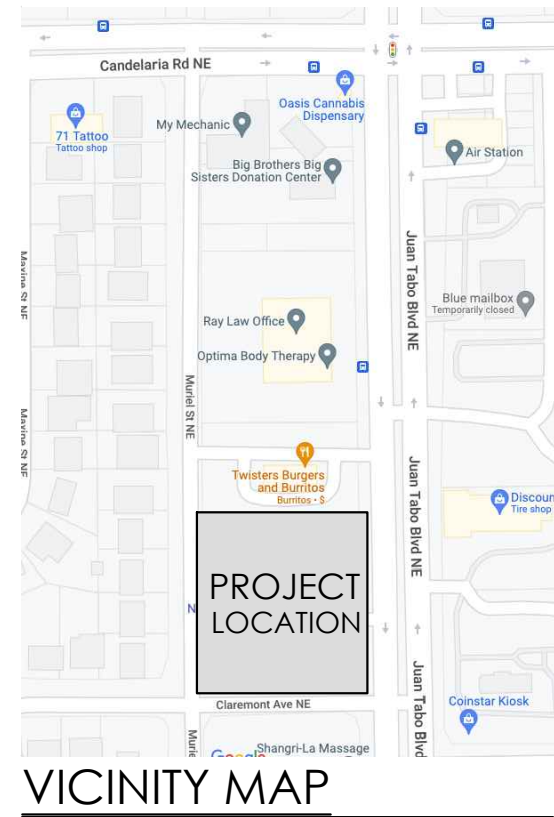
SITE DATA

PR-2022-007701

SITE LOCATION	SI-23801 JUAN TABO BOULEVARD NE ALBUQUERQUE, NM
LEGAL DESCRIPTIONS-A-1 TRACT B-2 BLOCK 79 SNOW HEIGHTS ADDITION	
UPC NUMBER:	101906418906730212
ZONING:	MX-L
ZONE ATLAS PAGE:	H-21
PREVIOUS DRB APPROVAL:	NONE FOUND
TOTAL LOT AREA:	55,797 SF (1.3 AC)
GROSS BUILDING AREA:	4226 SF
BUILDING FOOTPRINT AREA:	4226 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	51,571 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	7.5 %
PARKING CALCULATIONS (PER IDO):	TOTAL SPACES PROVIDED: 51 3 SP/1000 SF (4226 SF = 12.69 SPACES REQUIRED)
ACCESSIBLE PARKING REQ'D: (51-100)=4 INCL. 1 VAN TOTAL PROVIDED: 4	
MOTORCYCLE PARKING REQUIRED: (51-100) 3 SP. TOTAL PROVIDED: 3	
BICYCLE PARKING REQUIRED: (3 MIN) TOTAL PROVIDED: 5	

PHASING PLAN:

- PHASE ONE:
1. DEMOLISH ALL EXISTING CONSTRUCTION ON THE PORTION OF THE PROPERTY NORTH OF THE PROPERTY LINE BEING REMOVED. (SEE NOTE 25 ON SITE PLAN. THE EXISTING CREDIT UNION BUILDING, PARKING LOT AND DRIVE THROUGH ON THE SOUTH PORTION OF THE PROPERTY IS TO REMAIN OPEN
 2. FENCE OFF THE NORTH PORTION OF THE PROPERTY AND CONSTRUCT THE NEW SINGLE STORY CREDIT UNION BUILDING AS DESCRIBED IN THESE CONSTRUCTION DRAWINGS.
 3. GRADE THE NORTH PORTION OF THE PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN. PROVIDE TEMPORARY PONDING AS NECESSARY.
- PHASE TWO:
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 3. CONSTRUCT THE DRIVE THROUGH CANOPY AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.
 4. COMPLETE ALL SITE FLATWORK, INCLUDING CONCRETE WALKS, DRIVEWAYS, RAMPS, CURBS, PAVING, AND LANDSCAPE FOR THE ENTIRE SITE AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.



SITE PLAN

A NEW BRANCH FOR:

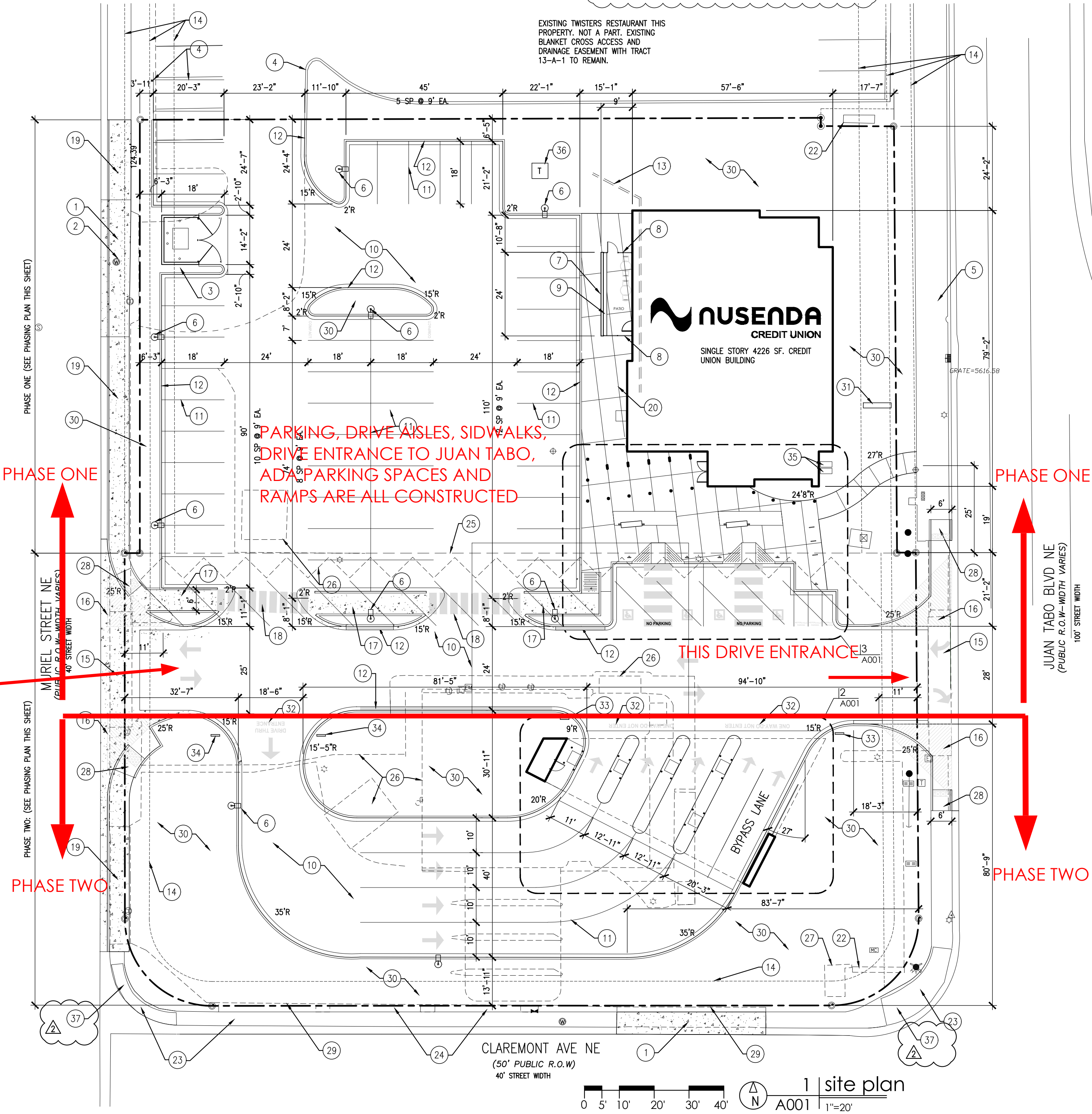


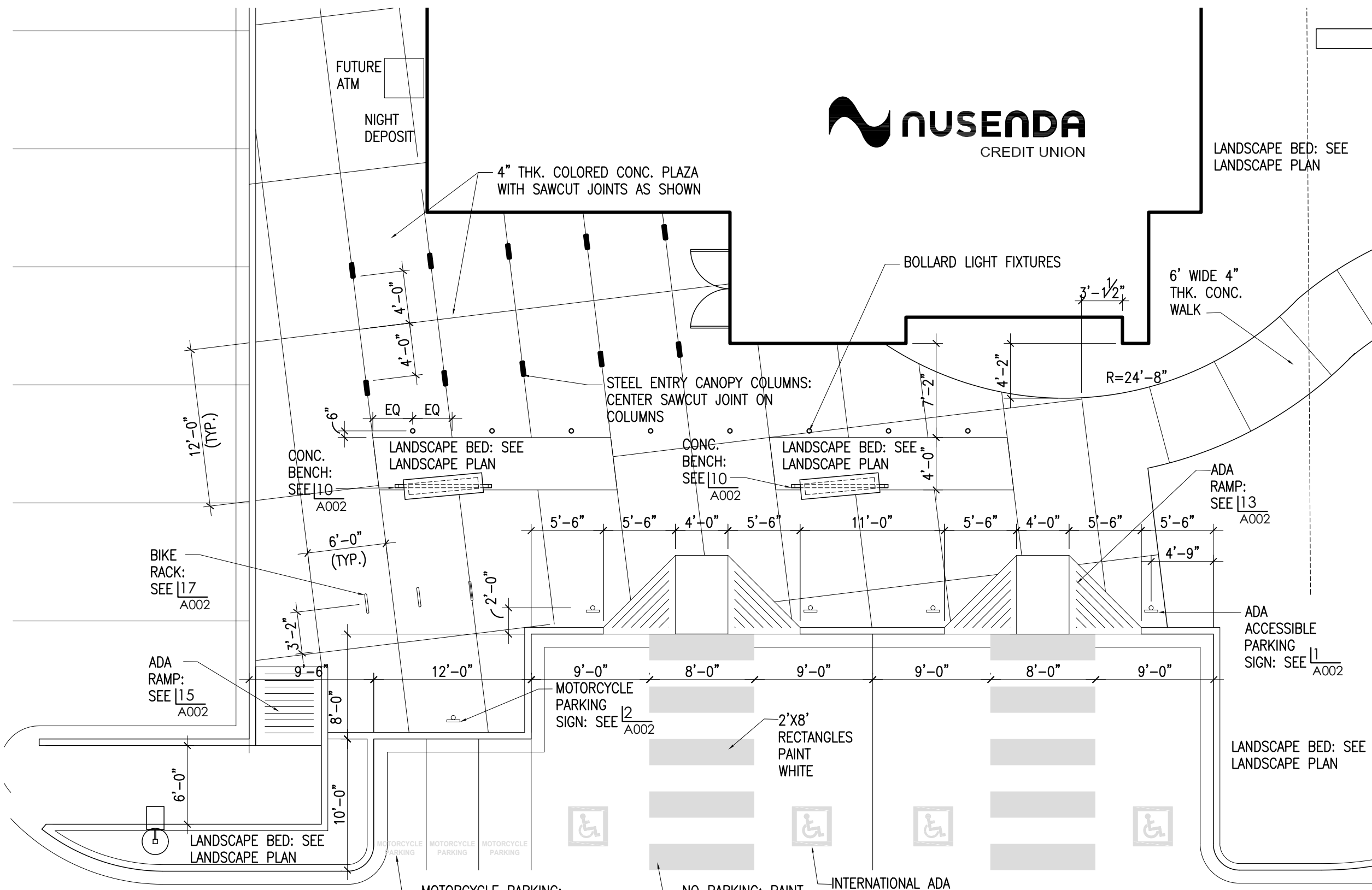
revisions:

- 9-18-22 TCL COMMENT
- 6-8-23 TCL COMMENT

date: 8-31-23

sheet: A001





3 enlarged plaza plan
A001 1/8"=1'-0"

KEYED NOTES:

- 1 LARGE EAST FACING GLASS WALL ALLOWS FILTERED MORNING SUN AS WELL AS PARTIAL VIEWS OF SANDIA MOUNTAINS. GLASS WILL BE INSULATED LOW-E ELECTROCHROMIC SELF TINTING GLASS TO CONTROL DIRECT SUN GLARE.
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- 34 DIRECTIONAL SIGN: SEE 119 A002

NOTE: UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DRAWING 2415.

PROJECT NUMBER: PR-2022-007701

Application Number: SI-2022-01868

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Ernest Armijo

Traffic Engineering, Transportation Division

ABCWUA

Parks and Recreation Department

City Engineer/Hydrology

Code Enforcement

* Environmental Health Department (conditional)

Solid Waste Management

DRB Chairperson, Planning Department

Feb 15, 2023

Date

Feb 17, 2023

Date

Feb 16, 2023

Date

Feb 16, 2023

Date

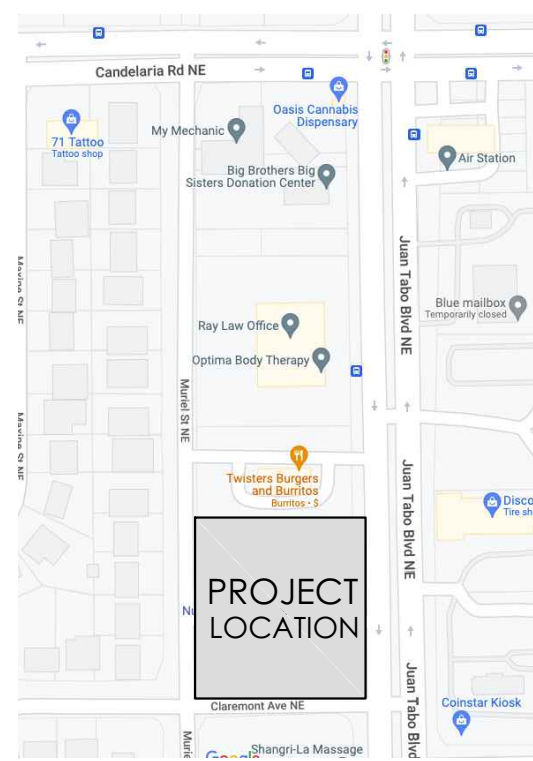
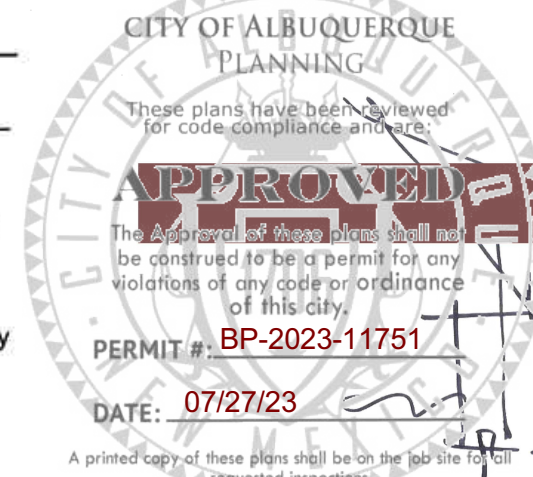
Feb 16, 2023

Date

Date

Feb 27, 2023

Date



VICINITY MAP

SITE DATA

SITE LOCATION	2805 JUAN TABO BOULEVARD NE
ALBUQUERQUE, NM	
LEGAL DESCRIPTIONS-A-1 TRACT B-2 BLOCK 79	SNOW HEIGHTS ADDITION
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UPC NUMBER:	101906418906730212
ZONE ATLAS PAGE:	H-21
PREVIOUS DRB APPROVAL:	NONE FOUND
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GROSS BUILDING AREA:	4226 SF
BUILDING FOOTPRINT AREA:	4226 SF
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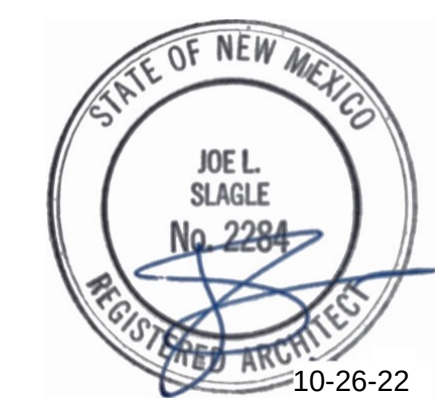
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ADA PARKING SPACES WERE REVERSED WITH MOTORCYCLE PARKING AS SHOWN ON THIS PLAN DURING CONSTRUCTION IN ORDER TO REDUCE THE DISTANCE FROM THE ADA PARKING TO THE ENTRANCE. SEE

SITE PLAN

A NEW BRANCH FOR:

nUSENDA
CREDIT UNION
2801 JUAN TABO BLVD NE
ALBUQUERQUE, NM

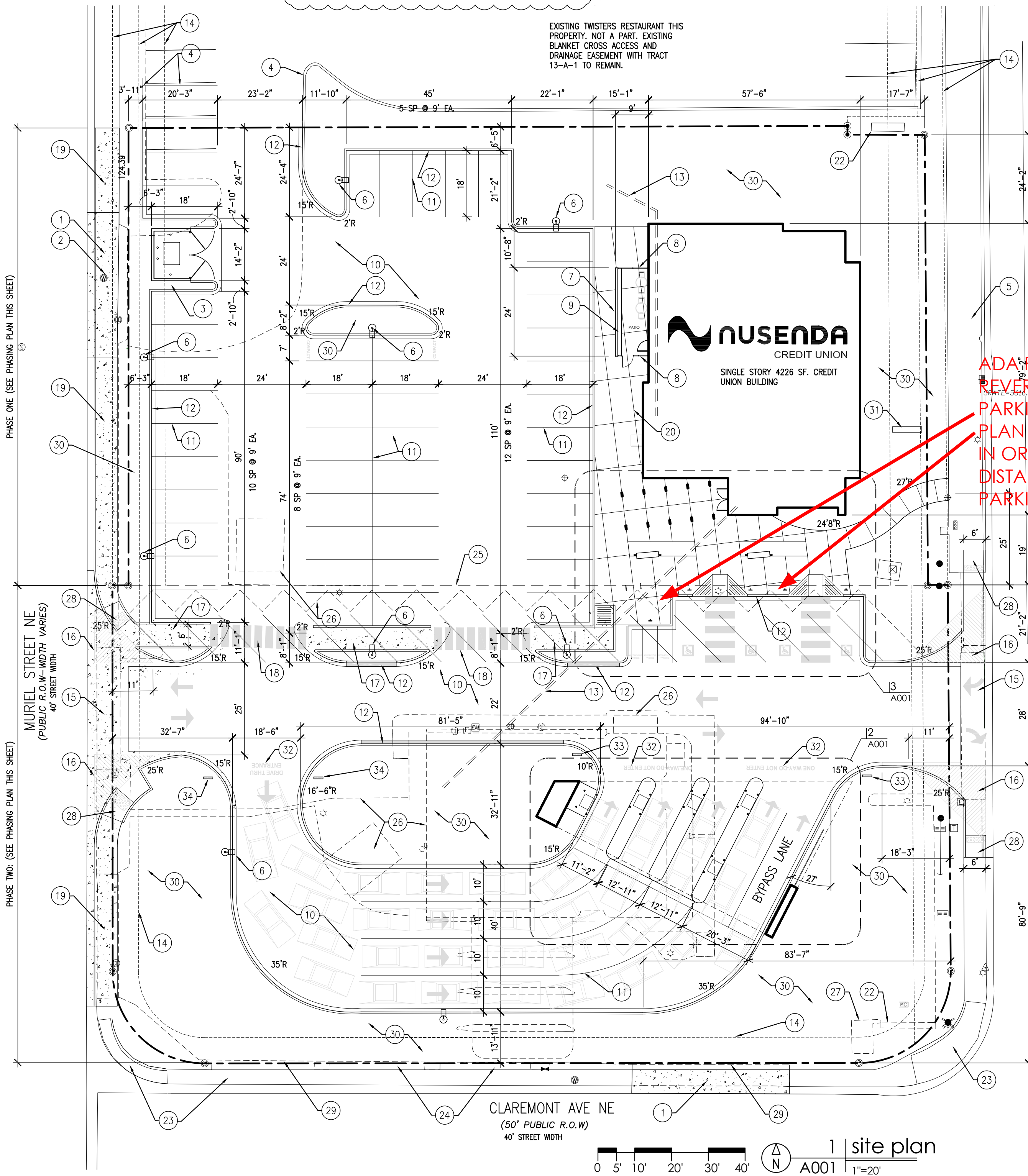


revisions

9-18-22 TCL COMMENT

date:
8-30-22
sheet:
A001

2 Geographic Responsiveness Diagram
A001 1/8"=1'-0"



1 site plan
A001 1"=20'