

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 25, 2022

Mike Walla, P.E.
Walla Engineering
6501 Americas Pwky NE, Suite 301
Albuquerque, NM 87110

**RE: Nusenda Credit Union
2801 Juan Tabo Blvd. NE
Grading & Drainage Plan
Engineer's Stamp Date: 08/08/22
Hydrology File: H21D020**

Dear Mr. Walla:

PO Box 1293

Based upon the information provided in your submittal received 08/08/2022, the Grading & Drainage Plan is approved for Building Permit and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Carrie Compton (cacompton@cabq.gov) on the 4th floor of Plaza de Sol.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: NUSENDA CREDIT UNION **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT B-2 AND 13A, BLOCK 79, SNOW HEIGHTS ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
City Address: 2801 JUAN TABO BLVD. NE, ALBUQUERQUE, NEW MEXICO

Applicant: WALLA ENGINEERING **Contact:** MIKE WALLA
Address: 6501 AMERICAS PARKWAY NE, SUITE 301, ALBUQUERQUE, NM 87110
Phone#: 505-881-3008 **Fax#:** 505-881-4025 **E-mail:** mikew@wallaengineering.com

Other Contact: JOE SLAGLE ARCHITECT **Contact:** JOE SLAGLE
Address: P.O. BOX 10362, ALBUQUERQUE, NM 87184
Phone#: 505-228-8707 **Fax#:** _____ **E-mail:** joe@slaglearchitect.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 8-18-22 **By:** MIKE WALLA

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COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

LEGAL DESCRIPTION

TRACT B-2 and 13a, BLOCK 79, SNOW HEIGHTS
ADDITION, ALBUQUERQUE, BERNALILLO
COUNTY, NEW MEXICO

BASIS OF ELEVATIONS

ELEVATION DATUM IS BASED ON 1988
FROM AGRS MONUMENT "10 J22"
PUBLISHED ELEVATION (FEET) = 5613.201

GENERAL NOTES

A FIELD VERIFY ALL SPOT ELEVATIONS SHOWN
AT EXISTING CURB AND GUTTER AT
ROADWAYS

joe slagle architect

P.O. Box 10362
Abq, NM 87184

KEYED NOTES

- 1 ASPHALT PAVING PER DETAIL 1/C201
- 2 CONCRETE PAVING PER DETAIL 2/C201
- 3 CONCRETE CURB AND GUTTER PER DETAIL 3/C201
- 4 2'-0" WIDE CURB BREAK FOR DRAINAGE CONVEYANCE
- 5 4'-0" WIDE X 10'-0" GRAVEL RIPRAP ROUNDOFF
- 6 2'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE
STANDARD DRAWING #2236
- 7 REMOVE AND REPLACE EXISTING CURB AND GUTTER PER
CITY OF ALBUQUERQUE STANDARD DRAWING #2415A
- 8 REMOVE AND REPLACE EXISTING SIDEWALK PER CITY OF
ALBUQUERQUE STANDARD DRAWING #2426
- 9 REMOVE AND REPLACE EXISTING DRIVE ACCESS PER CITY
OF ALBUQUERQUE STANDARD DRAWING #2430
- 10 CONCRETE CATCH BASIN PER DETAIL 4/C201 - TG=09.20
INV. OUT = 07.80
- 11 8" FVC C300 STORM DRAIN - 1% SLOPE
- 12 CONCRETE POND OVERFLOW ROUNDOFF PER DETAIL 5/C201
- 13 CONCRETE ISLAND PER DETAIL 6/C201

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
- NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- SWALE
- FINISH FLOOR
- TOP OF ASPHALT
- TOP OF CONCRETE OR CURB
- FLOW LINE
- TOP OF GRATE
- INVERT
- ROOF DRAIN LOCATION
- NEW CONCRETE PAVING/SIDEWALK
- NEW AC PAVING
- BASIN BORDER LINE

GRADING and
DRAINAGE PLAN

A NEW BRANCH FOR:

nUSENDA
CREDIT UNION
2801 JUAN TABO BLVD NE
ALBUQUERQUE, NM

Grading & Drainage Design Narrative

Subject Property: Nusenenda Credit Union - 2801 Juan Tabo NE, Albuquerque, NM

Area of Site: 1.292 Acre

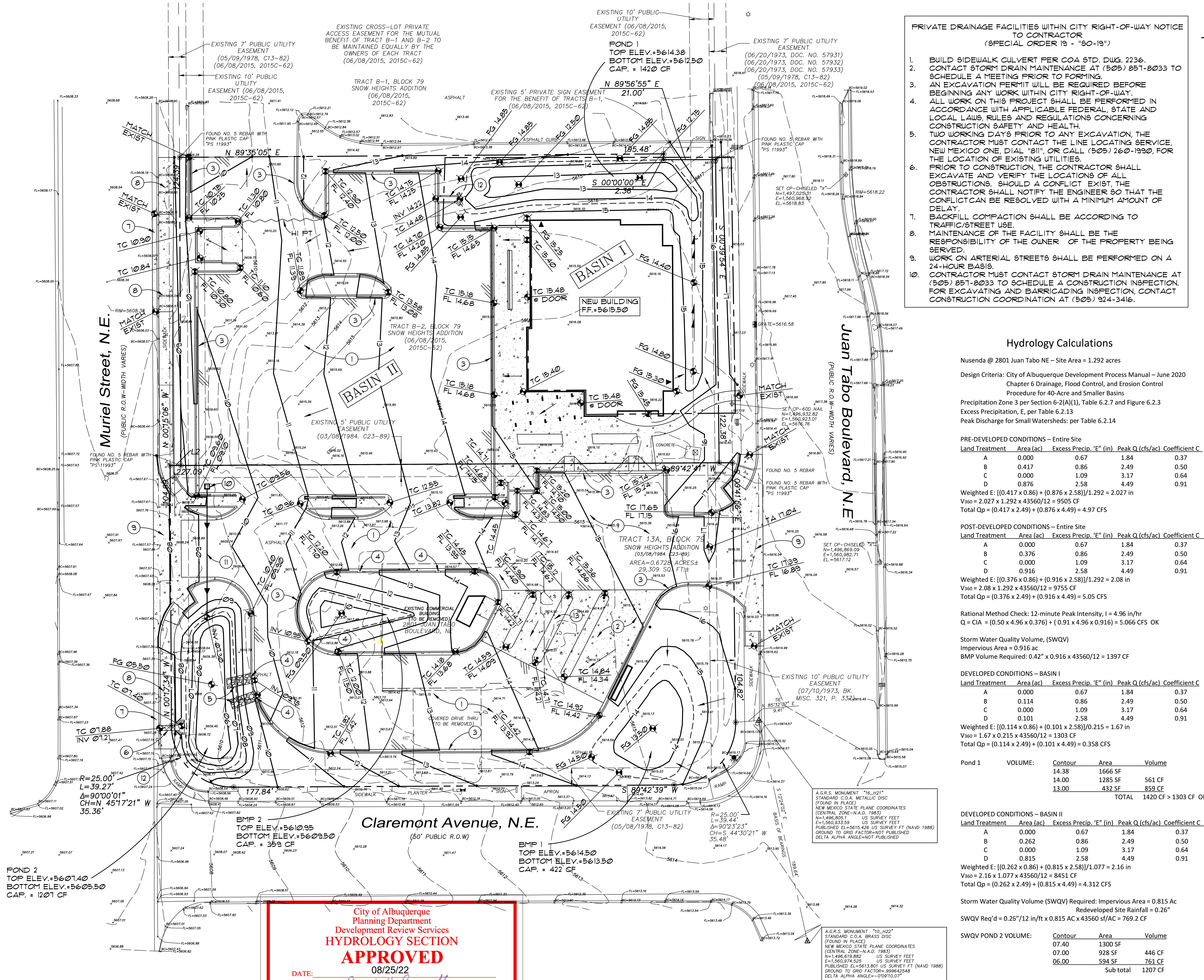
Reference: City of Albuquerque Development Process Manual (DPM)

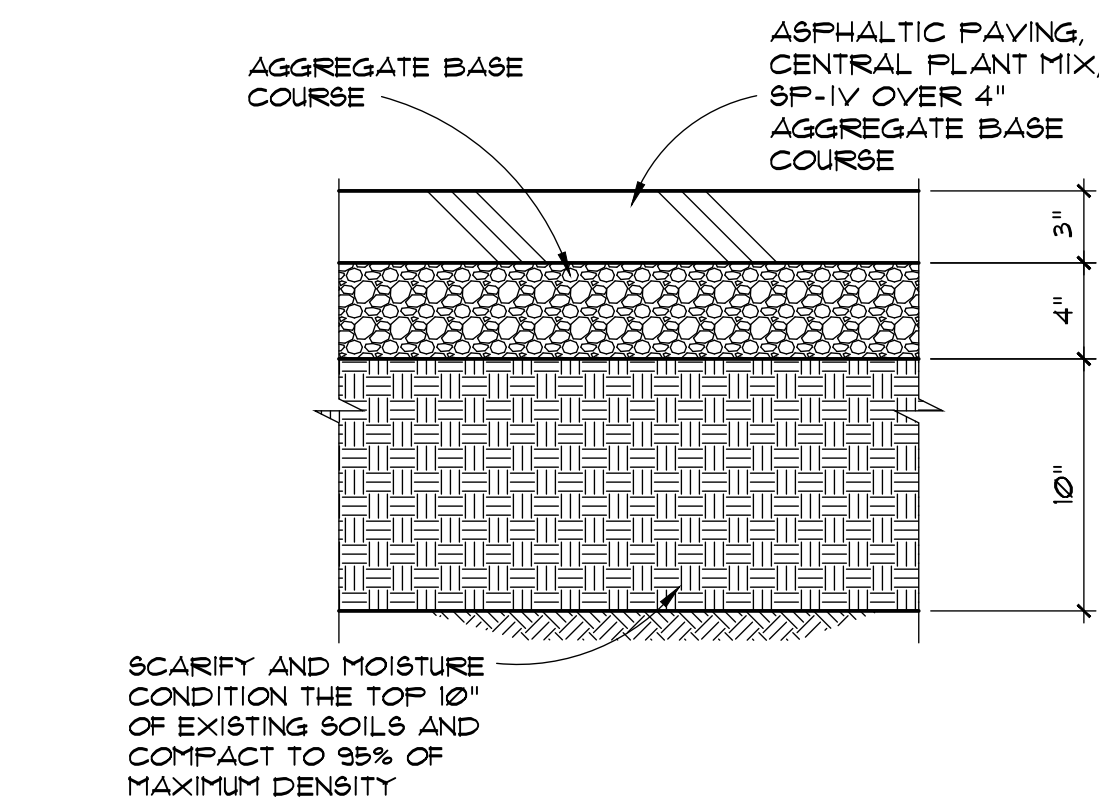
Project Description: The development is the construction of a new 3500 SF, single story structure with a drive up banking canopy and new concrete and asphalt paved access sidewalks and vehicle parking.

Developed Conditions: The existing site is two lots that will be combined into one. The southern lot has an existing bank building that will be demolished along with the existing paving to create the new facility while the northern lot has some broken paved surfaces that will be removed. The site will be regraded and the new building will be constructed north of the existing building pad. Both of the current lots direct runoff from east to west across the site in sheet flow pattern that ends up in Muriel St. at the west border of the site. From there the developed runoff appears to proceed west on surface facilities in Claremont Ave. eventually ending up in the Piedra Lisa Arroyo or below grade storm drain in Menaul Blvd.

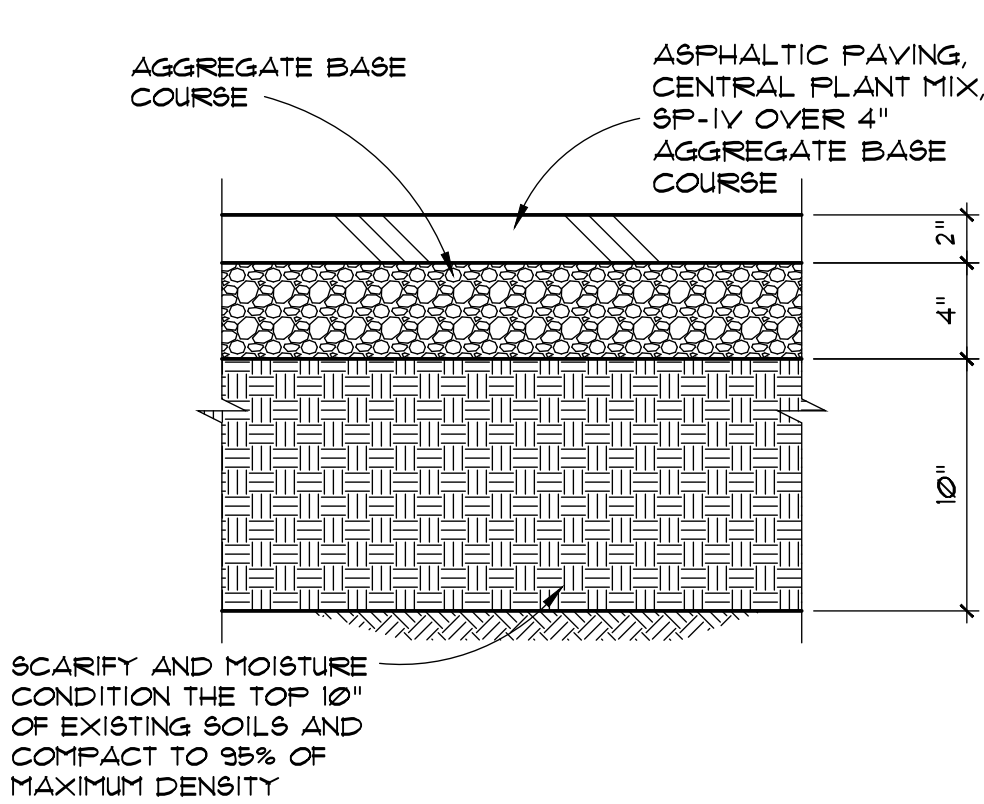
Developed Runoff: The new development will remove all existing structures and regrade the entire site. Basin I encompasses only the new building and the landscaped area on the NEC of the site. This basin will have a pond that will capture all of the 100-yr runoff volume. Basin II is basically the rest of the site and will have two smaller BMP areas along with a retention pond located at the SWC of the site. These facilities will capture a runoff volume exceeding the required Storm Water Quality Volume (SWQV) for a redeveloped site. Excess runoff volume will discharge to Muriel St. as it has previously but the new development will reduce this historic runoff volume and flow considerably.

date:
8-8-22
sheet:
C101

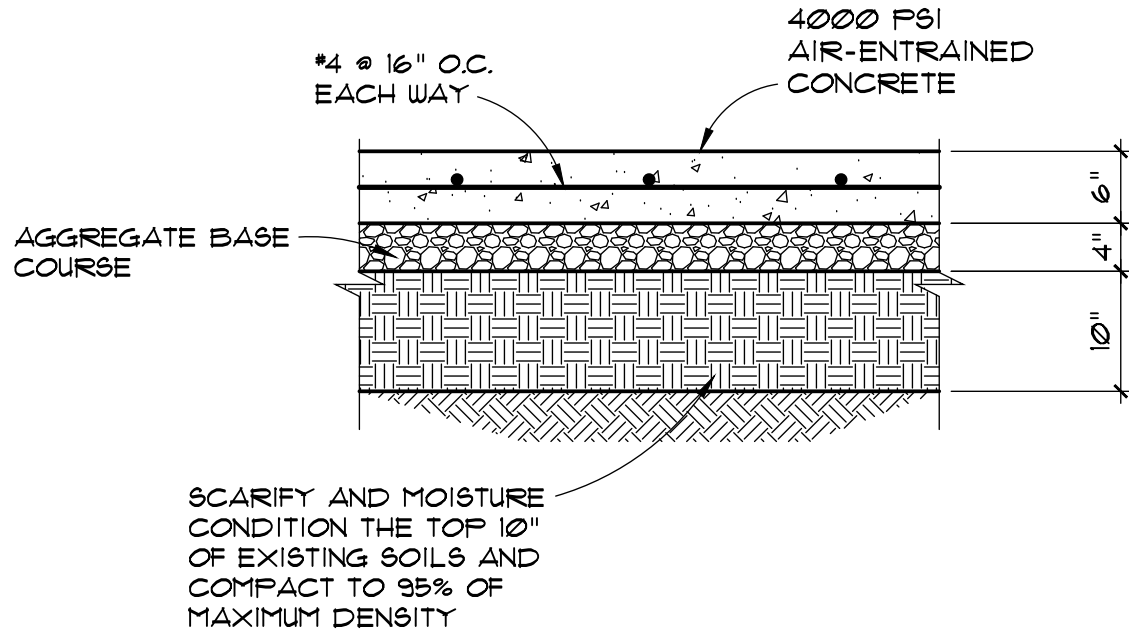




DRIVE PAVING SECTION



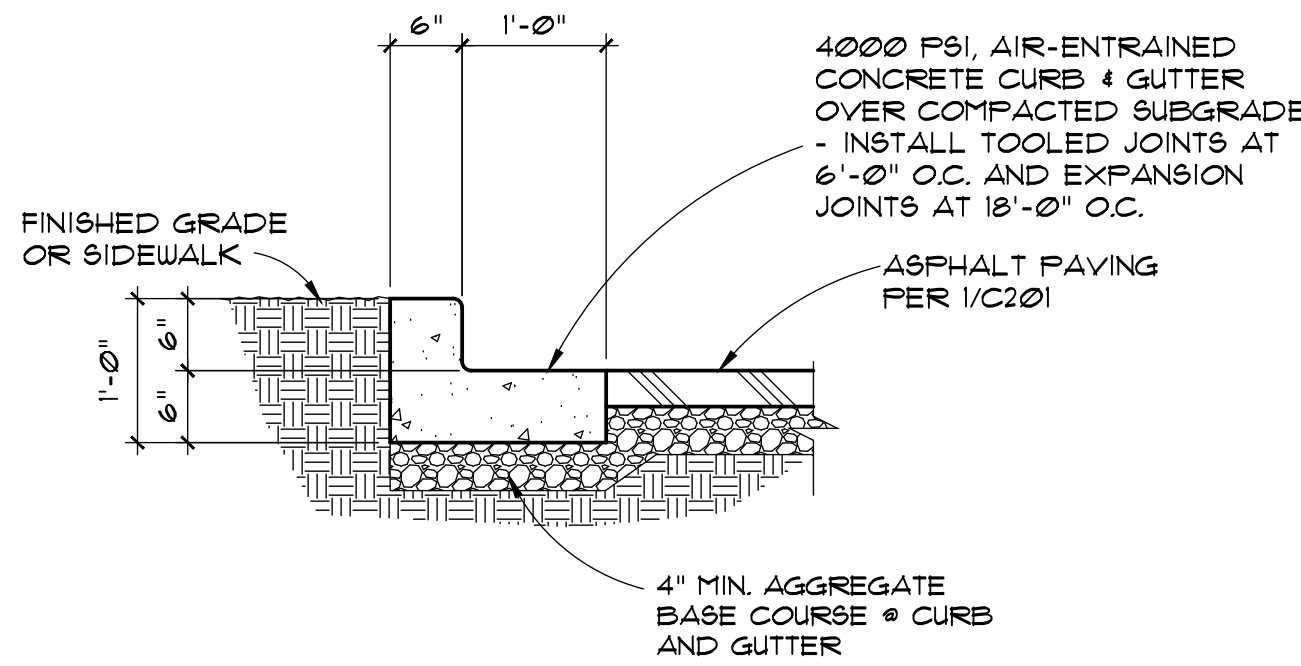
PARKING PAVING SECTION



SCARIFY AND MOISTURE
CONDITION THE TOP 10"
OF EXISTING SOILS AND
COMPACT TO 95% OF
MAXIMUM DENSITY

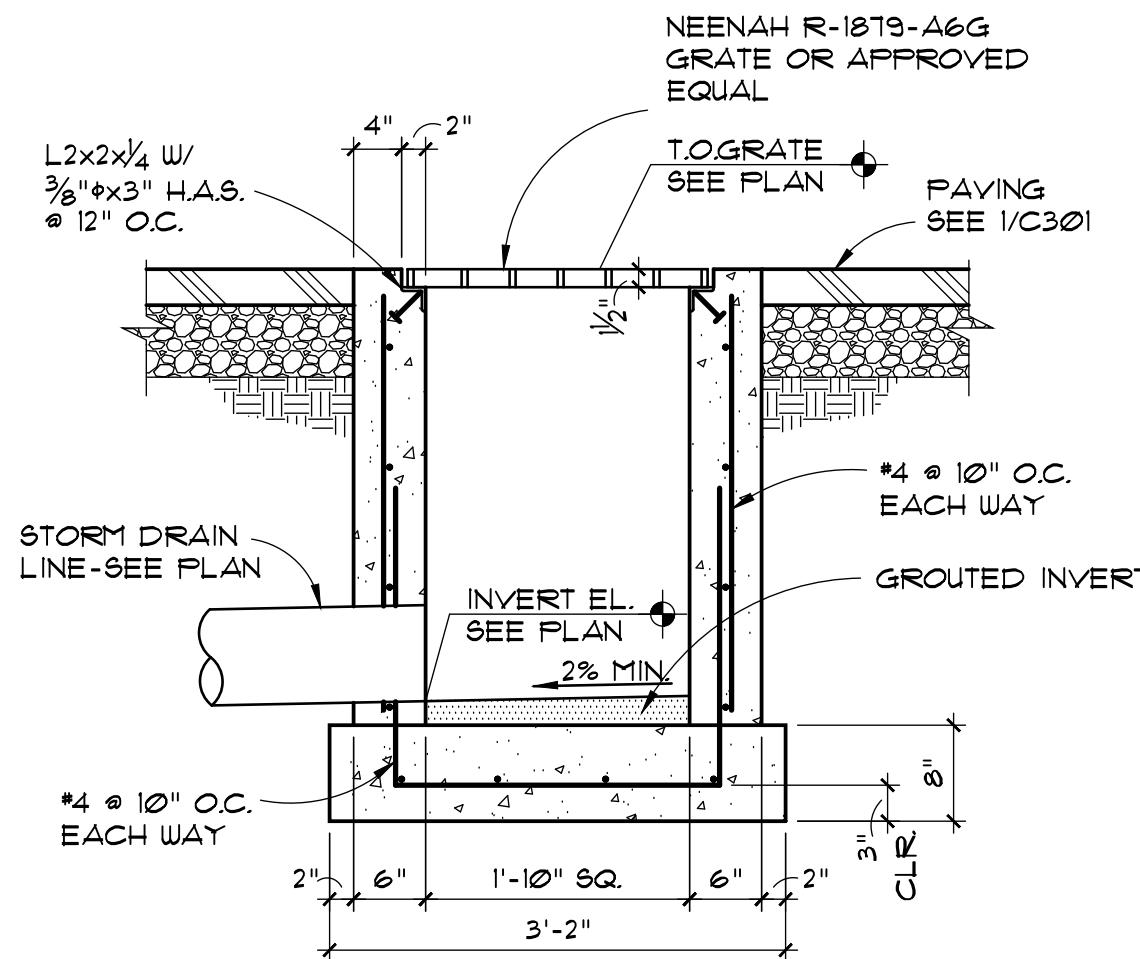
2 CONCRETE PAVING SECTION

3/4" = 1'-0"



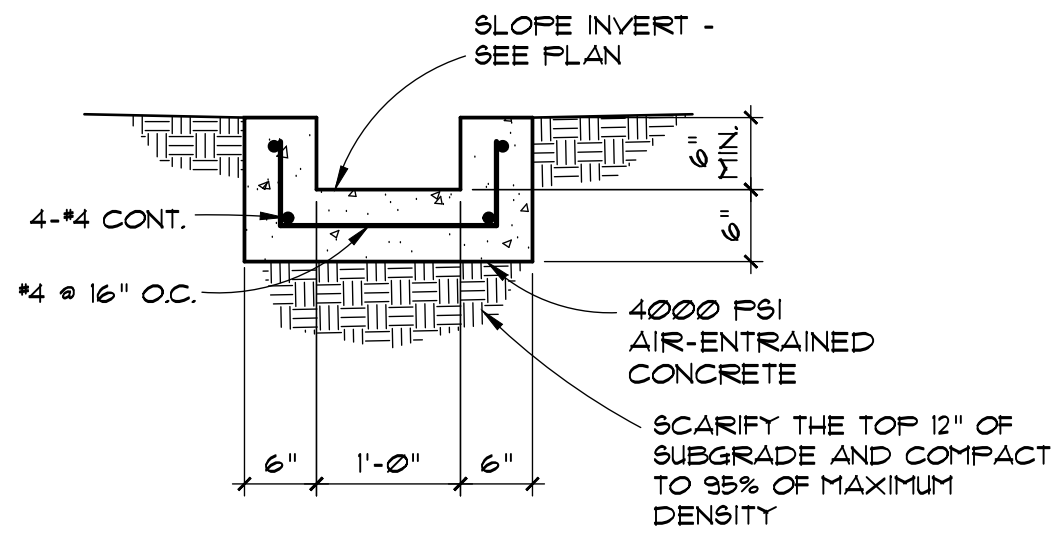
3 TYPICAL CURB AND GUTTER SECTION

3/4" = 1'-0"



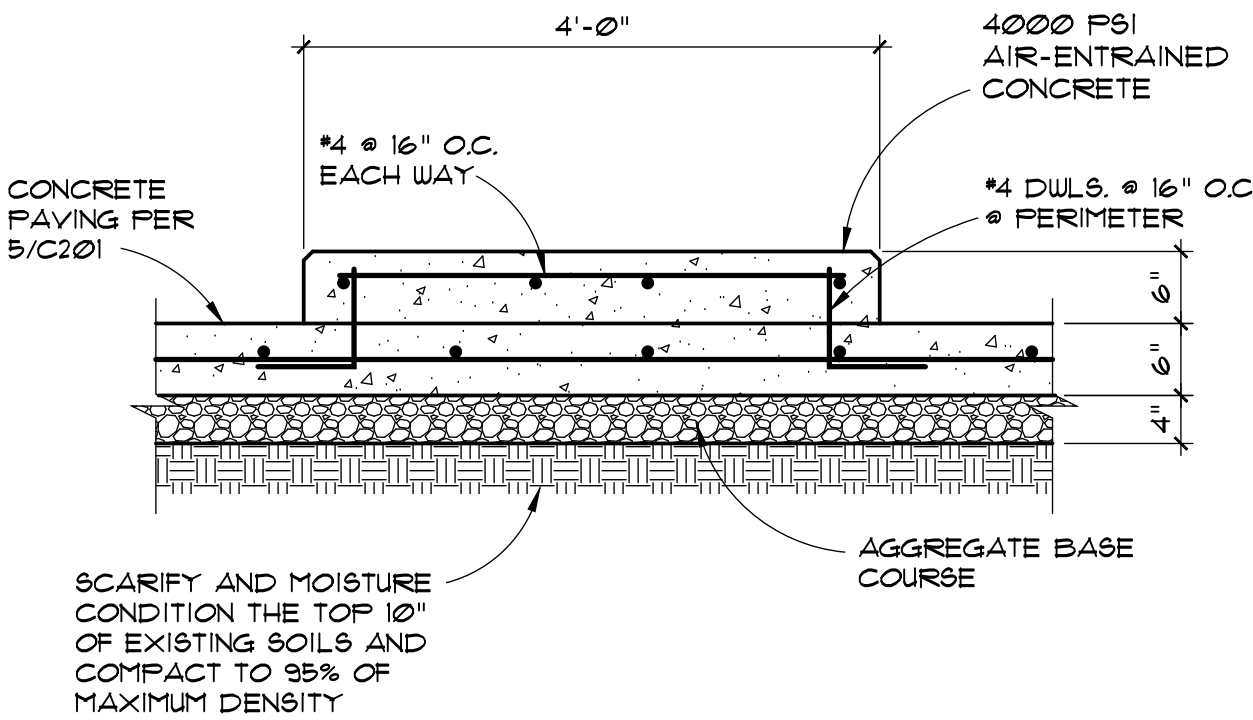
4 CATCH BASIN

3/4" = 1'-0"



5 CONCRETE OVERFLOW RUNDOWN SECTION

3/4" = 1'-0"



6 CONCRETE ISLAND SECTION

3/4" = 1'-0"

CIVIL DETAILS

A NEW BRANCH FOR:

nUSENDA
CREDIT UNION
2801 JUAN TABO BLVD NE
ALBUQUERQUE, NM



revisions

date:
8-8-22
sheet:
C201