

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 10, 2025

Joe Slagle, R.A.  
Joe Slagle Architect  
P.O Box 10362  
Albuquerque, NM 87184

**Re: Nusenda Credit Union/ 2801 Juan Tabo NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 08-31-23 (H21-D020)  
Certification dated 07-08-25

Dear Mr . Slagle,

Based upon the information provided in your submittal received 09-17-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\EA via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Nusenda Credit Union Building Permit #: BP-2023-11751 Hydrology File #: \_\_\_\_\_  
DRB#: PR-2022-007701 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract 13-A-1 Block 79 Snow Heights Addition  
City Address: 2801 Juan Tabo Blvd NE

**Applicant:** Nusenda Credit Union Contact: Tim Wright  
Address: P.O. Box 8530 Albuquerque NM 87198  
Phone#: 505 872 5427 Fax#: \_\_\_\_\_ E-mail: twright@nusenda.org

**Other Contact:** Joe Slagle Architect Contact: Joe Slagle  
Address: P.O. Box 10362, Albuquerque NM 87184  
Phone#: 505 228 8707 Fax#: \_\_\_\_\_ E-mail: joe@slaglearchitect.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 7-8-2025 By: Joe Slagle

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

July 8, 2025

**Re: Building permit no. BP-2023-11751: New Branch office for Nusenda Credit Union at 2801 Juan Tabo NE, Abq NM.**

Transportation Certification Letter

I, Joe Slagle am the architect of record for this project, and I visited the jobsite today for the purpose of viewing the parking lot, drive aisles, entrances, sidewalks and ADA accessibility requirements for the purpose of certifying that the construction matches the approved construction documents.

This project was completed in two phases: the first phase being the construction of the new Nusenda building at the north portion of the property along with phase one of the site work for the new building. The second phase consisted of demolishing the existing Nusenda building on the southern portion of the property and constructing the free-standing drive thru canopy and all associated site work. We originally submitted the Traffic Certification for one in order to obtain a temporary Certificate of Occupancy. At this time, all work for both phases has described in the approved construction documents has now been completed including the Transportation Development comments from the Phase one Certification, so this certification is for the entire project with the intent of obtaining a permanent certificate of occupancy. Attached please find the Certification letter of September 18 authorizing a temporary C.O. with comments. Also attached are photos of the current conditions and the approved site plan.

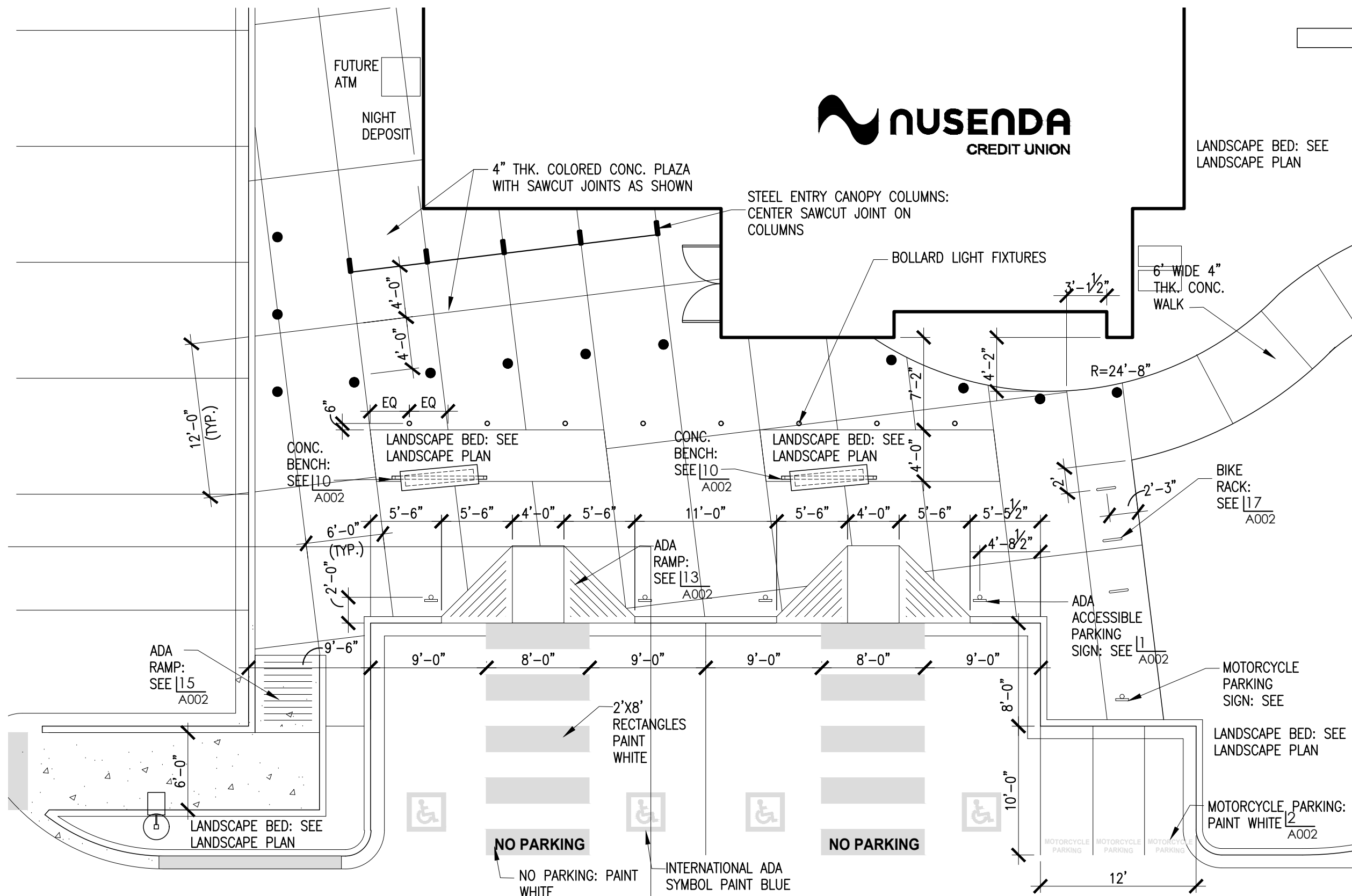
Please do not hesitate to contact me if you have questions or need further information.

Sincerely

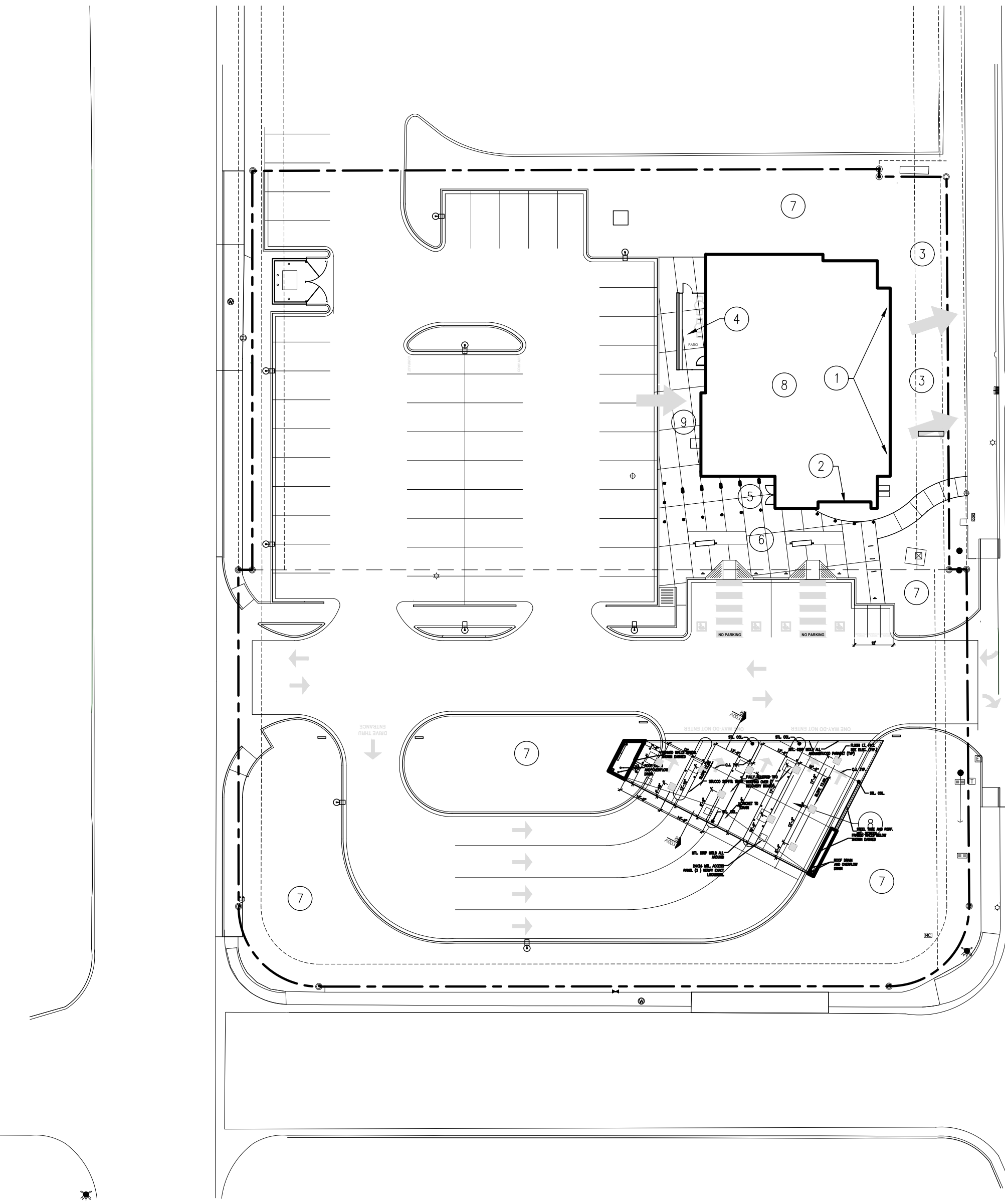


Joe Slagle Architect, Inc.





3 | enlarged plaza plan  
A001 1/8"=1'-0"



2 | Geographic Responsiveness Diagram  
A001 1/8"=1'-0"

SITE PLAN KEY NOTES:

- 1 REMOVE EXISTING CONCRETE DRIVE APRON AND REPLACE WITH NEW SIDEWALK AND CURB. COA STD DWG. 2430.
- 2 EXTEND WATER METER ACCESS TO FLUSH WITH TOP OF NEW SIDEWALK.
- 3 DUMPSTER ENCLOSURE: SEE 18 A002 A002
- 4 EXISTING CURB AND PARKING SPACES. TIE NEW CURB INTO EXISTING CURB.
- 5 EXIST. SIDEWALK TO REMAIN
- 6 NEW LIGHT POLE: SEE ELEC DWGS AND 13 A002
- 7 NEW POURED IN PLACE CONCRETE WALL: SEE 14 A002
- 8 NEW PERF MTL PANEL FENCE: SEE 6 A002 7 A002
- 9 12' WIDE LANDSCAPE BED, SEE LANDSCAPE PLAN
- 10 ASPHALT PAVING: SEE SOILS REPORT FOR PAVING SECTION
- 11 4" WIDE WHITE PARKING STRIPES
- 12 NEW CURB AN GUTTER: SEE 16 A002
- 13 ROOF DRAIN LINE: SEE CIVIL
- 14 PUBLIC UTILITY EASEMENT
- 15 NEW CONCRETE DRIVE APRON AND RETURNS PER CITY OF ABQ STD DWG 2426
- 16 CLEAR SIGHT TRIANGLE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE GUTTER PAN ) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- 17 4' WIDE SIDEWALK FLUSH WITH ASPHALT
- 18 2'X4' WHITE PAINT RECTANGLES PAINTED ON ASPHALT. 12' BETWEEN.
- 19 ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STD DWG 2415A
- 20 SAWCUT CONTROL JOINTS: SEE 13 A002
- 21 EXISTING MONUMENT SIGN TO REMAIN
- 22 EXISTING MONUMENT SIGN TO BE REMOVED
- 23 EXISTING RAMP AND SIDEWALK TO REMAIN
- 24 REMOVE EXISTING CONCRETE BETWEEN PLANTING BEDS ALONG LENGTH OF THIS SIDEWALK
- 25 EXISTING PROPERTY LINE BEING REMOVED BY SEPARATE PLATTING ACTION
- 26 DASHED LINES INDICATE DEMO. SEE PHASING NOTE ABOVE
- 27 REMOVE EXISTING ATM AND CONCRETE PAD
- 28 NEW ADA RAMP PER CITY OF ABQ STD DWG. ALL RAMPS IN RIGHT OF WAY SHALL RECEIVE YELLOW TRUNCATED DOME SURFACE.
- 29 REMOVE EXISTING CONCRETE RETAINING WALL
- 30 LANDSCAPE AREA: SEE LANDSCAPE PLAN
- 31 MONUMENT SIGN: SEE 112 A002
- 32 12" TALL WHITE LETTERS PAINTED ON ASPHALT: "ONE WAY-DO NOT ENTER" AT EXIT, "DRIVE THRU ENTRANCE" AT ENTRANCE
- 33 DIRECTIONAL SIGN: SEE 18 A002
- 34 DIRECTIONAL SIGN: SEE 19 A002
- 35 CONC. SPLASH BLOCKS @ ROOF DRAINS
- 36 TRANSFORMER LOCATION: SEE ELEC.
- 37 EXISTING ADA RAMPS TO BE UPDATED PER CURRENT STANDARDS AND TRUNCATED DOMES INSTALLED.

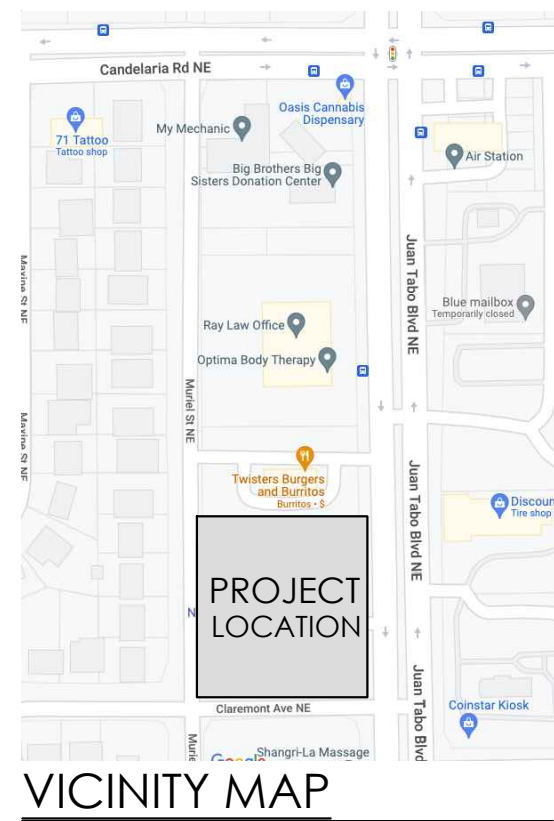
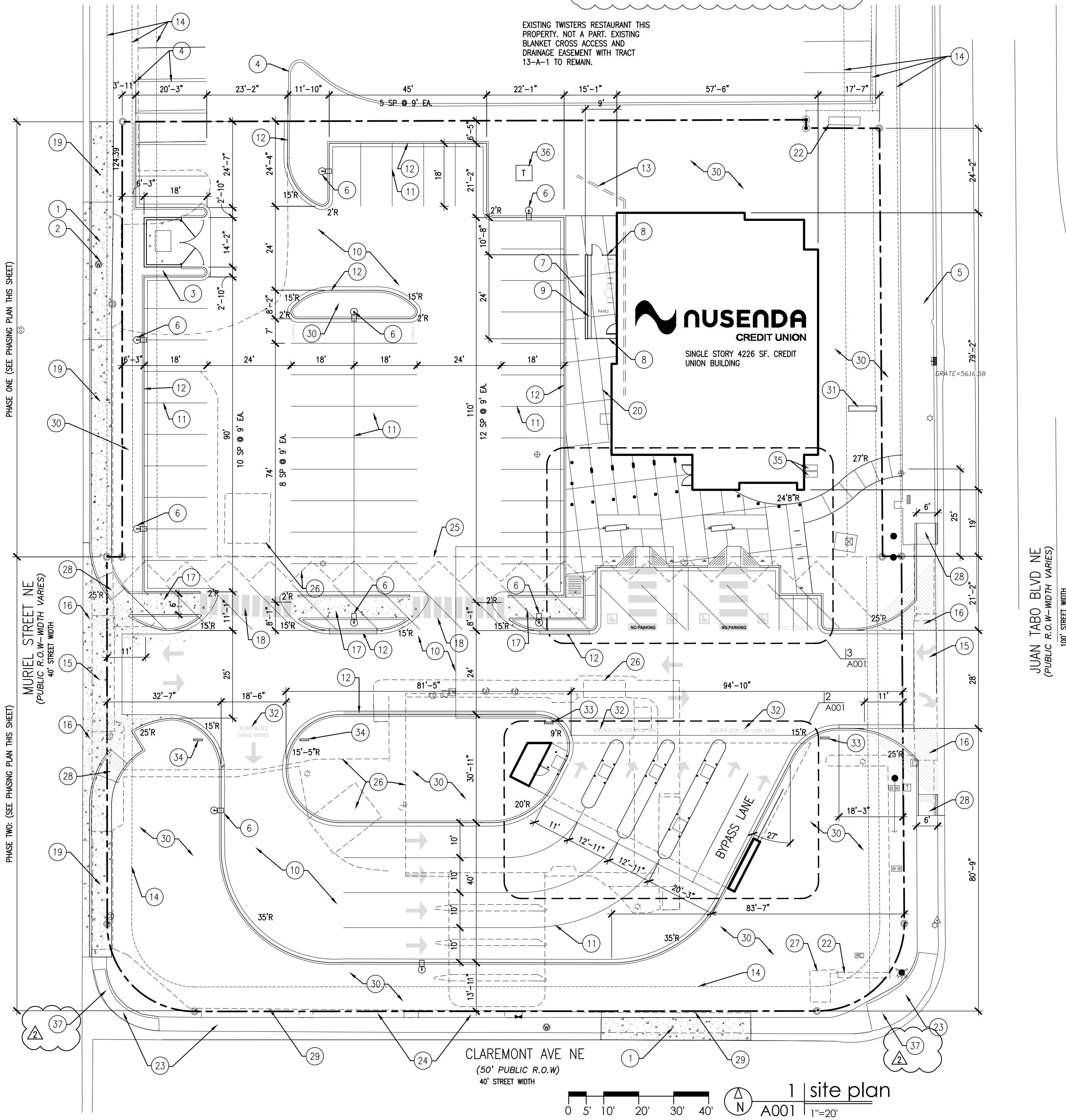
SITE DATA

PR-2022-007701

SITE LOCATION	SI-23801 JUAN TABO BOULEVARD NE ALBUQUERQUE, NM
LEGAL DESCRIPTIONS-A-1 TRACT B-2 BLOCK 79 SNOW HEIGHTS ADDITION	
UPC NUMBER:	101906418906730212
ZONING:	MX-L
ZONE ATLAS PAGE:	H-21
PREVIOUS DRB APPROVAL:	NONE FOUND
TOTAL LOT AREA:	55,797 SF (1.3 AC)
GROSS BUILDING AREA:	4226 SF
BUILDING FOOTPRINT AREA:	4226 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	51,571 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	7.5 %
PARKING CALCULATIONS (PER IDO):	TOTAL SPACES PROVIDED: 51 3 SP/1000 SF (4226 SF = 12.69 SPACES REQUIRED)
ACCESSIBLE PARKING REQ'D: (51-100)=4 INCL. 1 VAN TOTAL PROVIDED: 4	
MOTORCYCLE PARKING REQUIRED: (51-100) 3 SP. TOTAL PROVIDED: 3	
BICYCLE PARKING REQUIRED: (3 MIN) TOTAL PROVIDED: 5	

PHASING PLAN:

- PHASE ONE:
1. DEMOLISH ALL EXISTING CONSTRUCTION ON THE PORTION OF THE PROPERTY NORTH OF THE PROPERTY LINE BEING REMOVED. (SEE NOTE 25 ON SITE PLAN. THE EXISTING CREDIT UNION BUILDING, PARKING LOT AND DRIVE THROUGH ON THE SOUTH PORTION OF THE PROPERTY IS TO REMAIN OPEN)
  2. FENCE OFF THE NORTH PORTION OF THE PROPERTY AND CONSTRUCT THE NEW SINGLE STORY CREDIT UNION BUILDING AS DESCRIBED IN THESE CONSTRUCTION DRAWINGS.
  3. GRADE THE NORTH PORTION OF THE PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN. PROVIDE TEMPORARY PONDING AS NECESSARY.
- PHASE TWO:
1. REMOVE THE EXISTING BUILDING ON THE SOUTH PORTION OF THE PROPERTY ALONG WITH ALL SITE WORK, RETAINING WALLS, PARKING LOTS, CURBS, AND LANDSCAPE.
  2. GRADE SOUTH PORTION OF PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN.
  3. CONSTRUCT THE DRIVE THROUGH CANOPY AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.
  4. COMPLETE ALL SITE FLATWORK, INCLUDING CONCRETE WALKS, DRIVEWAYS, RAMPS, CURBS, PAVING, AND LANDSCAPE FOR THE ENTIRE SITE AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.



SITE PLAN

A NEW BRANCH FOR:



revisions:

- 9-18-22 TCL COMMENT
- 6-8-23 TCL COMMENT

date: 8-31-23

sheet: A001



# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 18, 2024

Joe Slagle, R.A.  
Joe Slagle Architect, Inc  
P.O Box 10362  
Albuquerque, NM 87184

**Re: Nusenda Credit Union**  
**2801 Juan Tabo Blvd. NE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 10-26-22 (H21-D020)  
Certification dated 09-12-24

Dear Mr. Slagle,

Based upon the information provided in your submittal received 09-17-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- A Truncated Domes must be installed at the corner ramp of Juan Tabo Blvd and Claremont Ave. **COMMENT ADDRESSED. SEE ATTACHED PHOTOS**
- The city right of way ramp at the corner of Claremont Ave and Muriel St. must be updated to the current ADA standard and truncated domes must be installed. Per site visit the corner ramp width was 3 ft. the minimum width should be 4 ft.



**COMMENT ADDRESSED. SEE ATTACHED PHOTOS**

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Planning Department  
Alan Varela, Director



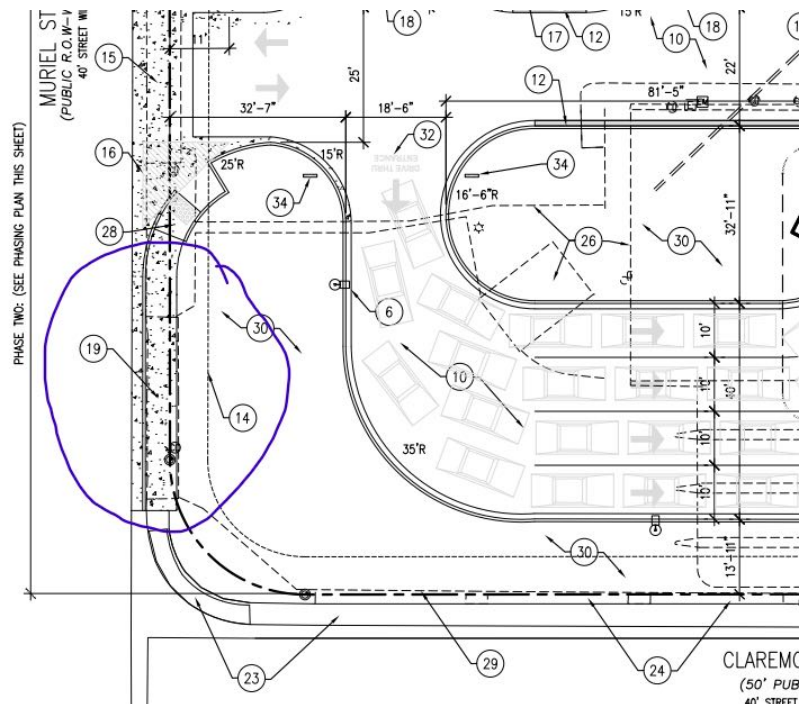
Mayor Timothy M. Keller

- Prior to issue a Perm CO, the construction of the site access off Muriel St. must be completed.



COMMENT ADDRESSED. SEE ATTACHED PHOTOS

- Per approved site plan, Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.



COMMENT ADDRESSED. SEE ATTACHED PHOTOS



# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

- Per approved site plan “All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter.” A build note must be provided referring to the appropriate City Standard drawing. Broken sidewalk off Juan Tabo must be fixed.



PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

COMMENT ADDRESSED.

- Anchor down bike rack. COMMENT ADDRESSED. SEE ATTACHED PHOTOS
  - Motorcycle parking signs must be installed. COMMENT ADDRESSED. SEE ATTACHED PHOTOS
- Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

A handwritten signature in black ink, appearing to read 'Marwa Al-najjar', with a long, sweeping horizontal line extending to the right.

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)































