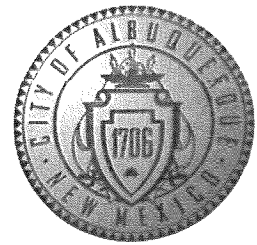


# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 12, 2022

Joe Slagle, RA  
Joe Slagle Architect  
P.O. Box 10362  
Albuquerque, NM 87184

**Re: Nusenda Credit Union**  
**2801 Juan Tabo Blvd. NE**  
**Traffic Circulation Layout**  
Architect's Stamp 07-06-22 (H21-D020)

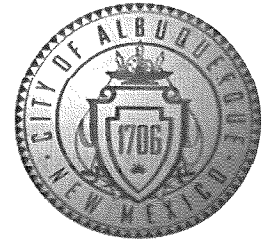
Dear Mr. Slagle,

Based upon the information provided in your submittal received 07-07-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking
2. Identify the right of way width, medians, curb cuts, and street widths on Juan Tabo Blvd. NE and Muriel St. NE
3. Driveway access off Juan Tabo and Muriel: ADA curb ramps and landing need to be located on the Public City Right Of Way.
4. Please provide details (slopes) for the proposed ADA ramps inside the property.
5. Sheet A002 is missing.
6. Keynote 1: reference COA std dwg 2430.
7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
8. All bicycle racks shall be designed according to the following guidelines:
  - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
  - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
  - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
  - d. The rack allows varying bicycle frame sizes and styles to be attached.
  - e. The user is not required to lift the bicycle onto the bicycle rack.
  - f. Each bicycle parking space is accessible without moving another bicycle.
9. Bicycle racks shall be sturdy and anchored to a concrete pad.
10. A 1-foot clear zone around the bicycle parking stall shall be provided.

# CITY OF ALBUQUERQUE

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11. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
12. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
13. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
14. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
15. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
16. The minimum drive through lane width is 12 feet with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.
17. Please specify the City Standard Drawing Number when applicable.
18. Provide Shared access agreement with the adjacent property at the Northside of the site.
19. Please inform (alert) the adjacent property at the Northside of the site that you are going to close the driveway access at the northwest side of the site.
20. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
21. Please provide a letter of response for all comments given.
22. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).

Once corrections are complete resubmit

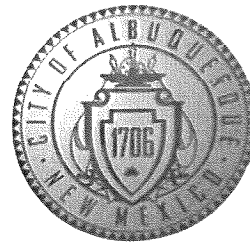
1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

\ma via: email  
C: CO Clerk, File

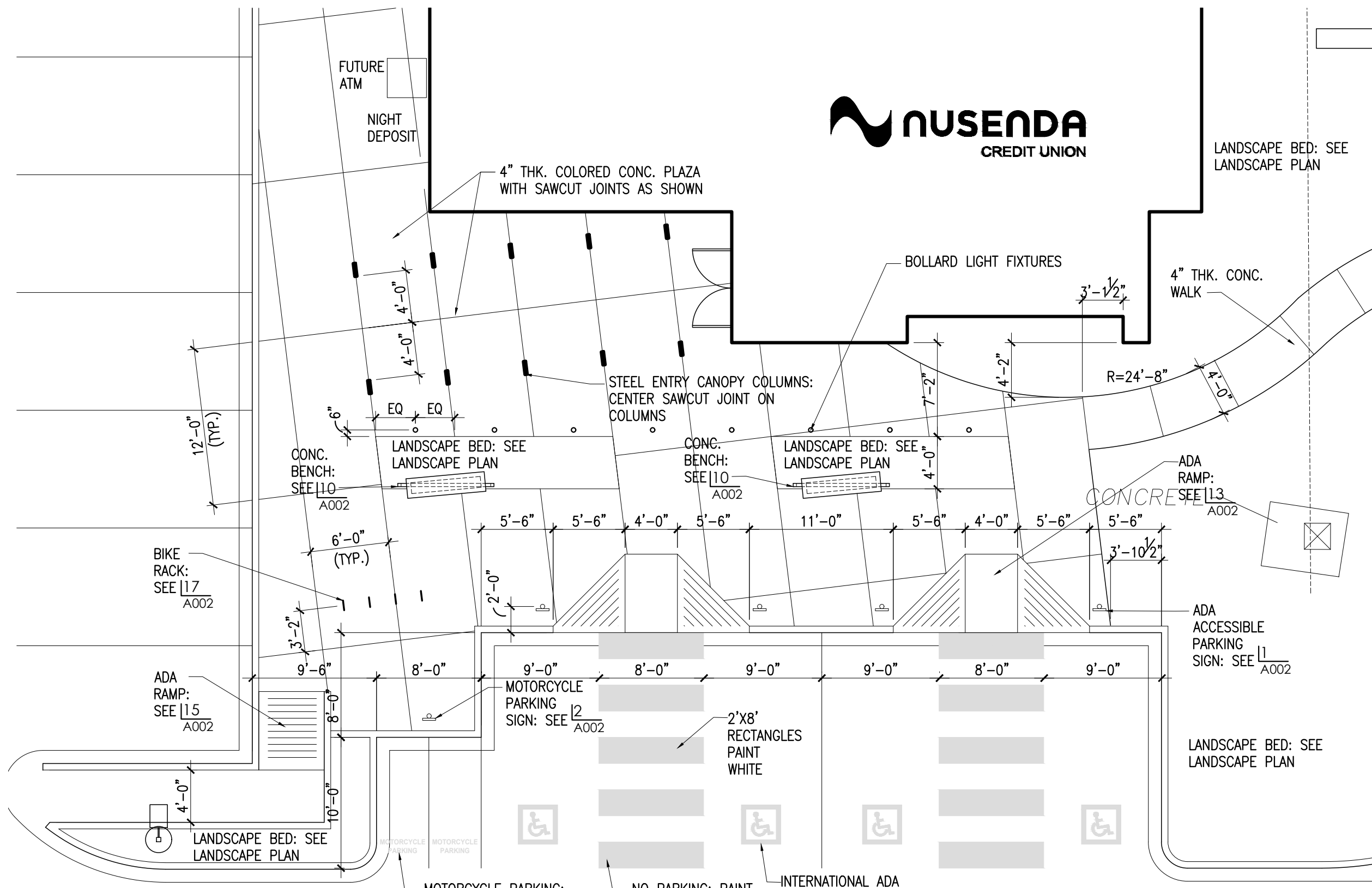
PO Box 1293

Albuquerque

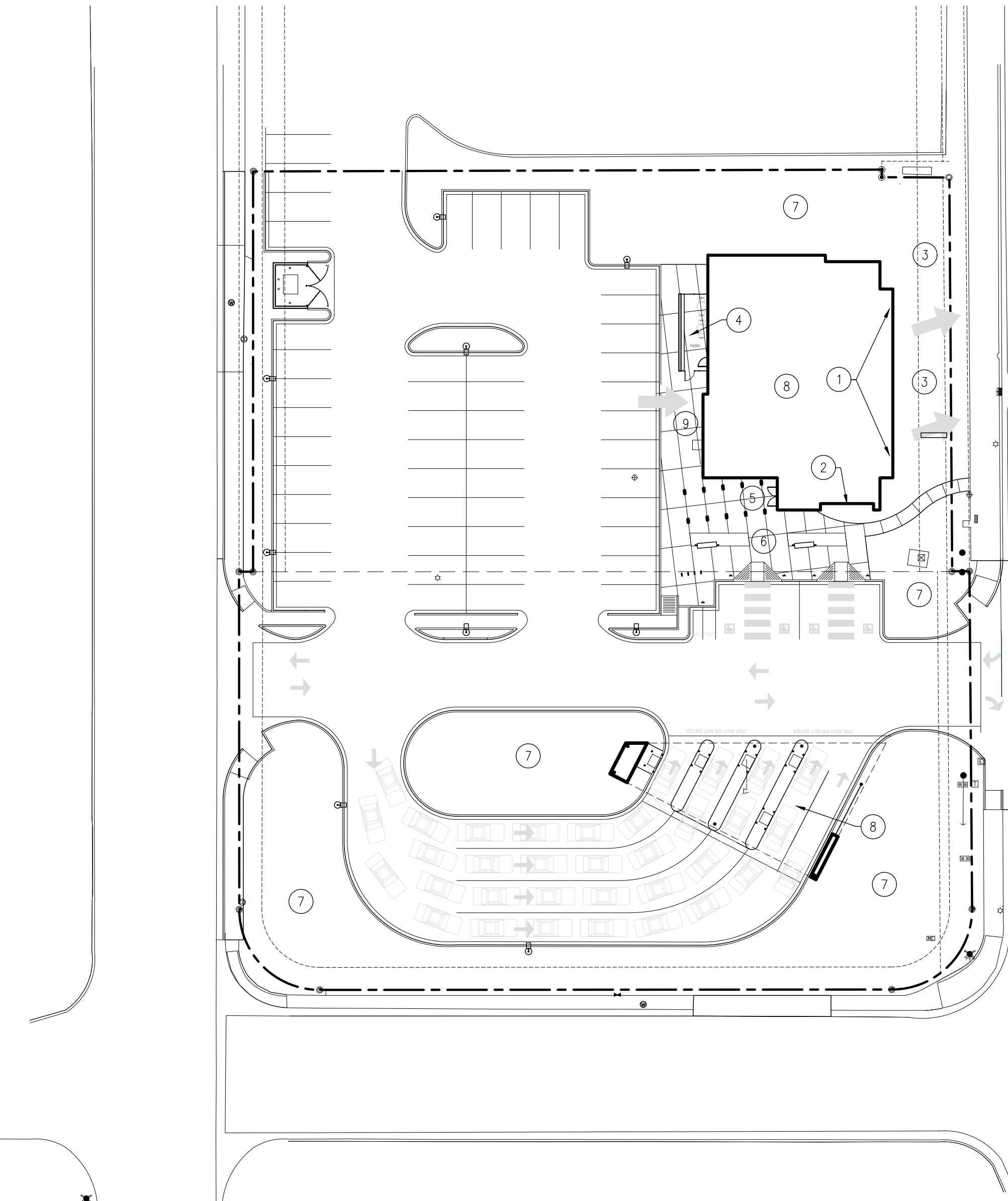
NM 87103

[www.cabq.gov](http://www.cabq.gov)





3 enlarged plaza plan  
A001 1/8"=1'-0"



2 Geographic Responsiveness Diagram  
A001 1/8"=1'-0"

SITE PLAN KEY NOTES:

- 1 REMOVE EXISTING CONCRETE DRIVE APRON AND REPLACE WITH NEW SIDEWALK AND CURB TO MATCH EXISTING
- 2 EXTEND WATER METER ACCESS TO FLUSH WITH TOP OF NEW SIDEWALK.
- 3 DUMPSTER ENCLOSURE: SEE 18 A002 19 A002
- 4 EXISTING CURB AND PARKING SPACES. TIE NEW CURB INTO EXISTING CURB.
- 5 EXIST. SIDEWALK TO REMAIN
- 6 NEW LIGHT POLE: SEE ELEC DWGS AND 13 A002
- 7 NEW POURED IN PLACE CONCRETE WALL: SEE 14 A002
- 8 NEW PERF MTL PANEL FENCE: SEE 16 A002 17 A002
- 9 12' WIDE LANDSCAPE BED, SEE LANDSCAPE PLAN
- 10 ASPHALT PAVING: SEE SOILS REPORT FOR PAVING SECTION
- 11 4" WIDE WHITE PARKING STRIPES
- 12 NEW CURB AN GUTTER: SEE 16 A002
- 13 ROOF DRAIN LINE: SEE CIVIL
- 14 PUBLIC UTILITY EASEMENT
- 15 NEW CONCRETE DRIVE APRON AND RETURNS PER CITY OF ABO STD DWG 2426
- 16 CLEAR SIGHT TRIANGLE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN THREE (3') AND EIGHT FEET (8') TALL (AS MEASURED FROM THE GUTTER PAN ) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- 17 4' WIDE SIDEWALK FLUSH WITH ASPHALT
- 18 2'X4' WHITE PAINT RECTANGLES PAINTED ON ASPHALT. 12" BETWEEN.
- 19 NEW CONCRETE SIDEWALK TO REPLACE EXISTING
- 20 SAWCUT CONTROL JOINTS: SEE 13 A002
- 21 EXISTING MONUMENT SIGN TO REMAIN
- 22 EXISTING MONUMENT SIGN TO BE REMOVED
- 23 EXISTING RAMP AND SIDEWALK TO REMAIN
- 24 REMOVE EXISTING CONCRETE BETWEEN PLANTING BEDS ALONG LENGTH OF THIS SIDEWALK
- 25 EXISTING PROPERTY LINE BEING REMOVED BY SEPARATE PLATTING ACTION
- 26 DASHED LINES INDICATE DEMO. SEE PHASING NOTE ABOVE
- 27 REMOVE EXISTING ATM AND CONCRETE PAD
- 28 NEW ADA RAMP PER CITY OF ABO STD DWG. ALL RAMPS IN RIGHT OF WAY SHALL RECEIVE YELLOW TRUNCATED DOME SURFACE.
- 29 REMOVE EXISTING CONCRETE RETAINING WALL
- 30 LANDSCAPE AREA: SEE LANDSCAPE PLAN
- 31 MONUMENT SIGN: SEE 112 A002
- 32 12" TALL WHITE LETTERS PAINTED ON ASPHALT: "ONE WAY-DO NOT ENTER"

PROJECT NUMBER:

Application Number:

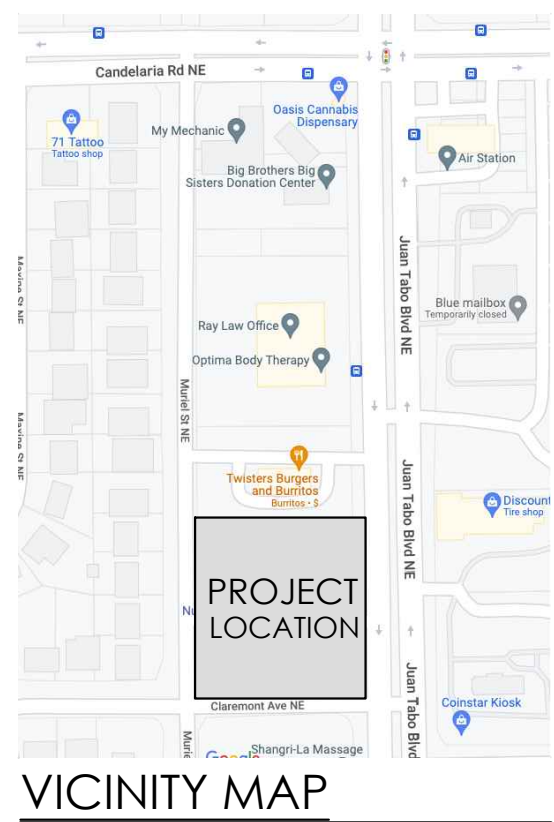
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary  
2/16/18



SITE DATA

SITE LOCATION	2805 JUAN TABO BOULEVARD NE ALBUQUERQUE, NM
LEGAL DESCRIPTIONS	A-1 TRACT B-2 BLOCK 79 SNOW HEIGHTS ADDITION
UPC NUMBER:	101906418906730212
ZONING:	MX-L
ZONE ATLAS PAGE:	H-21
PREVIOUS DRB APPROVAL:	NONE FOUND
TOTAL LOT AREA:	55,797 SF (1.3 AC)
GROSS BUILDING AREA:	4226 SF
BUILDING FOOTPRINT AREA:	4226 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	51,571 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	7.5 %
PARKING CALCULATIONS:	TOTAL SPACES PROVIDED: 51 4226 SF/200 = 21 SPACES REQUIRED
ACCESSIBLE PARKING REQUIRED: 4 INCL. 1 VAN	TOTAL PROVIDED: 4
MOTORCYCLE PARKING REQUIRED: 1 SPACE	TOTAL PROVIDED: 2
BICYCLE PARKING REQUIRED: (3 MIN)	TOTAL PROVIDED: 5

PHASING PLAN:

- PHASE ONE:
1. DEMOLISH ALL EXISTING CONSTRUCTION ON THE PORTION OF THE PROPERTY NORTH OF THE PROPERTY LINE BEING REMOVED. (SEE NOTE 25 ON SITE PLAN. THE EXISTING CREDIT UNION BUILDING, PARKING LOT AND DRIVE THROUGH ON THE SOUTH PORTION OF THE PROPERTY IS TO REMAIN OPEN.
  2. FENCE OFF THE NORTH PORTION OF THE PROPERTY AND CONSTRUCT THE NEW SINGLE STORY CREDIT UNION BUILDING AS DESCRIBED IN THESE CONSTRUCTION DRAWINGS.
  3. GRADE THE NORTH PORTION OF THE PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN. PROVIDE TEMPORARY PONDING AS NECESSARY.
- PHASE TWO:
1. REMOVE THE EXISTING BUILDING ON THE SOUTH PORTION OF THE PROPERTY ALONG WITH ALL SITE WORK, RETAINING WALLS, PARKING LOTS, CURBS, AND LANDSCAPE.
  2. GRADE SOUTH PORTION OF PROPERTY PER THE APPROVED GRADING AND DRAINAGE PLAN.
  3. CONSTRUCT THE DRIVE THROUGH CANOPY AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.
  4. COMPLETE ALL SITE FLATWORK, INCLUDING CONCRETE WALKS, DRIVEWAYS, RAMPS, CURBS, PAVING, AND LANDSCAPE FOR THE ENTIRE SITE AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.

SITE PLAN

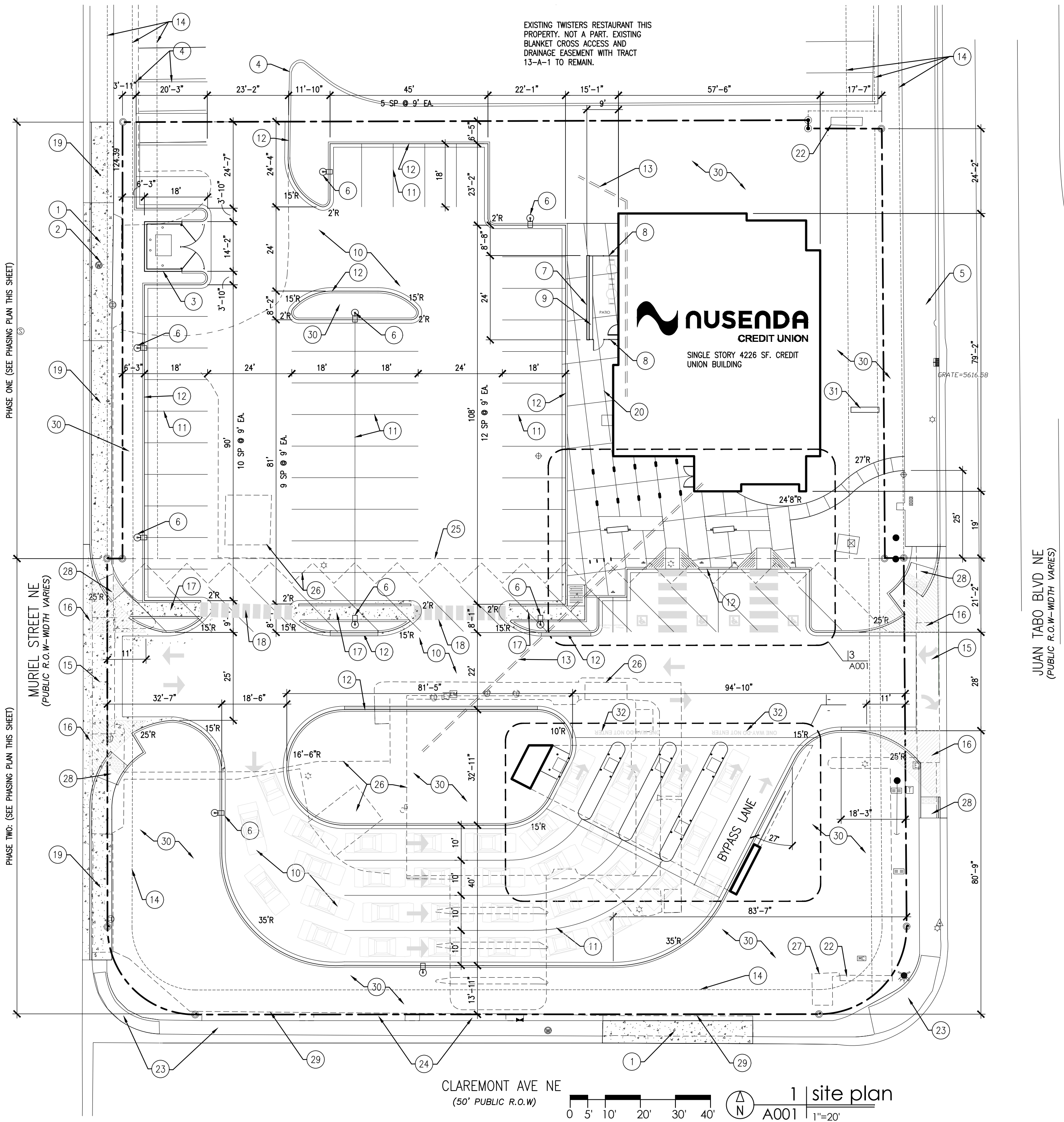
A NEW BRANCH FOR:

**nUSENDA**  
CREDIT UNION  
2801 JUAN TABO BLVD NE  
ALBUQUERQUE, NM



revisions

date:  
7-6-22  
sheet:  
A001



1 site plan  
A001 1"=20'