

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 11, 2021

Jeremy Shell
RESPEC
5971 Jefferson St. NE. Ste. 101
Albuquerque, NM 87113

Re: US Eagle FCU
1955 Juan Tabo
Final Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 11-21-19 (H21D029)
Certification dated 12-03-20

Dear Mr. Shell,

Based upon the information provided in your submittal received 1-7-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

SITE INFORMATION

PROJECT NAME: US EAGLE FEDERAL CREDIT UNION
MUNICIPALITY: CITY OF ALBUQUERQUE
PROJECT ADDRESS: 1955 JUAN TABO BLVD NE ALBUQUERQUE, NM 87112
ACRE / AREA: 0.70 ACRES
ZONE: MX-L
ADJACENT ZONING: MX-L, R-1B
USES: LOW INTENSITY MIXED-USE; SINGLE-FAMILY (MEDIUM LOT) RESIDENTIAL
SETBACKS:

FRONT YARD: 5 FT.
SIDE YARD: 5 FT.
REAR YARD: 15 FT.

HEIGHT LIMIT: 35 FT.

PARKING: REQUIRED PROVIDED
CONVENTIONAL 10 SPACES* 18 SPACES * (3 PER 1,000 SQ FT GFA)
MOTORCYCLE 1 SPACE 1 SPACE
BICYCLE 3 SPACES 3 SPACES

LANDSCAPE REQUIRED PROVIDED
15% NET LOT AREA 37% NET LOT AREA

OPEN SPACE REQUIRED PROVIDED
N/A N/A

LEGAL: LOT 14-G, BLOCK 95-A, SNOW HEIGHTS

NOTE:

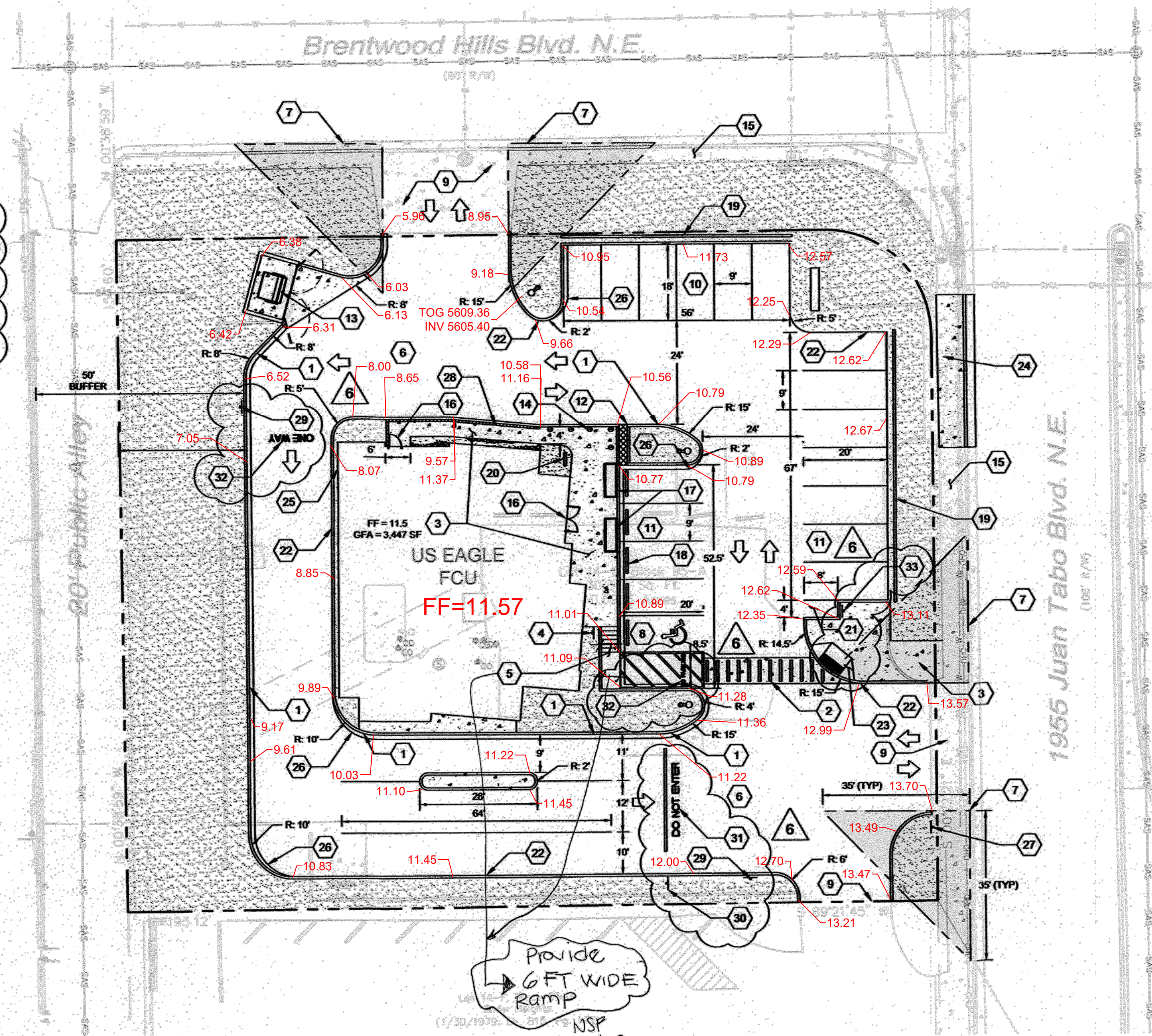
1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

SOLIDE WASTE MANAGEMENT

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED

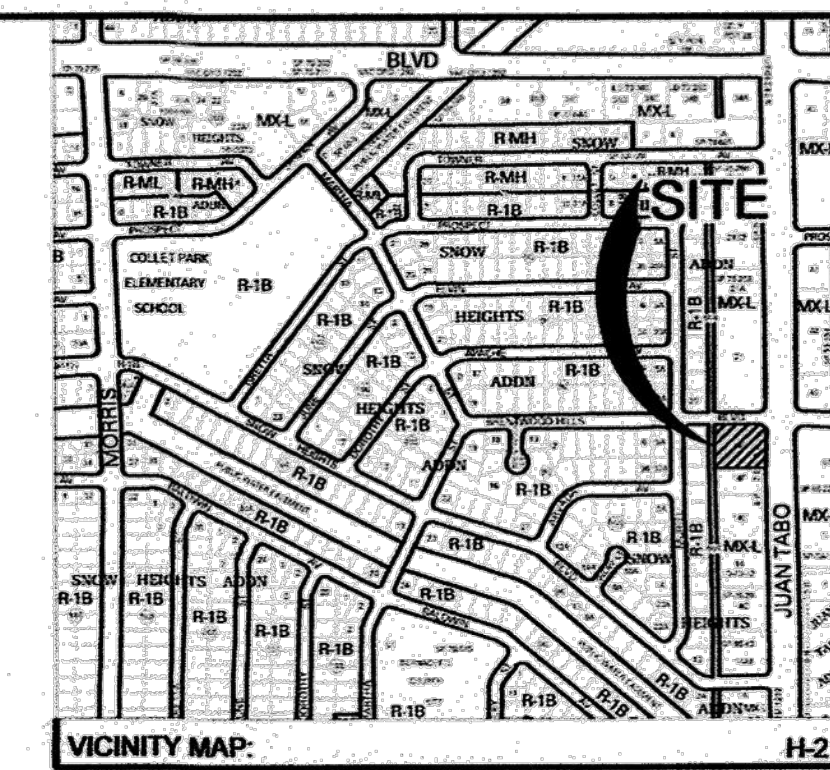
I, CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702, DO HEREBY
CERTIFY THAT THE AS-BUILT INFORMATION SHOWN AND
THE ACTUAL SURVEY WHICH IT WAS DERIVED FROM WAS
PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT THE INFORMATION SHOWN IS TRUE AND
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Christopher A. Medina
CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702
DATE: 11/20/20



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 3/16/20



KEYED NOTES

- | ID.# | DESCRIPTION |
|------|---|
| 1 | PROPOSED CONCRETE CURB AND GUTTER. SEE SHEET C-500, DETAIL 1. |
| 2 | PROPOSED CROSSWALK. SEE SHEET C-500, DETAIL 2. |
| 3 | PROPOSED SIDEWALK. SEE SHEET C-500, DETAIL 3. |
| 4 | PROPOSED ADA PARKING SIGN. SEE SHEET C-500, DETAIL 6. |
| 5 | PROPOSED ADA RAMP. SEE SHEET C-500, DETAIL 7. (6 FT WIDTH) N3P 3/16/20 |
| 6 | PROPOSED ASPHALT PAVEMENT. SEE SHEET C-501, DETAIL 16. |
| 7 | CLEAR SITE TRIANGLE. |
| 8 | PROPOSED ADA PARKING. |
| 9 | EXISTING DRIVEWAY ENTRANCE. |
| 10 | PROPOSED 9'x18' PARKING SPACES (TYP). |
| 11 | PROPOSED 9'x20' PARKING SPACES (TYP). |
| 12 | PROPOSED SIDEWALK CULVERT. SEE SHEET C-500, DETAIL 10. |
| 13 | PROPOSED REFUSE ENCLOSURE. |
| 14 | PROPOSED CONCRETE BOLLARDS (TYP.). |
| 15 | EXISTING SIDEWALK. |
| 16 | PROPOSED EXTERIOR DOORS. |
| 17 | PROPOSED PRECAST CONCRETE PLANTER. |
| 18 | PROPOSED PRECAST CONCRETE WHEEL STOP (TYP). |
| 19 | PROPOSED 3' SCREEN WALL. SEE SHEET C-500, DETAIL 9. |
| 20 | PROPOSED BICYCLE RACK. SEE SHEET C-501, DETAIL 17. |
| 21 | PROPOSED 8'x4' MOTORCYCLE PARKING SPOT. |
| 22 | PROPOSED HEADER CURB. SEE SHEET C-500, DETAIL 11. |
| 23 | PROPOSED ADA RAMP. SEE SHEET C-501, DETAIL 15. |
| 24 | EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH SIDEWALK / CURB. |
| 25 | PROPOSED BUILDING STEM WALL. |
| 26 | PROPOSED TAPERED GUTTER TRANSITION TO HEADER CURB. |
| 27 | PROPOSED "NO LEFT TURN" SIGN. SEE SHEET C-501, DETAIL 18. |
| 28 | PROPOSED RETAINING WALL. SEE SHEET C-500, DETAIL 8, FOR RETAINING WALL DETAIL. |
| 29 | PROPOSED "ONE-WAY" SIGN. SEE SHEET C-501, DETAIL 19. |
| 30 | PROPOSED "DO NOT ENTER" SIGN. SEE SHEET C-501, DETAIL 20. |
| 31 | PROPOSED "DO NOT ENTER" DIRECTIONAL PAINT MARKING SYMBOL. SEE SHEET C-501, DETAIL 21. |
| 32 | PROPOSED "NO PARKING" PAINT MARKING SYMBOL. SEE SHEET C-501, DETAIL 22. |
| 33 | PROPOSED FREE-STANDING "MOTORCYCLE PARKING" SIGN. |
| 34 | PROPOSED "ONE WAY" PAINT MARKING SYMBOL. SEE SHEET C-501, DETAIL 23. |

LEGEND

PROPERTY LINE

ACCESSIBLE PARKING SPACES



0 20 40
SCALE IN FEET

REVISION	
DESIGNED AL	DATE: 12.19.2019
DRAWN MF	
CHECKED JS	
DATE	

REVISION	
ADDENDUM 1, 12/13/19	
ADDENDUM 2, MISCELLANEOUS SITE REVISIONS 1/15/20	
ADDENDUM 4, REFUSE ENCLOSURE REVISIONS 2/6/20	
ADDENDUM 6, MISCELLANEOUS SITE REVISIONS 2/24/20	

STAMP	
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.	
MAR 13 2020	
LAND DEVELOPMENT SECTION	

PROJECT NAME:	
US EAGLE FCU JUAN TABO	

SHEET TITLE:	
SITE PLAN	

SUBMITTED FOR:	
BUILDING PERMIT	

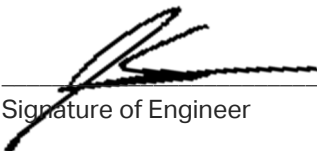
SHEET NUMBER:	
C-100	



TRAFFIC CERTIFICATION

I, JEREMY W. SHELL, NMPE 26341, OF THE FIRM RESPEC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 16, 2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA OF THE FIRM TERRA LAND SURVEYS, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON NOVEMBER 24, 2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer

12/03/2020
Date

5971 JEFFERSON ST., NE
SUITE 101
ALBUQUERQUE, NM 87109
505.268.2661