

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 11, 2021

Jeremy Shell
RESPEC
5971 Jefferson St. NE. Ste. 101
Albuquerque, NM 87113

Re: US Eagle FCU
1955 Juan Tabo
Final Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 11-21-19 (H21D029)
Certification dated 12-03-20

Dear Mr. Shell,

Based upon the information provided in your submittal received 1-7-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Albuquerque

Sincerely,

NM 87103

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

SITE INFORMATION

PROJECT NAME: US EAGLE FEDERAL CREDIT UNION
 MUNICIPALITY: CITY OF ALBUQUERQUE
 PROJECT ADDRESS: 1955 JUAN TABO BLVD NE ALBUQUERQUE, NM 87112
 ACRE / AREA: 0.70 ACRES
 ZONE: MX-L
 ADJACENT ZONING: MX-L, R-1B
 USES: LOW INTENSITY MIXED-USE; SINGLE-FAMILY (MEDIUM LOT) RESIDENTIAL
 SETBACKS:

FRONT YARD: 5 FT.
 SIDE YARD: 5 FT.
 REAR YARD: 15 FT.

HEIGHT LIMIT: 35 FT.

PARKING:	REQUIRED	PROVIDED
CONVENTIONAL	10 SPACES*	18 SPACES (3 PER 1,000 SQ FT GFA)
MOTORCYCLE	1 SPACE	1 SPACE
BICYCLE	3 SPACES	3 SPACES

LANDSCAPE	REQUIRED	PROVIDED
	15% NET LOT AREA	37% NET LOT AREA

OPEN SPACE	REQUIRED	PROVIDED
	N/A	N/A

LEGAL: LOT 14-G, BLOCK 95-A, SNOW HEIGHTS

NOTE:

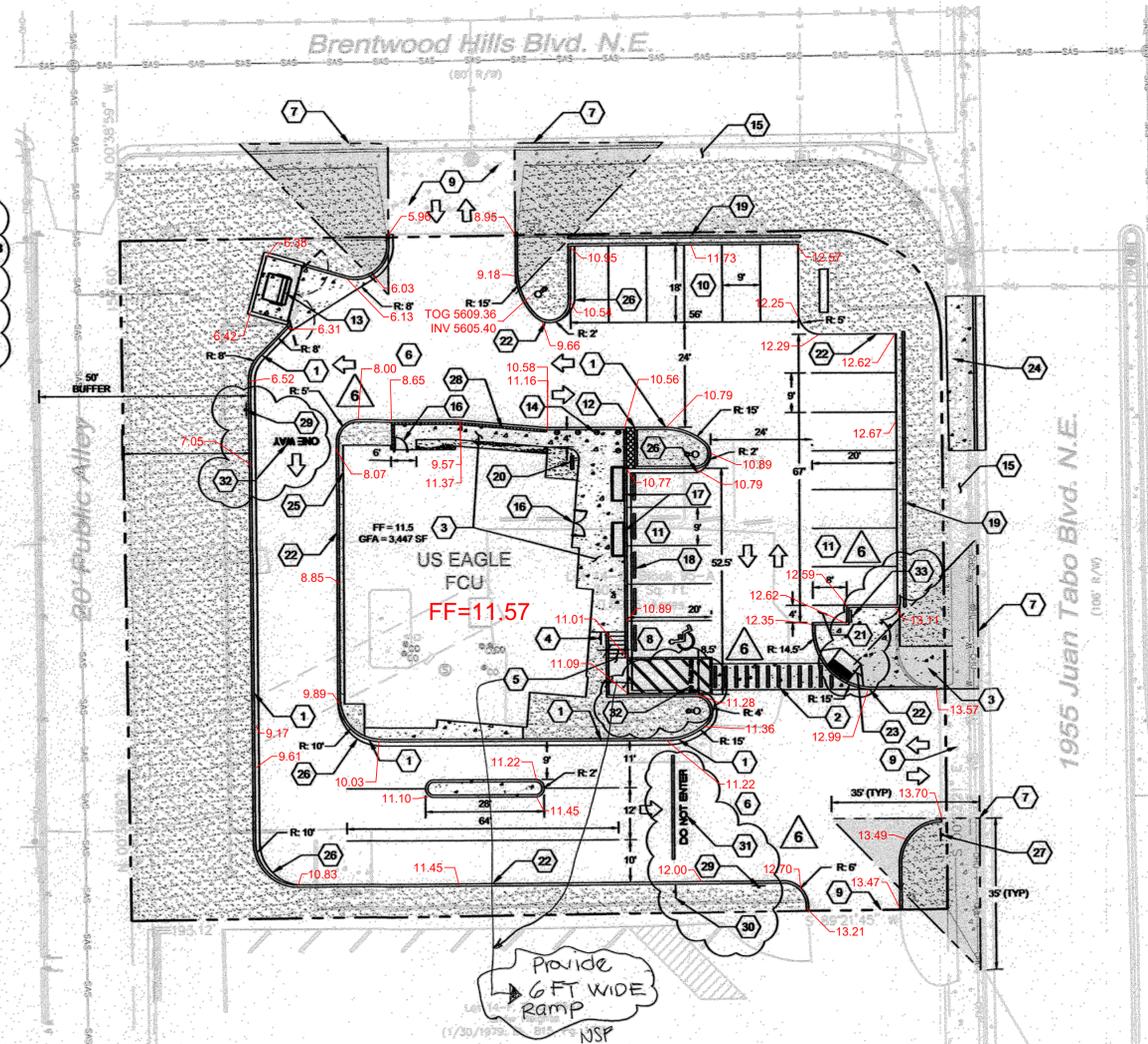
1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

SOLIDE WASTE MANAGEMENT

CITY OF ALBUQUERQUE
 "SOLID WASTE"
 ANAGEMENT DEPARTMENT
 APPROVED

I, CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702, DO HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN AND THE ACTUAL SURVEY WHICH IT WAS DERIVED FROM WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THE INFORMATION SHOWN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Christopher A. Medina 11/20/20
 CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702 DATE



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOME.

TRAFFIC CIRCULATION LAYOUT APPROVED
[Signature] 3/16/20
 Signed Date

KEYED NOTES

- | ID.# | DESCRIPTION |
|------|---|
| 1 | PROPOSED CONCRETE CURB AND GUTTER. SEE SHEET C-500, DETAIL 1. |
| 2 | PROPOSED CROSSWALK. SEE SHEET C-500, DETAIL 2. |
| 3 | PROPOSED SIDEWALK. SEE SHEET C-500, DETAIL 3. |
| 4 | PROPOSED ADA PARKING SIGN. SEE SHEET C-500, DETAIL 6. |
| 5 | PROPOSED ADA RAMP. SEE SHEET C-500, DETAIL 7. (6 FT WIDTH) NSP 3/16/20 |
| 6 | PROPOSED ASPHALT PAVEMENT. SEE SHEET C-501, DETAIL 16. |
| 7 | CLEAR SITE TRIANGLE. |
| 8 | PROPOSED ADA PARKING. |
| 9 | EXISTING DRIVEWAY ENTRANCE. |
| 10 | PROPOSED 9'x18' PARKING SPACES (TYP). |
| 11 | PROPOSED 9'x20' PARKING SPACES (TYP). |
| 12 | PROPOSED SIDEWALK CULVERT. SEE SHEET C-500, DETAIL 10. |
| 13 | PROPOSED REFUSE ENCLOSURE. |
| 14 | PROPOSED CONCRETE BOLLARDS (TYP.). |
| 15 | EXISTING SIDEWALK. |
| 16 | PROPOSED EXTERIOR DOORS. |
| 17 | PROPOSED PRECAST CONCRETE PLANTER. |
| 18 | PROPOSED PRECAST CONCRETE WHEEL STOP (TYP). |
| 19 | PROPOSED 3' SCREEN WALL. SEE SHEET C-500, DETAIL 9. |
| 20 | PROPOSED BICYCLE RACK. SEE SHEET C-501, DETAIL 17. |
| 21 | PROPOSED 8'x4' MOTORCYCLE PARKING SPOT. |
| 22 | PROPOSED HEADER CURB. SEE SHEET C-500, DETAIL 11. |
| 23 | PROPOSED ADA RAMP. SEE SHEET C-501, DETAIL 15. |
| 24 | EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH SIDEWALK / CURB. |
| 25 | PROPOSED BUILDING STEM WALL. |
| 26 | PROPOSED TAPERED GUTTER TRANSITION TO HEADER CURB. |
| 27 | PROPOSED "NO LEFT TURN" SIGN. SEE SHEET C-501, DETAIL 18. |
| 28 | PROPOSED RETAINING WALL. SEE SHEET C-500, DETAIL 8, FOR RETAINING WALL DETAIL. |
| 29 | PROPOSED "ONE-WAY" SIGN. SEE SHEET C-501, DETAIL 19. |
| 30 | PROPOSED "DO NOT ENTER" SIGN. SEE SHEET C-501, DETAIL 20. |
| 31 | PROPOSED "DO NOT ENTER" DIRECTIONAL PAINT MARKING SYMBOL. SEE SHEET C-501, DETAIL 21. |
| 32 | PROPOSED "NO PARKING" PAINT MARKING SYMBOL. SEE SHEET C-501, DETAIL 22. |
| 33 | PROPOSED FREE-STANDING "MOTORCYCLE PARKING" SIGN. |
| 32 | PROPOSED "ONE WAY" PAINT MARKING SYMBOL. SEE SHEET C-501, DETAIL 23. |

LEGEND

PROPERTY LINE

ACCESSIBLE PARKING SPACES



0 20 40
 SCALE IN FEET



DESIGNED BY	DRAWN BY	CHECKED BY	DATE
RESPEC	MF	JS	12.19.2019

STAMP
 W. FLOYD
 16833
 RECEIVED
 MAR 13 2020
 LAND DEVELOPMENT SECTION

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

PROJECT NAME: US EAGLE FCU JUAN TABO

SHEET TITLE: SITE PLAN

SUBMITTED FOR: BUILDING PERMIT

SHEET NUMBER: C-100



TRAFFIC CERTIFICATION

I, JEREMY W. SHELL, NMPE 26341, OF THE FIRM RESPEC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 16, 2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA OF THE FIRM TERRA LAND SURVEYS, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON NOVEMBER 24, 2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer



12/03/2020

Date

5971 JEFFERSON ST., NE
SUITE 101
ALBUQUERQUE, NM 87109
505.268.2661