

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

December 20, 2019

Jeremy Shell  
Respec  
5971 Jefferson St. NE  
Albuquerque, NM 87109

**RE: US Eagle FCU – Juan Tabo  
1955 Juan Tabo NE  
Grading and Drainage Plan Stamp Date: 11/21/19  
Hydrology File: H21D029**

Dear Mr. Shell:

Based on the submittal received on 12/16/19, the Grading and Drainage Plan cannot be approved until the following are corrected:

PO Box 1293

Prior to Site Plan for Building Permit:

Albuquerque

NM 87103

www.cabq.gov

1. This site qualifies as redevelopment and is only required to retain runoff from the 80<sup>th</sup> percentile storm ( $\text{Vol.} = 0.26'' * \text{Imp. Area}$ ); calculations need to be corrected to reflect this.
2. A waterblock, 0.87' high, per COA Paving Detail No. 2426, is required at the driveway entrance (Juan Tabo side).
3. Show the grading and paving for rebuilding the alley.
4. If only seeking Site Plan for Building Permit approval at this time, label the grading plan "Conceptual, Not For Construction" or similar and address the SPBP comments. If seeking SPBP and Building Permit simultaneously, forgo the conceptual markings and address all SPBP and Building Permit comments.

Prior to Building Permit:

5. Payment in Lieu (Amount =  $481\text{CF} \times \$8/\text{CF} = \$3848$ , per sheet C-101) of onsite management of the SWQV must be made. Take three copies of the treasury deposit slip to the Treasury and then include one copy of the paid deposit slip when resubmitting.
6. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

Prior to Certificate of Occupancy (For Information):

7. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
8. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**SITE INFORMATION**

PROJECT NAME: US EAGLE FEDERAL CREDIT UNION  
 MUNICIPALITY: CITY OF ALBUQUERQUE

PROJECT ADDRESS: 1955 JUAN TABO BLVD NE ALBUQUERQUE, NM 87112

ACRE / AREA: 0.70 ACRES

ZONE: MX-L

ADJACENT ZONING: MX-L; R-1B  
 USES: LOW INTENSITY MIXED-USE; SINGLE-FAMILY (MEDIUM LOT) RESIDENTIAL  
 SETBACKS:

FRONT YARD: 5 FT.  
 SIDE YARD: 5 FT.  
 REAR YARD: 15 FT.

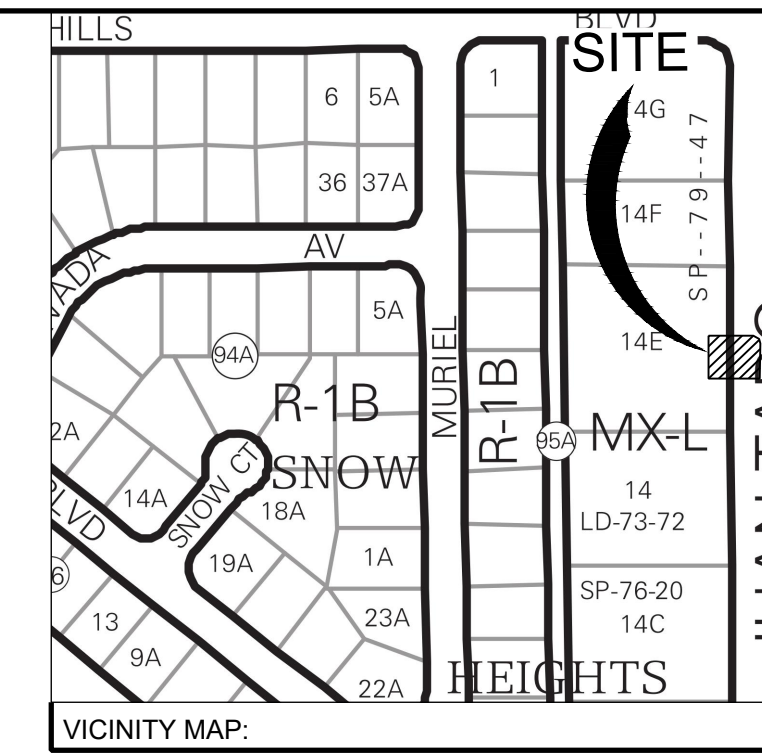
HEIGHT LIMIT: 35 FT.

PARKING: REQUIRED PROVIDED  
 10 SPACES\* 18 SPACES  
 \*(3 PER 1,000 SQ FT GFA)

LANDSCAPE REQUIRED PROVIDED  
 15% NET LOT AREA 37% NET LOT AREA

OPEN SPACE REQUIRED PROVIDED  
 N/A N/A

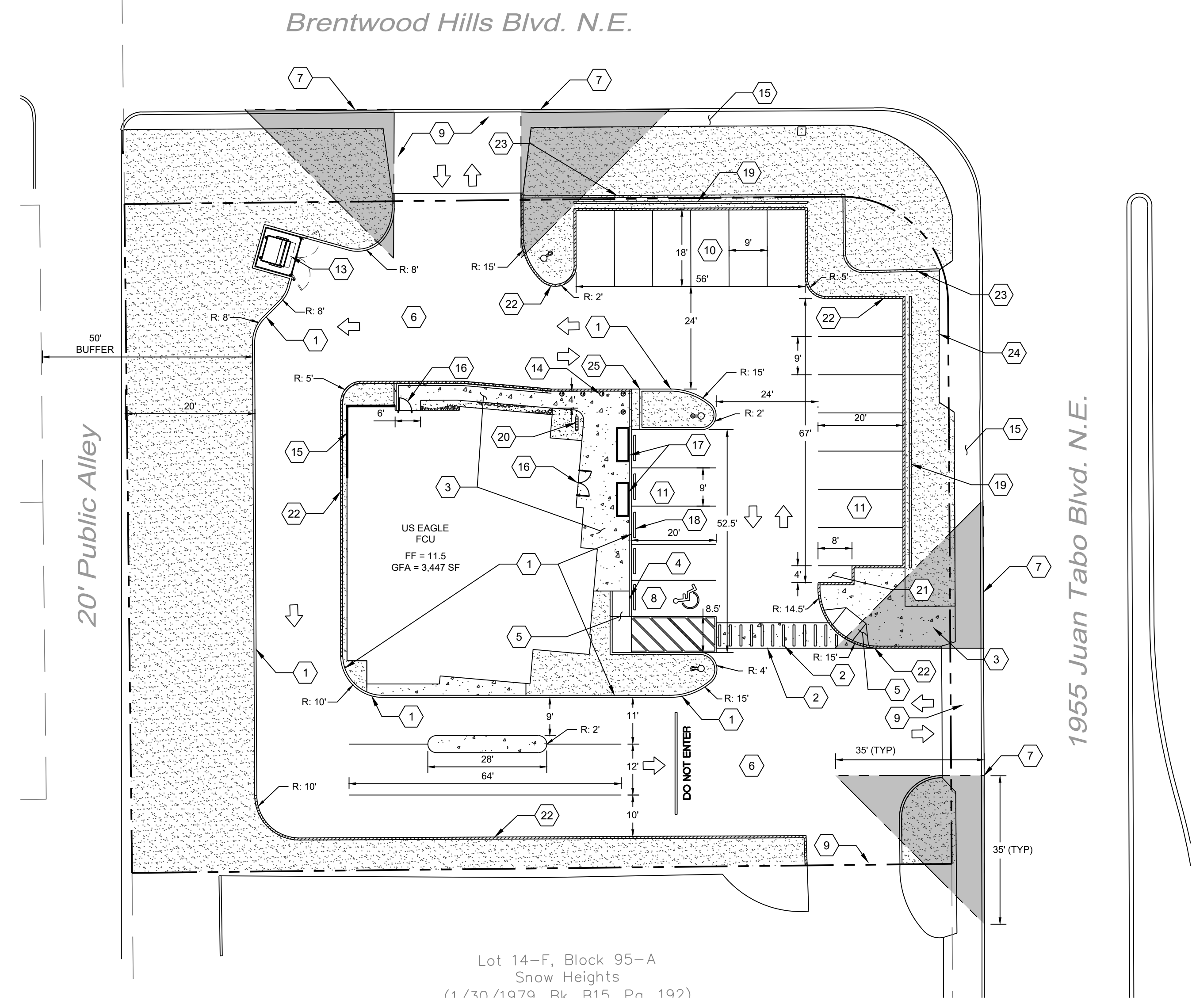
LEGAL: LOT 14-G, BLOCK 95-A, SNOW HEIGHTS



DESIGNED BY	DRAWN BY	CHECKED BY	DATE
AL	MF	JS	12.13.2019

RESPEC  
 6971 Jefferson Street Suite 101  
 Albuquerque, NM 87109  
 Water and Natural Resources  
 respec.com 505.253.9718

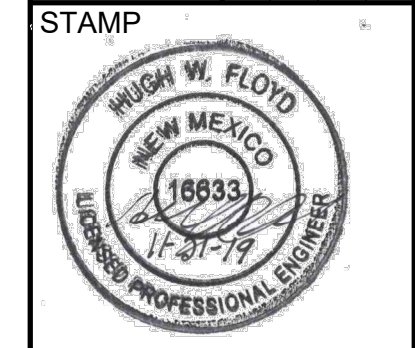
REVISION



Lot 14-F, Block 95-A  
 Snow Heights  
 (1/30/1979 Rk R15 Pn 192)

I.D.#	DESCRIPTION
1	PROPOSED CONCRETE CURB AND GUTTER. SEE SHEET C-500, DETAIL 1.
2	PROPOSED CROSSWALK. SEE SHEET C-500, DETAIL 2.
3	PROPOSED SIDEWALK. SEE SHEET C-500, DETAIL 3.
4	PROPOSED ADA PARKING SIGN. SEE SHEET C-500, DETAIL 6.
5	PROPOSED ADA HANDICAP RAMP. SEE SHEET C-500, DETAIL 7.
6	PROPOSED ASPHALT PAVEMENT.
7	CLEAR SITE TRIANGLE.
8	PROPOSED ADA HANDICAP PARKING.
9	EXISTING DRIVEWAY ENTRANCE.
10	PROPOSED 9'x18' PARKING SPACES (TYP).
11	PROPOSED 9'x20' PARKING SPACES (TYP).
12	EXISTING BUILDING LIMITS.
13	PROPOSED REFUSE ENCLOSURE.
14	PROPOSED CONCRETE BOLLARDS.
15	EXISTING SIDEWALK.
16	PROPOSED EXTERIOR DOORS.
17	PROPOSED PRECAST CONCRETE PLANTER.
18	PROPOSED PRECAST CONCRETE WHEEL STOP (TYP).
19	PROPOSED 3' SCREEN WALL. SEE SHEET C-500, DETAIL 9.
20	PROPOSED BICYCLE RACK.
21	PROPOSED 8'x4' MOTORCYCLE PARKING SPOT.
22	PROPOSED STRAIGHT CURB. SEE SHEET C-500, DETAIL 11.
23	REMOVE EXISTING CURB.
24	EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH SIDEWALK / CURB.
25	PROPOSED SIDEWALK CULVERT. SEE SHEET C-500, DETAIL 10.

KEYED NOTES



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.



PROJECT NAME: US EAGLE FCU JUAN TABO

SHEET TITLE: SITE PLAN

SUBMITTED FOR: BUILDING PERMIT

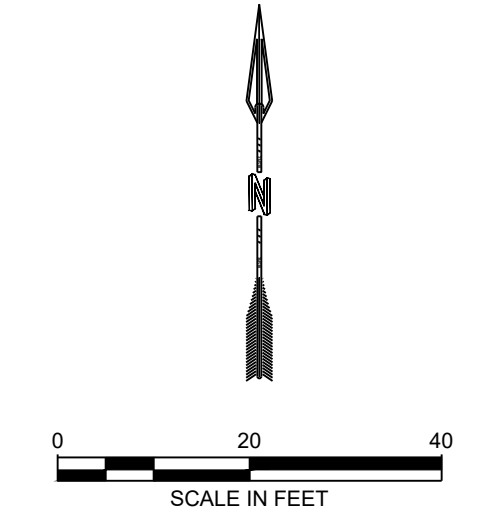
SHEET NUMBER: C-100

LEGEND

PROPERTY LINE

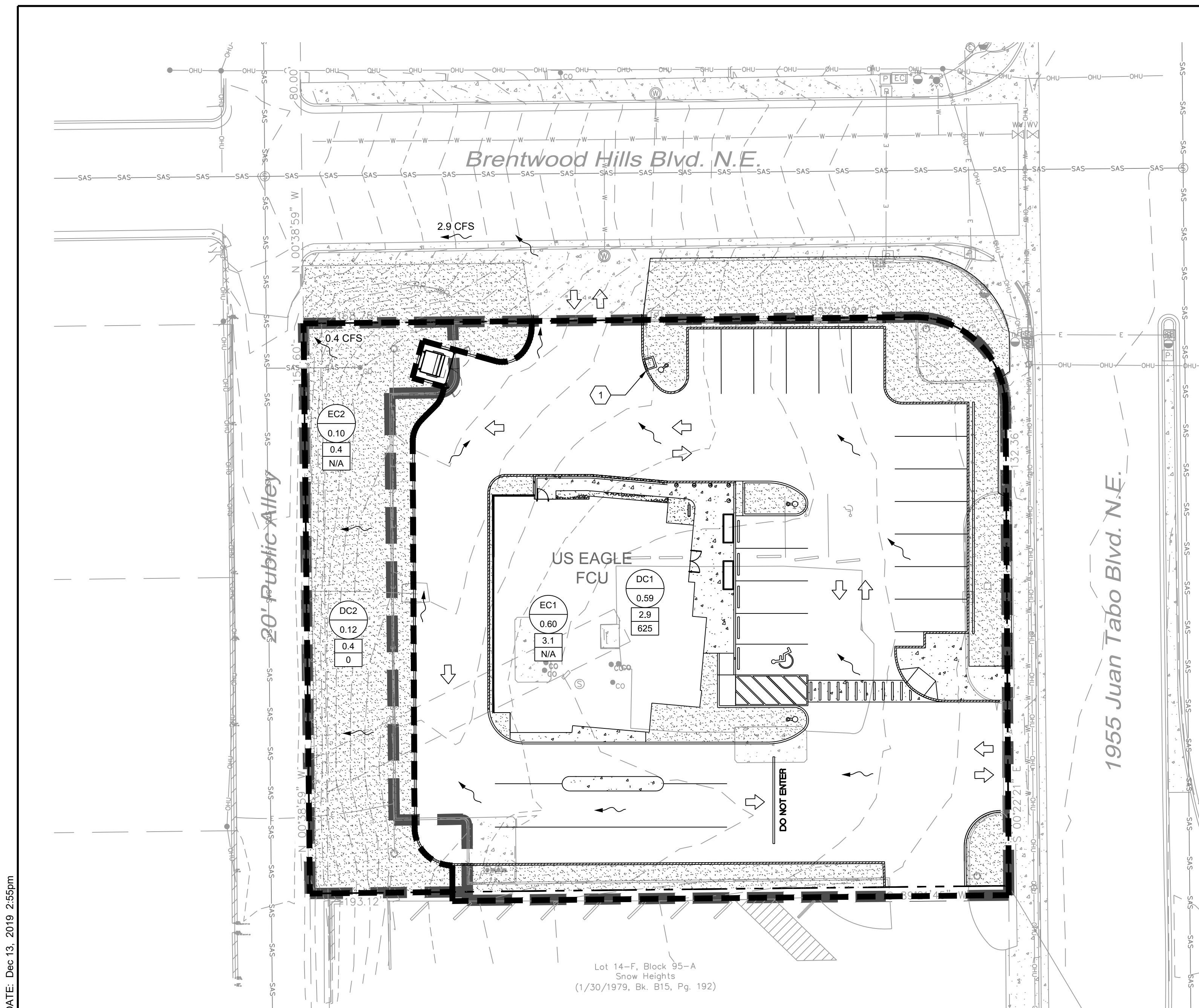
ACCESSIBLE PARKING SPACES

LEGAL: LOT 14-G, BLOCK 95-A, SNOW HEIGHTS



NAME: G:\Shared drives\NM\Projects\03878 US Eagle FCU\3\_DWG\Sheets\03878-Site Plan.dwg PLOT DATE: Dec.13. 2019 2:54pm





**KEYED NOTES**

I.D.#	DESCRIPTION
1	PROPOSED MODIFIED TYPE D INLET. INV EL = 5608.70, GRATE EL = 5609.82. SEE SHEET C-500, DETAIL 13.

**BACKGROUND**

LOT 14-G, BLOCK 95-A OF SNOW HEIGHTS IS APPROXIMATELY 0.7 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED AT THE SOUTHWEST CORNER OF THE JUAN TABO BOULEVARD AND BRENTWOOD HILLS BOULEVARD INTERSECTION. THE SITE WAS PREVIOUSLY DEVELOPED AS A SMALL RESTAURANT BUILDING WITH A PARKING LOT. THE BUILDING WAS RECENTLY DEMOLISHED. THE PROPOSED PROJECT IS A US EAGLE FEDERAL CREDIT UNION. THE EXISTING PARKING LOT WILL BE DEMOLISHED. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN SHOWN ON THE SITE.

**METHODOLOGY**

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.34". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

**EXISTING CONDITIONS**

THE SITE, IN GENERAL, SLOPES FROM SOUTHEAST TO NORTHWEST AT VARYING SLOPES FROM 3% - 8%. STORM WATER RUNOFF GENERATED BY THE EXISTING BUILDING AND PARKING AREA OF LOT 14-G FREELY DISCHARGES INTO BRENTWOOD HILLS BOULEVARD THROUGH THE EXISTING DRIVEWAY LOCATED NEAR THE NORTHWEST CORNER OF THE PROPERTY. A PORTION OF THE WESTERN SIDE OF THE SITE IS SLOPED TO MATCH GRADE AT THE PUBLIC ALLEY ALONG THE PROPERTY'S WESTERN BOUNDARY. THIS SLOPED LANDSCAPE AREA SHEET DRAINS INTO THE ALLEY. THE SITE RECEIVES A SMALL AMOUNT OF OFFSITE FLOWS FROM LOT 14-F, THE NEIGHBORING PROPERTY TO THE SOUTH. THE EXISTING SITE HAS BEEN SPLIT INTO TWO SUB-BASINS.

SUB-BASIN EC1 IS 0.6 ACRES CONSISTING OF THE EXISTING BUILDING AND PARKING AREA. THIS SUB-BASIN GENERATES 3.1 CFS AND FLOWS IN THE PARKING AREA TOWARD THE NORTHWEST CORNER OF THE PROPERTY WHERE WATER FREELY DISCHARGES INTO BRENTWOOD HILLS BOULEVARD.

SUB-BASIN EC2 IS 0.1 ACRES AND GENERATES 0.4 CFS. THIS SUB-BASIN CONSISTS OF THE SLOPED AREA ON THE WEST SIDE OF THE PROPERTY. RUNOFF SHEET FLOWS INTO THE PUBLIC ALLEY ALONG THE SITES WESTERN BOUNDARY. WATER IN THE ALLEY FLOWS NORTH AND ALSO DISCHARGES INTO BRENTWOOD HILLS BOULEVARD.

**DEVELOPED CONDITIONS**

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN. THE SITE HAS BEEN SPLIT INTO TWO DEVELOPED CONDITIONS SUB-BASINS.

SUB-BASIN DC1 IS 0.59 ACRES CONSISTING OF THE PROPOSED BUILDING AND PARKING AREA. THIS SUB-BASIN GENERATES 2.9 CFS. RUNOFF FROM THE ROOF IS COLLECTED IN A STORM DRAIN SYSTEM INTERNAL TO THE BUILDING. THIS STORM DRAIN DISCHARGES TO A MODIFIED TYPE "D" INLET IN THE PARKING LOT THAT WILL ACT AS BOTH A BUBBLER AND A FRENCH DRAIN. SEE DETAIL ON SHEET C-500. RUNOFF FROM LARGER STORM EVENTS WILL BUBBLE UP THROUGH THE INLET AND INTO THE PARKING AREA. WATER THAT REMAINS IN THE INLET WILL INFILTRATE INTO THE GROUND THROUGH THE BOTTOM OF THE MODIFIED INLET. SIMILAR TO SUB-BASIN EC1, FLOWS FROM THE PARKING LOT ARE ROUTED THROUGH THE PARKING AREA TOWARD THE NORTHWEST CORNER OF THE PROPERTY. FROM THERE, RUNOFF FLOWS OUT THE EXISTING DRIVEWAY INTO BRENTWOOD HILLS BOULEVARD.

SUB-BASIN DC2 IS 0.12 ACRES AND GENERATES 0.4 CFS. THIS SUB-BASIN CONSISTS OF THE SLOPED LANDSCAPE AREA ON THE WESTSIDE OF THE PROPERTY. THIS SUB-BASIN WILL MATCH THE EXISTING DRAINAGE PATTERN AND SHEET FLOW INTO THE EXISTING PUBLIC ALLEY.

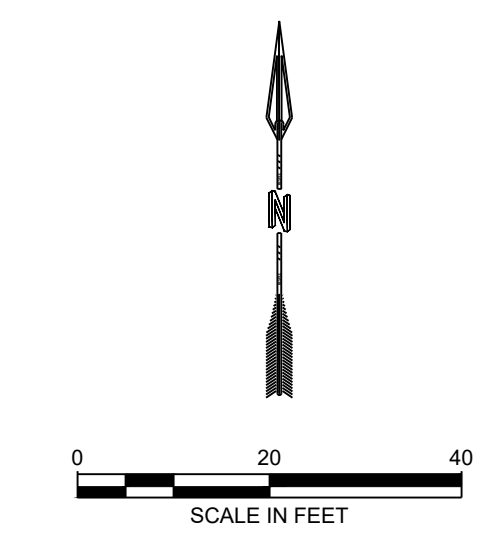
THE WATER QUALITY TABLE AT THE BOTTOM LEFT CORNER OF THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THE OWNER HAS ELECTED TO PAY THE FEE-IN-LIEU OF STORM WATER QUALITY PONDING REQUIREMENTS. THE TOTAL VOLUME REQUIRED IS 625 CUBIC FEET. THEREFORE, THE PAYMENT AMOUNT IS 625 CF X \$8/CF = \$5,000.

**BENCH MARKS**

- 1. LACS MONUMENT "15-H22" HAVING AN ELEVATION OF 5615.532' (NAVD 1988), US SURVEY FEET.

**SYMBOL LEGEND**

- BASIN DESIGNATION
- BASIN AREA, ACRES
- 100 YEAR STORM, CFS
- REQUIRED WATER QUALITY VOLUME FOR FIRST FLUSH OF 0.34"
- EXISTING SUB-BASIN BOUNDARY
- PROPOSED SUB-BASIN BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY LINE
- DIRECTION OF DRAINAGE FLOW
- PROPOSED MODIFIED TYPE D INLET



**Hydrology Calculations**

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2.

**Runoff Rate:**

Treatment Type Areas

Subbasin	Area <sub>A</sub> (ac)	Area <sub>B</sub> (ac)	Area <sub>C</sub> (ac)	Area <sub>D</sub> (ac)	Total (ac)
EC1	0.00	0.02	0.02	0.57	0.60
EC2	0.00	0.00	0.10	0.00	0.10
DC1	0.00	0.04	0.04	0.51	0.59
DC2	0.00	0.00	0.12	0.00	0.12

Peak Discharge values based on Zone 4 from Table A-9

$Q_A = 2.20$  cfs/ac     $Q_B = 2.92$  cfs/ac     $Q_C = 3.73$  cfs/ac     $Q_D = 5.25$  cfs/ac

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
EC1	3.1
EC2	0.4
Total EC	3.5
DC1	2.9
DC2	0.4
Total DC	3.4

**Water Quality:**

Required Water Quality volume for first flush of 0.34"

Subbasin	Volume (cu. ft.)
DC1	625
DC2	0
Total	625

(Fee-in-Lieu = \$5,000)

DESIGNED AL: \_\_\_\_\_  
 DRAWN MF: \_\_\_\_\_  
 CHECKED JS: \_\_\_\_\_  
 DATE: 12.13.2019

RESPEC  
 6971 Jefferson Street Suite 101  
 Albuquerque, NM 87113  
 Water and Natural Resources  
 respec.com 505.253.9718

STAMP

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

PROJECT NAME: US EAGLE FCU JUAN TABO

SHEET TITLE: DRAINAGE PLAN

SUBMITTED FOR: BUILDING PERMIT

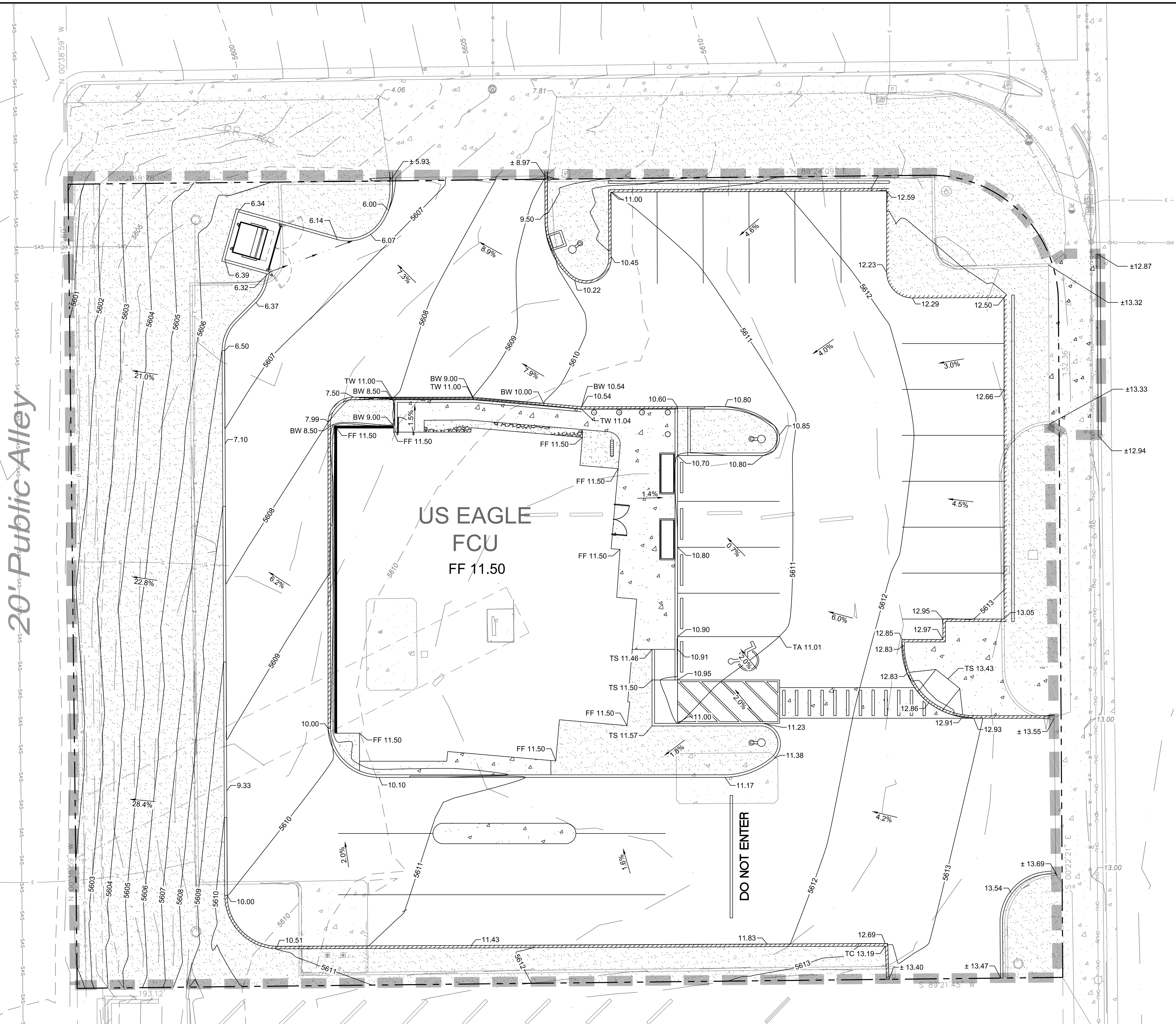
SHEET NUMBER: C-101

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NAME: G:\Shared drives\NMP\Projects\03878 US Eagle FCU\3\_DWG\Sheets\03878-Grading.dwg PLOT DATE: Dec 13, 2019 2:55pm

20' Public Alley



**BENCH MARKS**

1. LACS MONUMENT "15-H22" HAVING AN ELEVATION OF 5615.532. (NAVD 1988). US SURVEY FEET.

**GRADING NOTES**

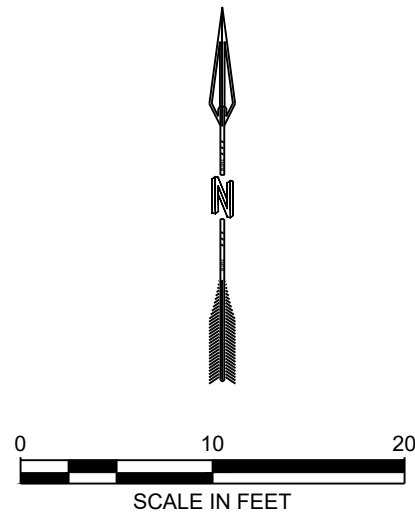
1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
2. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
3. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
8. ALL DISTURBED AREAS TO BE RE-SEEDED OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

**SYMBOL LEGEND**

	7290	PROPOSED MAJOR CONTOUR
	7291	PROPOSED MINOR CONTOUR
	7290	EXISTING MAJOR CONTOUR
	7291	EXISTING MINOR CONTOUR
		PROPOSED RETAINING WALL
		LIMITS OF DISTURBANCE
	4.6%	PROPOSED SLOPE ARROW
		PROPOSED MODIFIED TYPE D INLET
		EXISTING WALL
		EXISTING EASEMENT
		PROPERTY LINE
		PROPOSED STEM WALL

**SPOT ELEVATION SYMBOLS**

1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- |  |          |  |
|--|----------|--|
|  | 90.25    | FLOWLINE ELEVATION                             |
|  | TW 90.50 | TOP OF RETAINING WALL ELEVATION                |
|  | BW 90.25 | BOTTOM OF RETAINING WALL - STEM WALL ELEVATION |
|  | FF 89.37 | FINISHED FLOOR ELEVATION                       |
|  | 90.25±   | MATCH EXISTING GRADE ELEVATION (APPROXIMATE)   |
|  | TS 90.25 | TOP OF SIDEWALK ELEVATION                      |
|  | TA 90.25 | TOP OF ASPHALT ELEVATION                       |

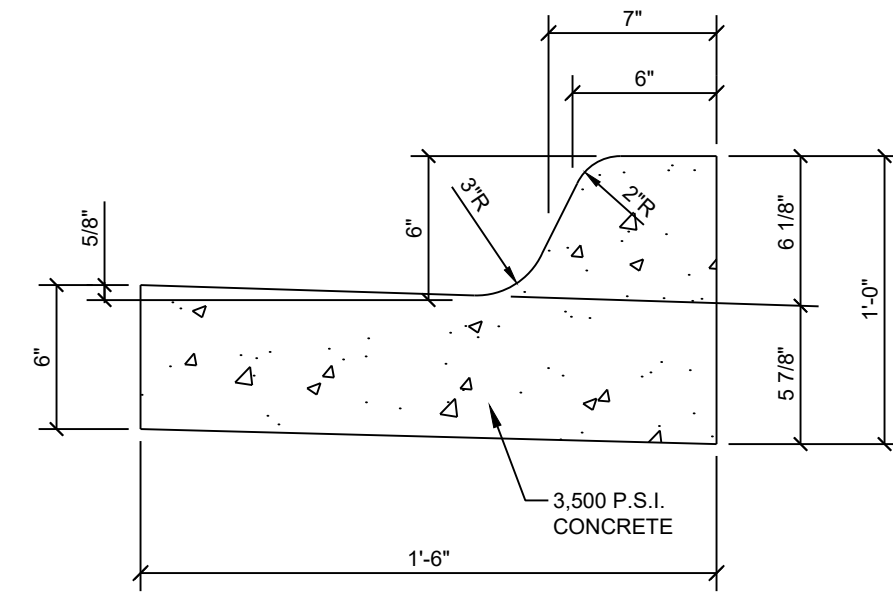


DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ DATE: 12.13.2019	REVISION _____ _____ _____
 5971 Jefferson Street Suite 101 Albuquerque, NM 87110 Water and Natural Resources respec.com 505.253.9718	
 HUGH W. FLOYD NEW MEXICO 17317 LICENSED PROFESSIONAL ENGINEER	
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.	
 Know what's below. Call before you dig.	
PROJECT NAME: US EAGLE FCU JUAN TABO	SHEET TITLE: GRADING PLAN
SUBMITTED FOR: BUILDING PERMIT	SHEET NUMBER: C-102

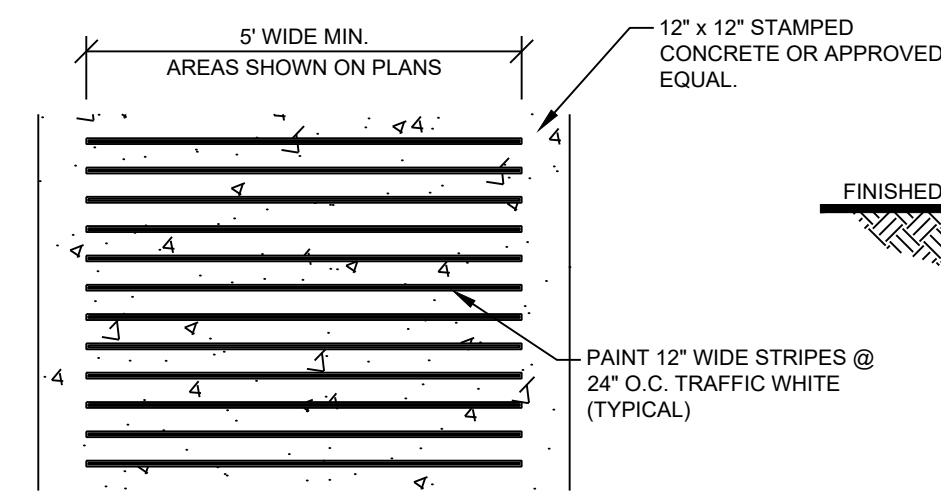




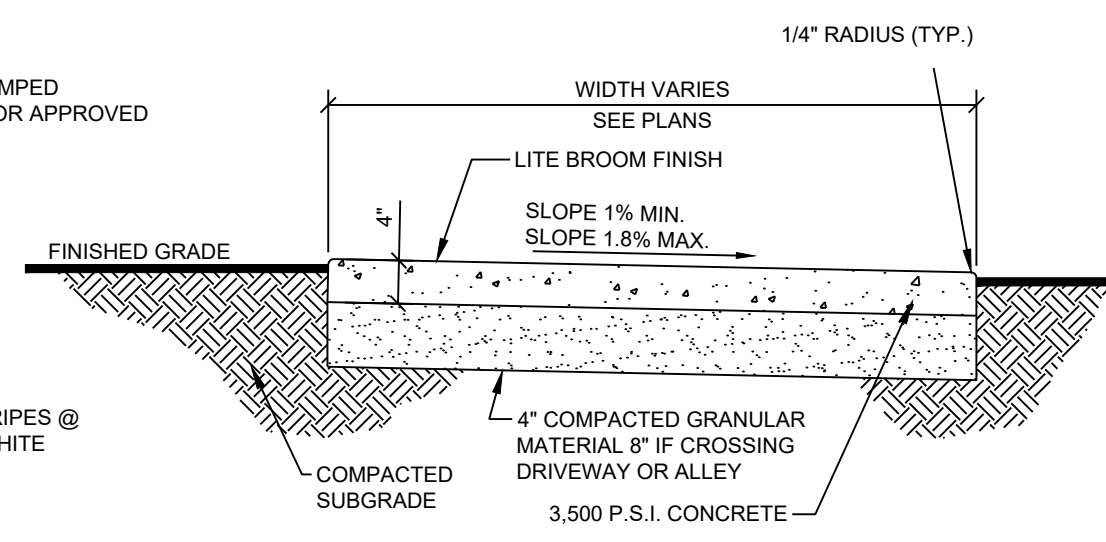




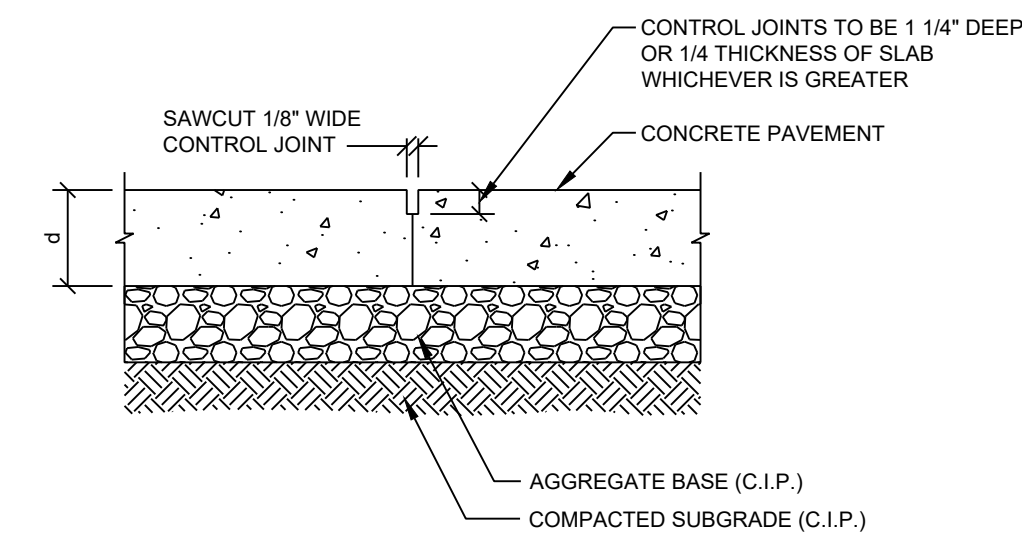
1 CONCRETE CURB & GUTTER  
NO SCALE



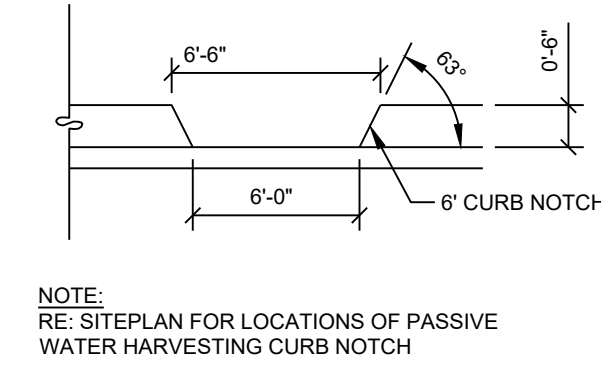
2 CROSSWALK DETAIL  
NO SCALE



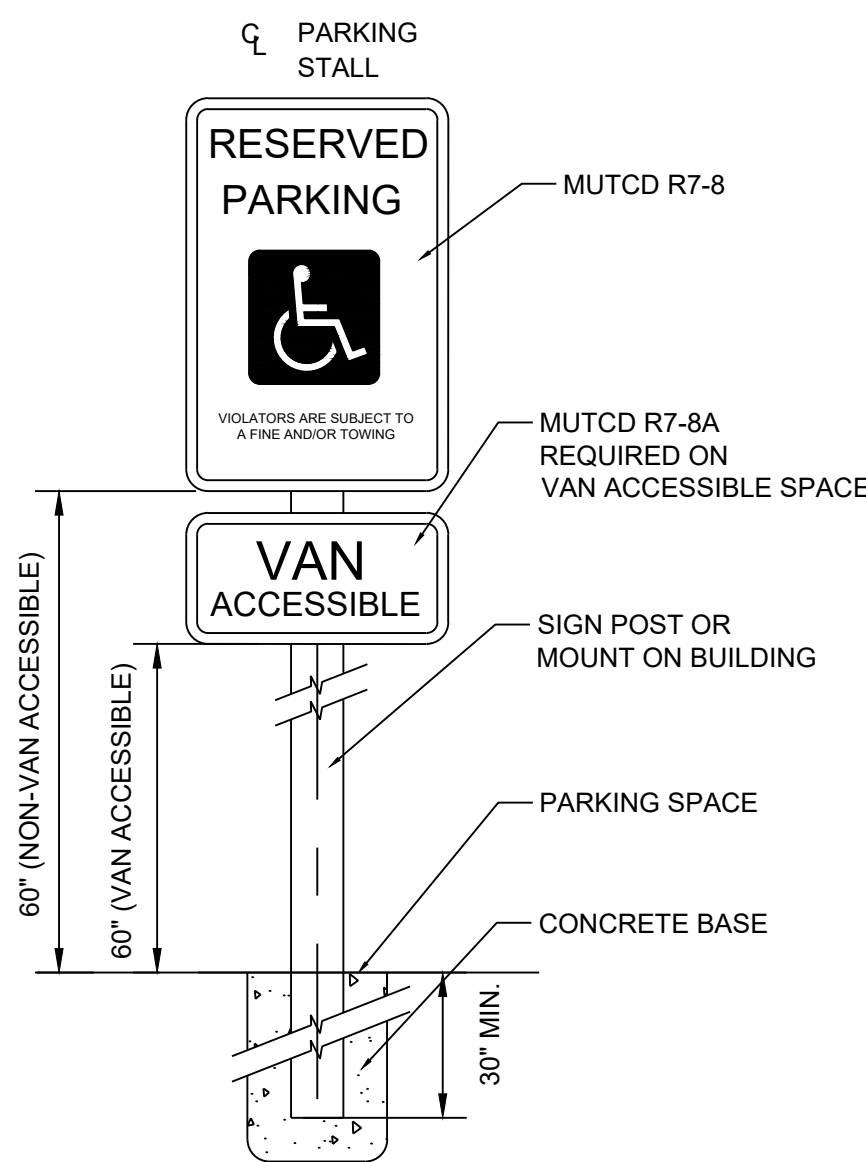
3 SIDEWALK DETAIL  
NO SCALE



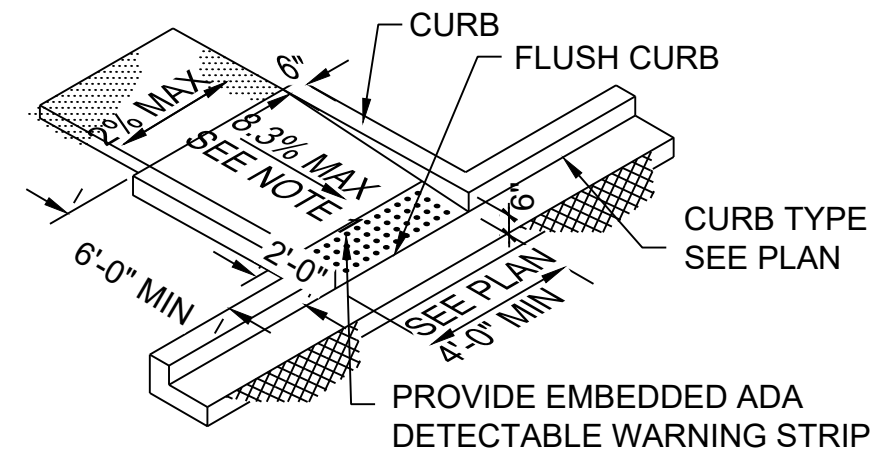
4 CONCRETE CONTROL JOINT  
NO SCALE



5 6' CURB OPENING  
NO SCALE

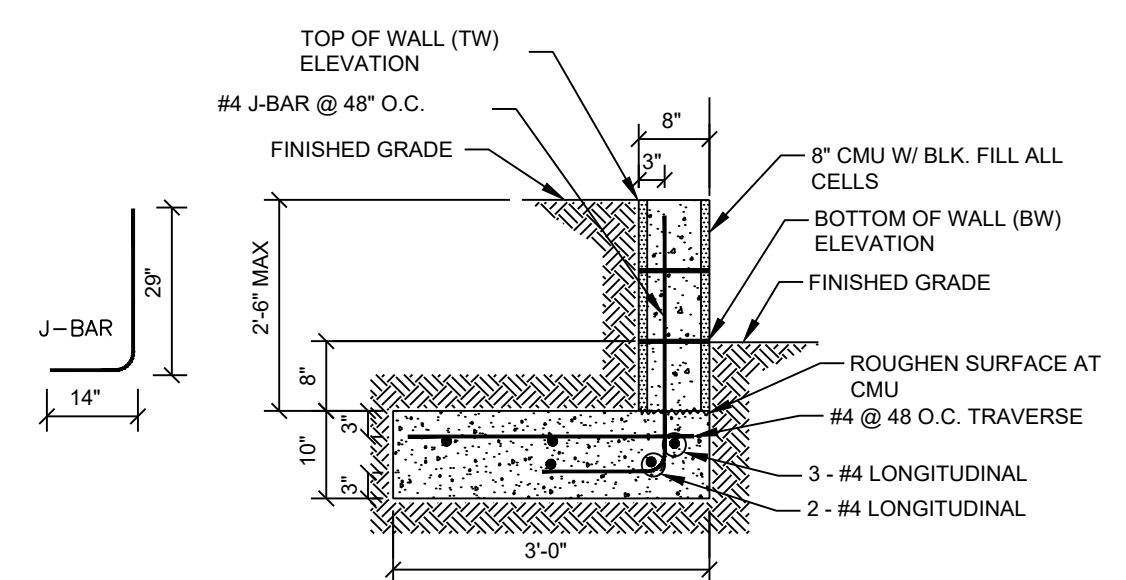


6 ADA PARKING DETAIL  
NO SCALE



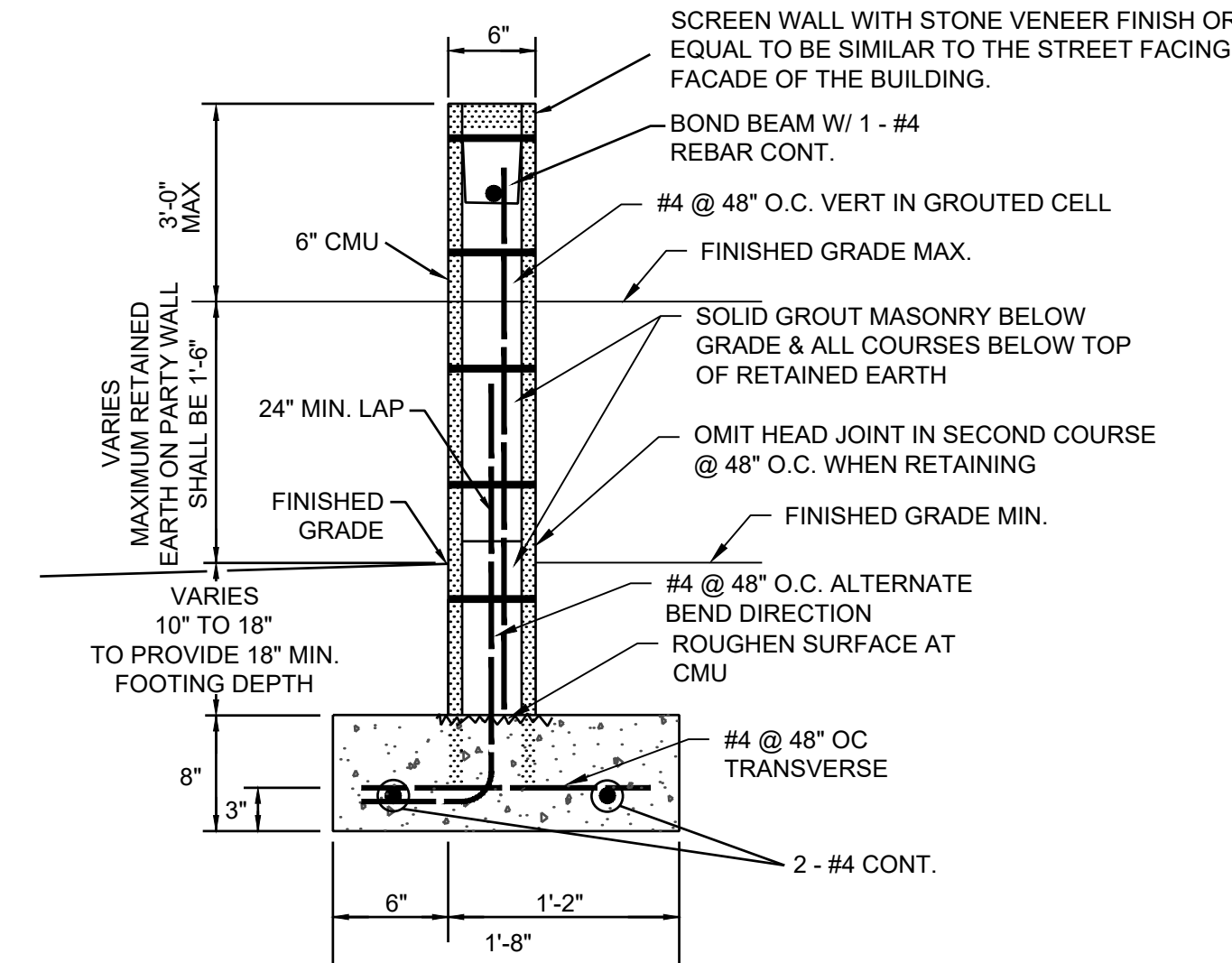
NOTES:  
1. THE CURB RAMP RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET. WHEN APPLYING THE 15 FEET MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS POSSIBLE.  
2. CROSS SLOPE NOT TO EXCEED 2%.

7 ADA HANDICAP RAMP DETAIL  
NO SCALE

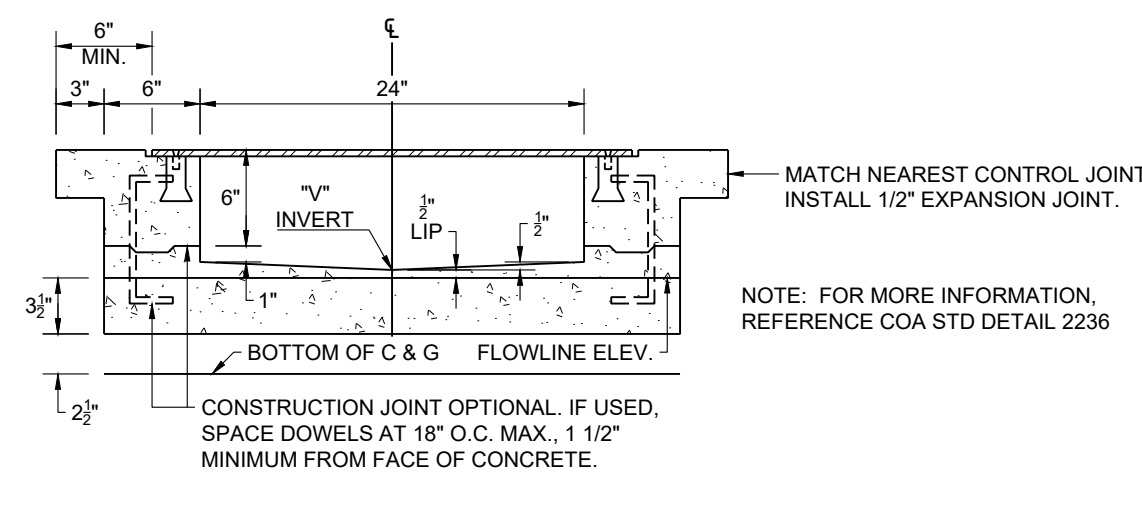


NOTE:  
1. FINISH GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL AND NO ADDITIONAL SURFACE LOADS SHALL BE PLACED WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT.  
2. CMU BLOCKS MAY BE SUBSTITUTED WITH MIN. 3,500 PSI CONCRETE WALL.

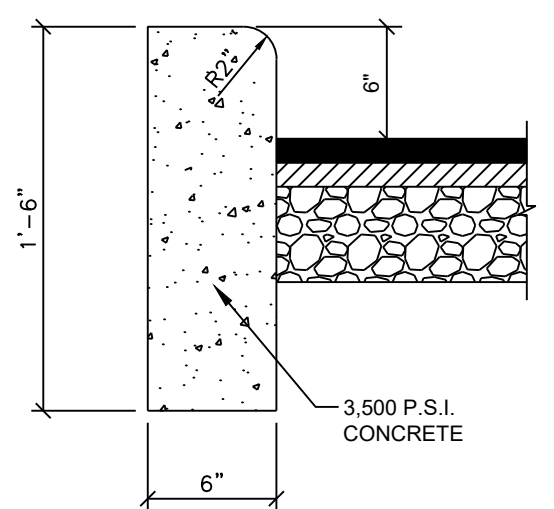
8 TYPE A - L HEEL LOW RETAINING WALL UP TO 2'-6"  
NO SCALE



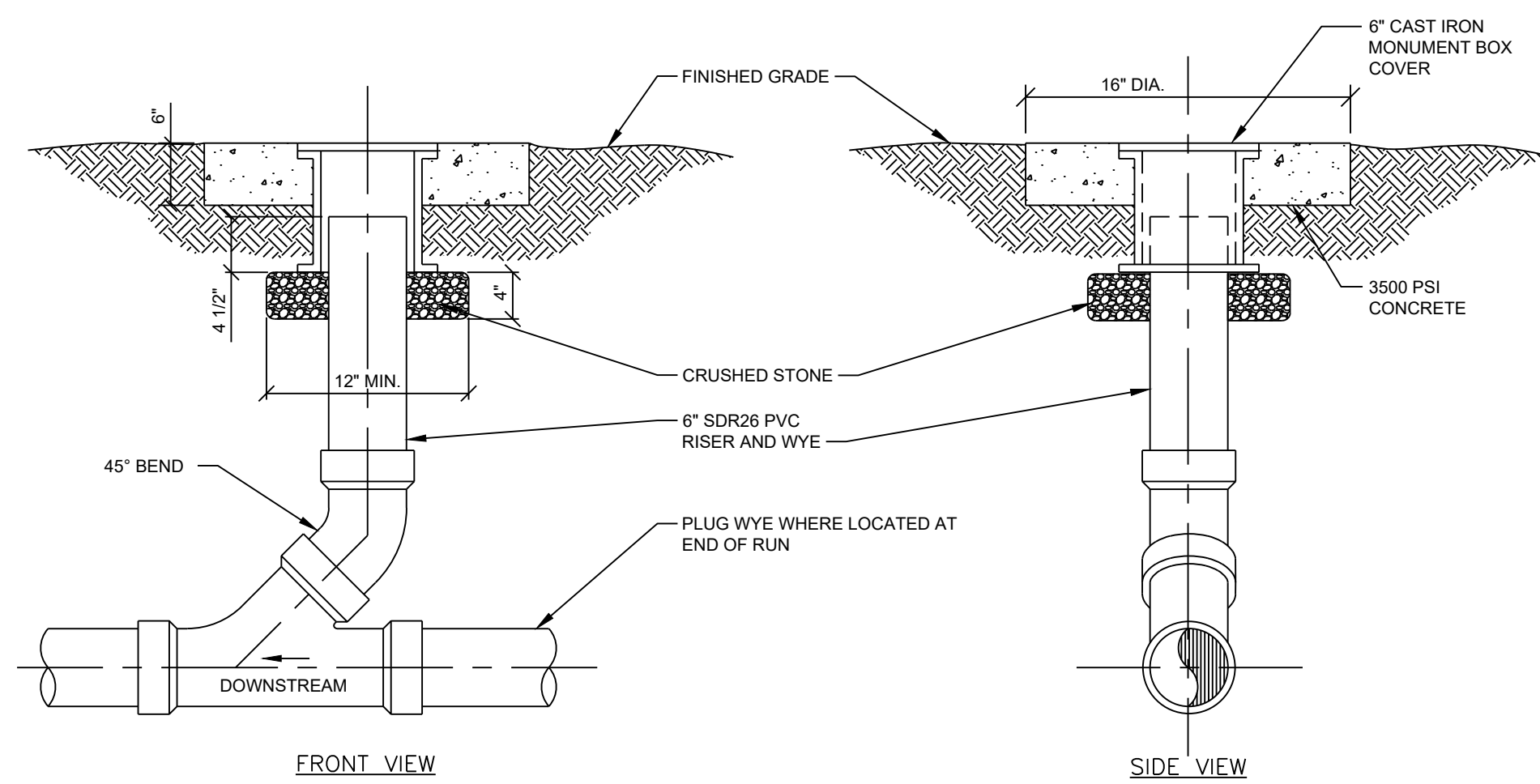
9 LANDSCAPE SCREEN WALL  
NO SCALE



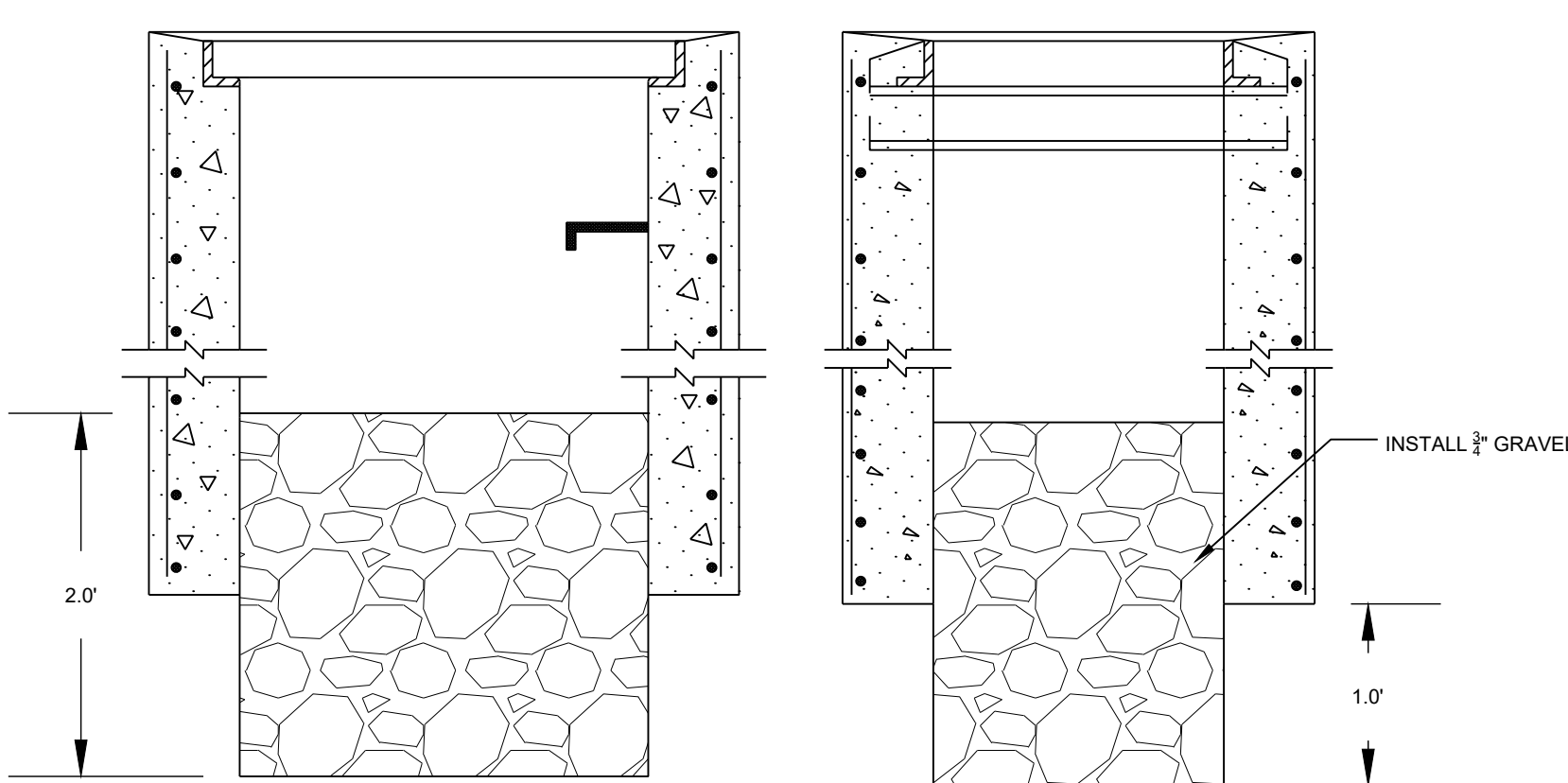
10 SIDEWALK CULVERT DETAIL  
NO SCALE



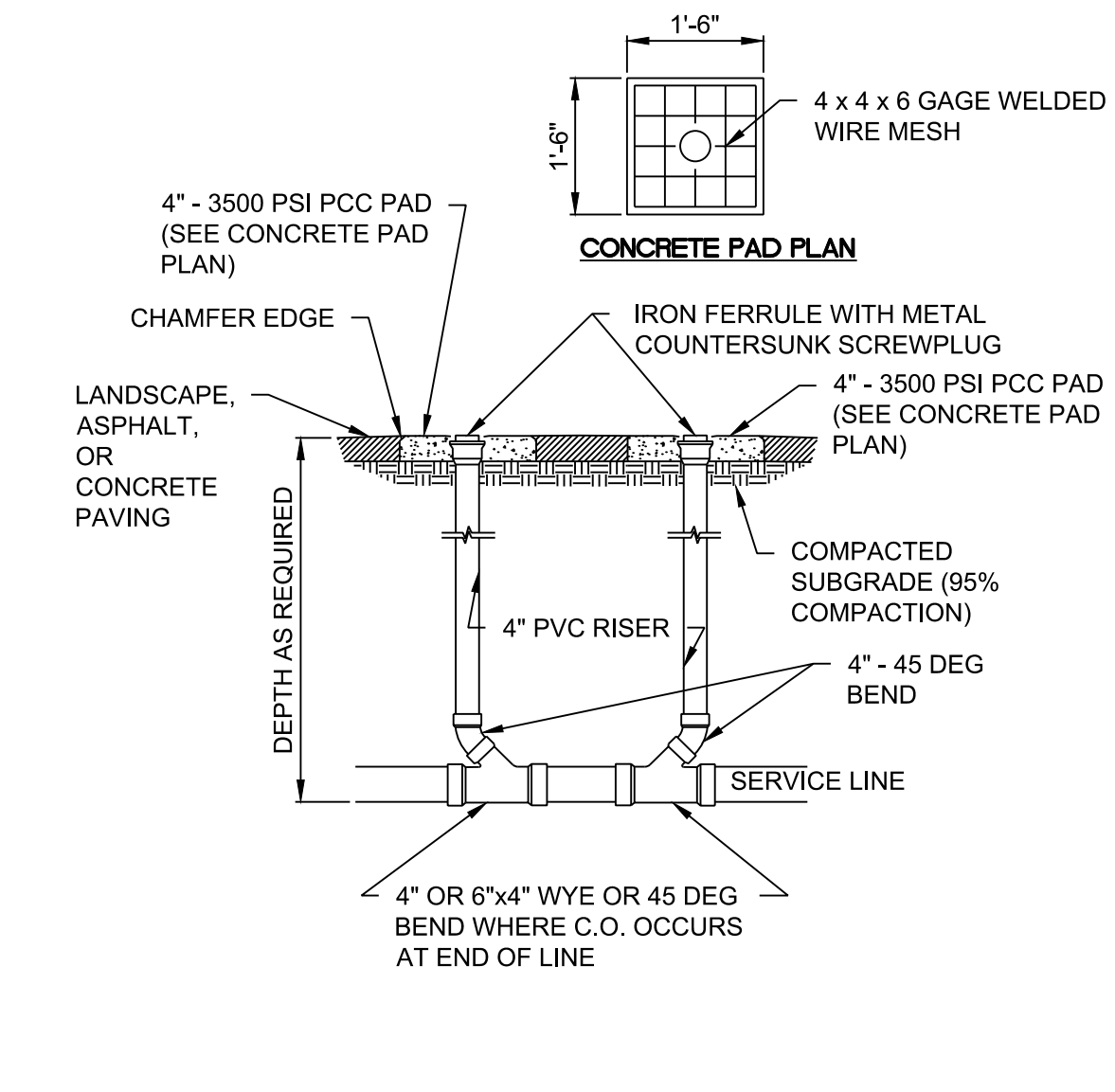
11 STANDARD STRAIGHT CURB  
NO SCALE



12 SEWER CLEANOUT DETAIL  
NO SCALE

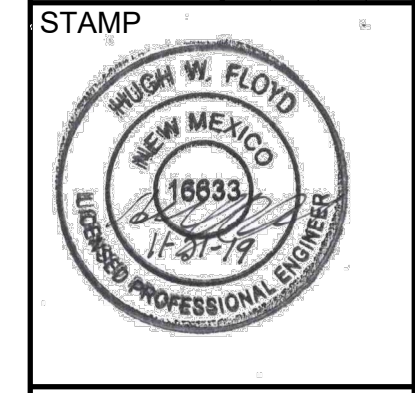


13 MODIFIED TYPE D INLET DETAIL  
NO SCALE



14 DOUBLE CLEANOUT  
NO SCALE

DESIGNED BY	AL
DRAWN BY	MF
CHECKED BY	JS
DATE	12.13.2019



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED



PROJECT NAME:  
US EAGLE FCU JUAN TABO

SHEET TITLE:  
DETAILS

SUBMITTED FOR:  
BUILDING PERMIT

SHEET NUMBER:  
C-500

NAME: G:\Shared drives\MM\Projects\03878 US Eagle FCU\3\_DWG\Sheets\03878-Details.dwg PLOT DATE: Dec 13, 2019 2:55pm