

MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

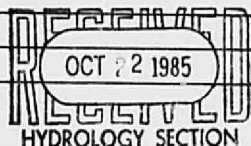
DRAINAGE FILE/ZONE ATLAS PAGE NO.: H-21 DATE: 9-4-85  
PLANNING DIVISION NOS: EPC: \_\_\_\_\_ DRB: \_\_\_\_\_  
SUBJECT: Restroom  
STREET ADDRESS (IF KNOWN): Lot 145 block 95-A  
SUBDIVISION NAME: Snow Hts. subd.

APPROVAL REQUESTED:

<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> SITE DEVELOPMENT PLAN	<input checked="" type="checkbox"/> BUILDING PERMIT
<input type="checkbox"/> OTHER	<input type="checkbox"/> ROUGH GRADING

WHO  
ATTENDANCE: Shirley Dell  
Carla A. Monty

REPRESENTING



FINDINGS:

- ① Drainage Plans per DPM
- ② Free discharge to Trench Tube acceptable  
engineer must address - in fill site -  
bottom of water seal - minimum impact - channel down
- ③ Free discharge to alley appropriate but  
must address following:
  - Ⓐ need city approved alley grade
  - Ⓑ impact to adjoining properties in alley
  - Ⓒ erosion impact

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Carla A. Monty</u>	SIGNED: <u>Shirley Dell</u>
TITLE: _____	TITLE: _____
DATE: <u>9-4-85</u>	DATE: <u>4 Sept 1985</u>

\*\*NOTE\*\* PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL

# RAINAGE INFORMATION SHEET

PROJECT TITLE: Pereas Restaurant ZONE ATLAS/DRNG. FILE #: H-21/1030  
 LEGAL DESCRIPTION: Lot 14E Block 95-A Snow Heights Addn. Albuq. nm  
 CITY ADDRESS: 1935 Juan Tabo NE  
 ENGINEERING FIRM: Resource Technology Inc. CONTACT: Elvidio Diniz  
 ADDRESS: 2620 San Mateo NE Site B PHONE: 884-0020  
 OWNER: Randy Perea CONTACT: -  
 ADDRESS: - PHONE: -  
 ARCHITECT: Del Paul Jank CONTACT: -  
 ADDRESS: 400 San Felipe NW PHONE: 242-4591  
 SURVEYOR: Resource Technology Inc. CONTACT: -  
 ADDRESS: Same as above PHONE: -  
 CONTRACTOR: not available CONTACT: -  
 ADDRESS: - PHONE: -

## PRE-DESIGN MEETING:

☒ YES  
☐ NO

☒ COPY OF CONFERENCE RECORD SHEET PROVIDED



DRB NO. \_\_\_\_\_  
 SPC NO. \_\_\_\_\_  
 PROJ. NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE DEVELOPMENT PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ ROUGH GRADING PERMIT APPROVAL  
☐ GRADING/PAVING PERMIT APPROVAL  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: 18 October 1985  
 BY: Elvidio Diniz



X.C.

## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION  
123 Central NW, Albuquerque, NM 87102  
(505) 766-7644  
November 14, 1985

Elvidio Diniz, P.E.  
Resource Technology, Inc.  
2620 San Mateo Blvd., NE Suite B  
Albuquerque, New Mexico 87110

RE: DRAINAGE & GRADING PLAN FOR PEREA'S RESTAURANT  
SUBMITTED OCTOBER 22, 1985 FOR BUILDING PERMIT APPROVAL  
(H-21/D30)

Dear Elvidio:

I have reviewed the referenced submittal and have the following comments to be addressed before approval of building permit:

1. The alley must be improved to have capacity for total developed flows entering it, before your site can be allowed to discharge into it. If it is not paved, hydraulic calculations must show that it is stable at the 100 year peak runoff rate and has capacity without affecting the adjacent properties. These items were identified in the pre-design conference.
2. If ponding is provided, it must have a drainage outlet with an invert at pond bottom to drain the pond within 24 hours, in addition to the outlet weir.

If you have any questions or comments regarding this project, please call me at 766-7644.

Cordially,

*Roger A. Green, P.E.*

Roger A. Green, P.E.  
C.E./Design Hydrology

cc: Randy Perea

RAG/bsj

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

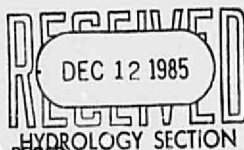
## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Pereas Restaurant ZONE ATLAS/DRNG. FILE #: H-21  
 LEGAL DESCRIPTION: Lot 14E Block 95-A San Heights Addn. Albany, NM  
 CITY ADDRESS: 1935 Juan Tabo NE  
 ENGINEERING FIRM: Resource Technology Inc. CONTACT: Elvadio Diniz  
 ADDRESS: 2620 San Mateo NE S. to B PHONE: 884-0020  
 OWNER: Randy Perea CONTACT: -  
 ADDRESS: - PHONE: -  
 ARCHITECT: Del Paul Jack CONTACT: -  
 ADDRESS: 400 San Felipe NW PHONE: 242-4591  
 SURVEYOR: Resource Technology Inc. CONTACT: -  
 ADDRESS: same as above PHONE: -  
 CONTRACTOR: not available CONTACT: -  
 ADDRESS: - PHONE: -

## PRE-DESIGN MEETING:

☒ YES  
☒ NO

☒ COPY OF CONFERENCE RECORD SHEET PROVIDED



DRB NO. \_\_\_\_\_  
 EPC NO. \_\_\_\_\_  
 PROJ. NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
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☐ ENGINEER'S CERTIFICATION

☒ LETTER

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
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☐ ROUGH GRADING PERMIT APPROVAL  
☐ GRADING/PAVING PERMIT APPROVAL  
☐ OTHER \_\_\_\_\_ (SPECIFY)

12 Dec. 1985

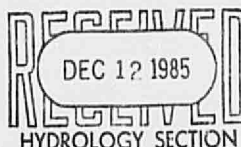
DATE SUBMITTED: 12 Dec. 1985

BY: Elvadio Diniz

RESOURCE TECHNOLOGY, INCORPORATED

December 11, 1985

Mr. Roger Green  
Design Hydrology Section  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87102



7000 MARBLE AVENUE, SUITE 6  
ALBUQUERQUE, NEW MEXICO 87110  
(505) 266-3320  
2620 SAN MATEO NE, SUITE B  
ALBUQUERQUE, NM 87110  
(505) 884-0059

H211030

RE: DRAINAGE & GRADING PLAN FOR PEREA'S RESTAURANT

Dear Roger:

With reference to your letter dated November 14, 1985, we respond to your comments as follows:

Ponding is NOT to be considered for drainage approval; however, minor ponding is provided as a courtesy to the neighbors who use the alley. This pond would reduce the frequency of runoff events into the unpaved alley.

For design purposes, no ponding is assumed. The 100-year uncontrolled runoff will be conveyed to the alley in a rip-rap lined rundown. All of the tracts between the alley and Juan Tabo Blvd. NE have commercial developments and all drain to the alley. The most recent development still has construction debris in the alley. Therefore it would be inappropriate to require this one development to provide ponding of stormwater.

Hydraulic computations for this unpaved alley are as follows:

Alley grades for this alley were developed by the City of Albuquerque (copy attached). As shown on the drainage plan the 100-year peak runoff of 10.3 cfs in the alley for developed conditions will be increased approximately 20 percent by this development to 12.4 cfs.

Existing slope =  $(97.74 - 97.11)/200 = 0.003 \%$

For unpaved alley  $n = 0.020$ ,  $d = 6"$ ,  $V = 2.1$  fps

For paved alley  $n = 0.013$ ,  $d = 5"$ ,  $V = 2.7$  fps

These velocities are not conducive to erosion and the alley is bordered by block walls on the west side and a 4- to 6-foot high slope on the east. Also all other tracts on the east side of this alley drain to the alley without ponding. Therefore, the alley will remain stable and adjacent properties will not be adversely affected.

I hope that this response is satisfactory; if you have any further comments, please let me know.

Very truly yours,

Elvidio V. Diniz, P.E.  
Principal Engineer

EVD/ec





## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION  
123 Central NW, Albuquerque, NM 87102  
(505) 766-7644

December 27, 1985

Elvidio Diniz, P.E.  
Resource Technology, Inc.  
2620 San Mateo Blvd., NE Suite B  
Albuquerque, New Mexico 87110

RE: DRAINAGE & GRADING PLAN FOR PEREA'S RESTAURANT  
SUBMITTED DECEMBER 12, 1985 FOR BUILDING PERMIT APPROVAL  
(H-E1/D30)

Dear Elvidio:

The referenced submittal is approved for Building Permit. The requirement for the small retention pond to have a positive outlet is waived, since it's capacity is negligible (less than 500 cu. ft.) at the proposed weir elevation.

If you have any questions, call me at 766-7644.

Cordially,

*Roger A. Green, P.E.*

Roger A. Green, P.E.  
C.E./Design Hydrology

cc: Randy Perea

RAG/bsj

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

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## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION  
123 Central NW, Albuquerque, NM 87102  
(505) 766-7644

June 20, 1986

Elvidio Diniz, P.E.  
Resource Technology, Inc.  
2620 San Mateo Blvd., NE Suite B  
Albuquerque, New Mexico 87110

RE: DRAINAGE & GRADING PLAN OF PEREA'S RESTAURANT  
1935 JUAN TABO BLVD., NE (H-21/D30)

Dear Elvidio:

It has been brought to my attention by our Drainage Inspector and Street Maintenance Engineer that discharge from Perea's Restaurant can affect off-site private property opposite the public alley. Your Drainage and Grading Plan dated October 18, 1985, was approved by this office on December 27, 1985. This plan showed an existing concrete block wall along the entire west side of the alley. A field inspection revealed that this is not the case. There are two wooden gates along the west side of alley, to access private lots. One of these gates is directly opposite of the rip rap rundown from Perea's Restaurant, with an existing ground elevation at or below that of the east edge of alley. This Grading and Drainage Plan would not have been approved if the actual site conditions had been known, without alley and slope improvements being required to protect adjacent private property along the alley.

Even though the alley was recently graded by the City to contain all runoff along the east side of the alley, this will not be adequate since the unprotected slope between the restaurant's parking lot and alley will erode and fill in any alley grading with sediment. Therefore, the alley will need constant maintenance to protect private lots along the west side of alley.

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

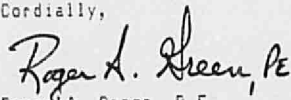
AN EQUAL OPPORTUNITY EMPLOYER

Elvidio Diniz, P.E.  
June 20, 1986  
Page 2 of 2

I feel that the owner has a responsibility to make improvements to the unprotected slope and alley to protect private property opposite of the restaurant property. I also feel that since the Building Permit and Certificate of Occupancy were approved by this office under misrepresentation with your Drainage and Grading Plan, you have some obligation to ensure that this drainage problem is remedied.

If you have any questions, call me at 766-7644.

Cordially,



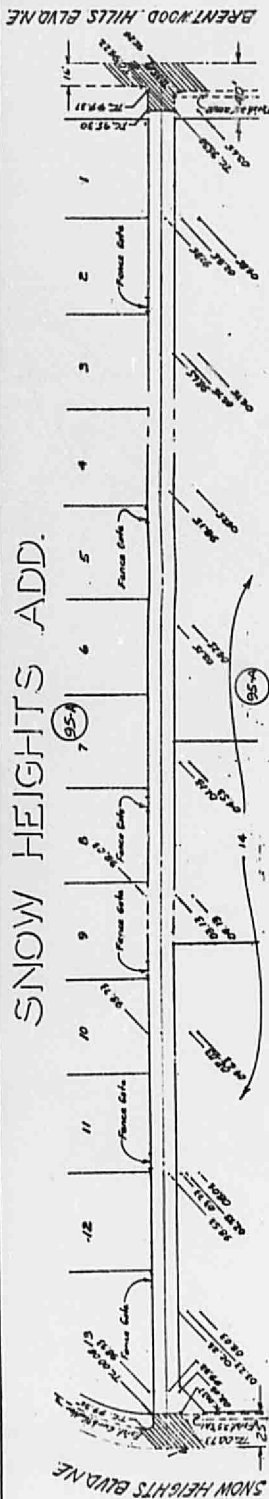
Roger A. Green, P.E.  
C.E./Hydrology Section

cc: Sergio Miranda, Street Maintenance  
Randy Perea, Owner

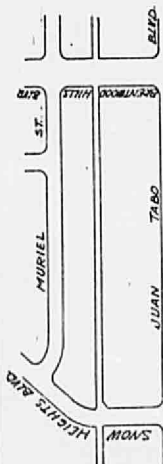
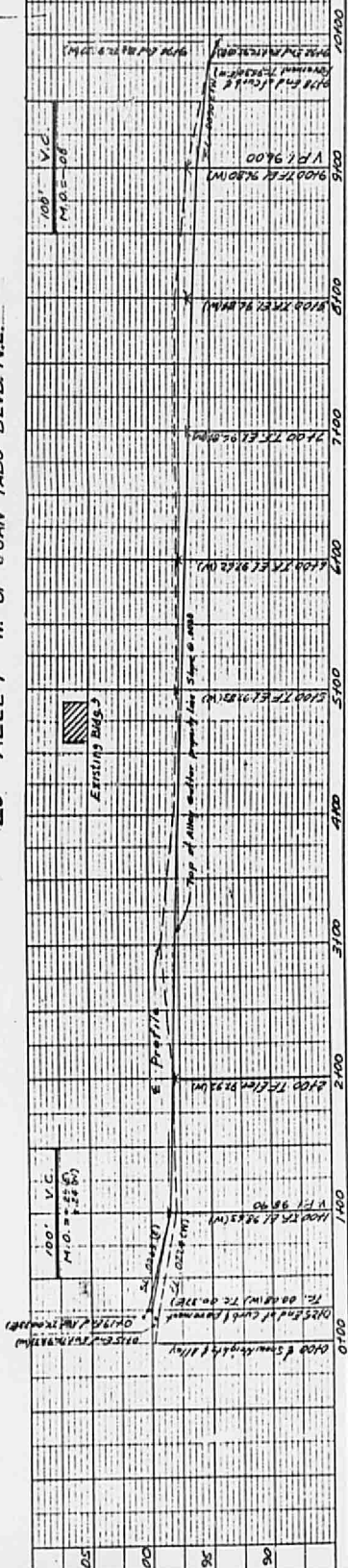
RAG/bsj



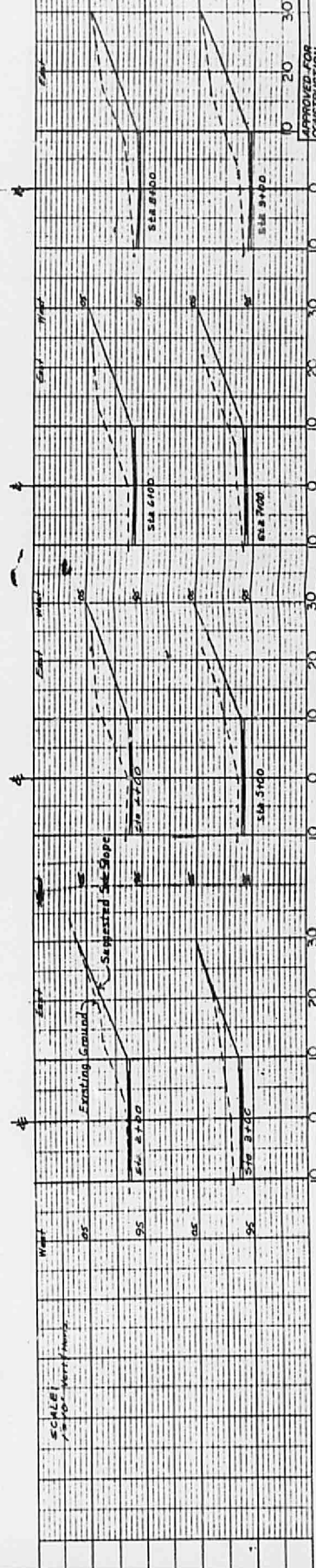
# SNOW HEIGHTS ADD.



20' ALLEY W. OF JUAN TABO BLVD. N.E.



LOCATION MAP



RECEIVED  
OCT 22 1985  
HYDROLOGY SECTION  
Dec 12 1985

04.000.000

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION	
TITLE: ALLEY GRAD ON ALLEY BETWEEN SNOW HEIGHTS BLVD N.E. AND BRENTWOOD HILLS BLVD N.E. WEST OF JUAN TABO BLVD N.E.	ENGINEER: [Signature] DATE: [Date]
APPROVALS: [Signature] CITY ENGINEER: [Signature] ALC: [Signature] DATE: [Date]	ENGINEER: [Signature] DATE: [Date]
DRAWING NO. SG-3-77 SHEET 1 OF 1	

B15-192

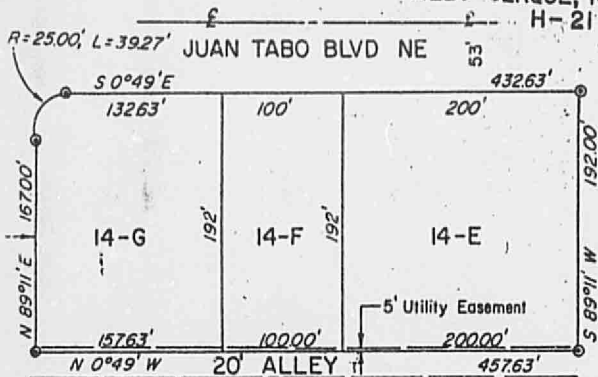
REPLAT OF THE NORTH 457.63' OF LOT 14, BLOCK 95-A

SP-79-4

SNOW HEIGHTS  
ALBUQUERQUE, NEW MEXICO

H-21

79 7534

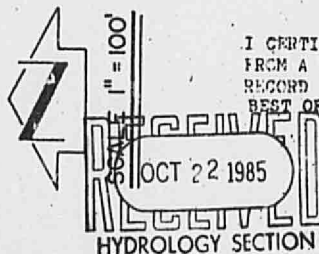
State of New Mexico  
County of Bernalillo

This instrument was filed for record on

2/18 JAN 30 1979

at 1:00 P.M. recorded in Vol. B15

of records of said County Folio 192

Ray E. Culp Clerk & Recorder  
Deputy ClerkI CERTIFY THAT THIS PLAT WAS PREPARED  
FROM A FIELD SURVEY SHOWS EASEMENTS OF  
RECORD AND IS TRUE AND CORRECT TO THE  
BEST OF MY KNOWLEDGE AND BELIEF.Ray L. Harrison  
RAY L. HARRISON  
F. E. & L. S. 2198  
STATE OF NEW MEXICO

THE REPLAT OF THE TRACT OF LAND SHOWN HEREON AND DESCRIBED AS FOLLOWS:

THE NORTH 457.63' FEET OF LOT 14, BLOCK 95-A, SNOW HEIGHTS, A  
SUBDIVISION OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.THE SAME AS SHOWN ON THE PLAT FILED IN THE BERNALILLO COUNTY  
CLERK'S OFFICE ON THE 26th OF AUGUST, 1958.IS WITH FREE CONSENT AND ACCORDING TO THE DESIRES OF THE UNDERSIGNED  
OWNERS AND PROPRIETORS THEREOF AND SAID OWNERS AND PROPRIETORS DO  
GRANT EASEMENTS AS SHOWN.

Florence M. Harrison

STATE OF NEW MEXICO } SS  
COUNTY OF BERNALILLOTHE FOREGOING INSTRUMENT WAS ACKNOWLEDGED  
BEFORE ME ON THIS 24th DAY OF January, 1979My commission  
expires:

8-21-79

Ray E. Culp  
NOTARY PUBLIC

TALOS NO. SP-79535

APPROVAL AND CONDITIONAL ACCEPTANCE  
as specified by subsection 22.420  
of the Albuquerque Subdivision OrdinancePatricia Knepper by B  
PLANNING DIRECTOR, CITY OF ALBUQUERQUE.

DATE 30-JAN-79 MAP NO. H-21

SUBDIVISION NO. SP-79-47

CITY COUNTY

APPROVED

O. Valverde 1-30-79  
CITY OF ALBUQUERQUE PROPERTY MANAGEMENT

B15-192