

PHOENIX AVENUE N.E.

TABLE A-1. PEAK INTENSITY (INCHES PER HOUR) - 100-YR.

Time	Intensity
1	1.20
2	1.00
3	0.80
4	0.60

TABLE A-2. PEAK DISCHARGE (CFS) - 100-YR.

Time	Discharge
1	1.20
2	1.00
3	0.80
4	0.60

TABLE A-3. PRECIPITATION ZONES

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and San Juan
4	East of San Juan, North of Interstate 40 and South of Interstate 25

TABLE A-4. LAND TREATMENTS

Treatment	Land Use
A	Not accompanied by human activity. 10 percent slope. Impervious, gravel, and gravel in typical condition with minimal disturbance to grading, groundwater and vegetation capacity. Complete. Limited access.
B	Not accompanied by human activity. 10 percent slope. Impervious, gravel, and gravel in typical condition with minimal disturbance to grading, groundwater and vegetation capacity. Complete. Limited access.
C	Not accompanied by human activity. 10 percent slope. Impervious, gravel, and gravel in typical condition with minimal disturbance to grading, groundwater and vegetation capacity. Complete. Limited access.
D	Not accompanied by human activity. 10 percent slope. Impervious, gravel, and gravel in typical condition with minimal disturbance to grading, groundwater and vegetation capacity. Complete. Limited access.

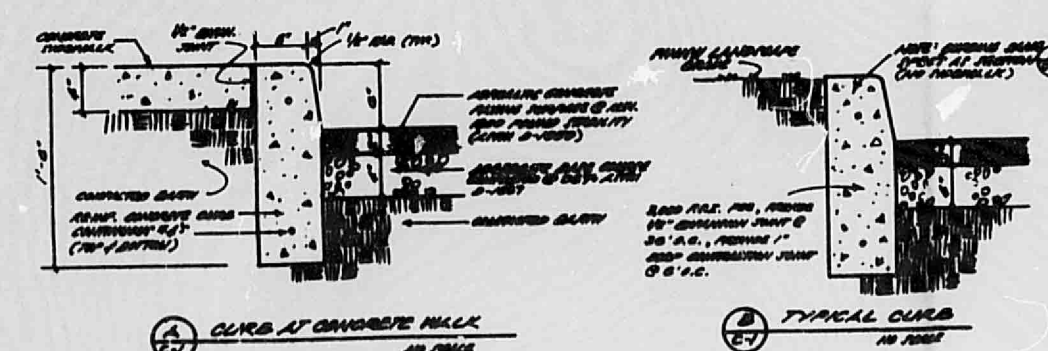
**EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION. HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DICES, SHALES, FORDS, AND OTHER TEMPORARY CLOSING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN BROOD FROM THE SITE AND DEPOSITED THERE.

**CONSTRUCTION NOTES:**

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 200-4000 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

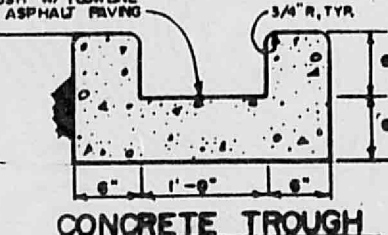


**NOTES TO CONTRACTOR:**

- 1.) AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR INDICATED, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1995.
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (200-4000) FOR LOCATION OF EXISTING UTILITIES.
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SUPERVISOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5.) BACKFILL CONSTRUCTION SHALL BE ACCORDING TO STANDARD STREET USE.
- 6.) MAINTENANCE OF TREE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
DESIGN		
INSPECTOR		
OWNER/FIELD		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.



- LEGEND:**
- EXISTING CHAIN LINE FENCE
  - EXISTING SPOT ELEVATION
  - EXISTING CONTOUR
  - PROPOSED SPOT ELEVATION
  - PROPOSED CONTOUR
  - PROPOSED FINISHED FLOOR ELEVATION

**ENGINEER'S CERTIFICATION:**

I, LEVI J. VALDES, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 5693, LICENSED AND REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT AN ACTUAL ON THE GROUND FIELD SURVEY OF THE GRADES OF THE NEW IMPROVEMENTS SHOWN HEREON VERIFY THAT SAID IMPROVEMENTS WERE CONSTRUCTED IN "SUBSTANTIAL COMPLIANCE" WITH THE APPROVED DRAINAGE PLAN FOR SAID SITE.



**ENGINEER'S CERTIFICATION - A PREPARED DRAINAGE PLAN FOR**

ACADEMY MONTESSORI PRE-SCHOOL  
LOT 11, BLOCK 87, NEW HEIGHTS SUBDIVISION  
ALBUQUERQUE, NEW MEXICO  
JUNE, 1997  
(REVISED, 1997)

**DRAINAGE COMMENTS AND CALCULATIONS:**

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF JUAN TABO BLVD. N.E. AND PHOENIX AVENUE N.E., IN THE CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (RE: F.S.M.A. PANEL 357 OF 825), 2.) IS PRESENTLY A VACANT PROPERTY THAT IS TO HAVE A COMMERCIAL BUILDING AND ASSOCIATED IMPROVEMENTS CONSTRUCTED ON SITE, 3.) LIES NORTH OF AND ADJACENT TO THE PIEDRA LISA CHANNEL, 4.) DOES NOT ADJACENT OPPOSITE FLOWS FROM ADJACENT PROPERTIES, 5.) PRESENTLY CONTAINS ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES LING TO THE WEST OF THIS SUBJECT PROPERTY (ALSO BEING OWNED BY THE OWNER OF THIS SUBJECT PROPERTY); SAID FLOWS WILL BE HYDROLOGED BY THIS DEVELOPMENT.

**CALCULATIONS:**

PER SECTION 22.2, THE CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO, DATED JANUARY, 1993.

SITE AREA: 0.23 ACRE  
PRECIPITATION ZONE: FOUR (4), TABLE A-1  
PEAK INTENSITY: IN./HR. AT T<sub>c</sub> = TWELVE (12) MINUTES, 100-YR. = 5.61  
LAND TREATMENT METHOD FOR CALCULATION OF "Q<sub>p</sub>", TABLES A-8 & A-9  
"LAND TREATMENT FACTORS", TABLE A-4

**EXISTING CONDITIONS:**

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.23	X 3.73	= 0.86

**PROPOSED DEVELOPED CONDITIONS:**

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.11	X 3.73	= 0.41
D	0.12	X 5.25	= 0.63

"Q<sub>p</sub>" = 1.04 CFS  
\*\*\* INCREASE = 0.18 CFS

- GENERAL NOTES:**
- 1.) REFER TO "ARCHITECTURAL SITE PLAN" FOR FIELD LAYOUT DIMENSIONS OF THE PROPOSED IMPROVEMENTS.
  - 2.) TOPOGRAPHY SURVEY PERFORMED BY TORRES SURVEYING COMPANY, ALBUQUERQUE, NEW MEXICO.
  - 3.) NO PROPERTY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY.
  - 4.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT PROPERTY.

**LEGAL DESCRIPTION:**

LOT ELEVEN (11), IN BLOCK EIGHTY-SEVEN (87), SHOW HEIGHTS ADDITION, ALBUQUERQUE, NEW MEXICO, (TOGETHER WITH A VACATED PORTION OF JUAN TABO BLVD. N.E.).

**BENCH MARK REFERENCE:**

ACS STATION "10-N-21", N.S.L.D. ELEVATION = 5611.10, (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).

**NOTE:** CONTRACTOR IS TO PROVIDE POSITIVE GRADE SLOPE AWAY FROM THE PROPOSED BUILDING STRUCTURE, AND IS ALSO TO PROVIDE FOR REQUIRED BATHS FILL MATERIAL FOR THE PROPOSED STRUCTURE ACCORDING TO ARCHITECTS' OR STRUCTURAL ENGINEERS SPECIFICATIONS.

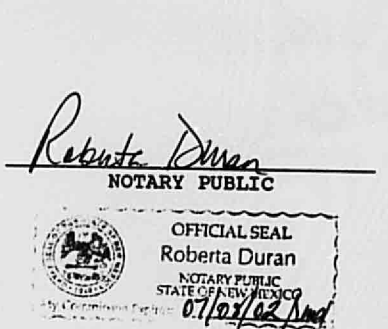
RE 26 DATE 2/2/02 BY LSP

CITY OF ALBUQUERQUE

This microimage is certified to be a complete and accurate copy of the original as it appears in the files of the Public Works Department and was created in the normal course of business.

The photographic process used meets the Basic Microfilm Standards of the National Micrographics Association (ANSI Z39.18-1977)

Roberto Duran  
NOTARY PUBLIC



CITY OF ALBUQUERQUE

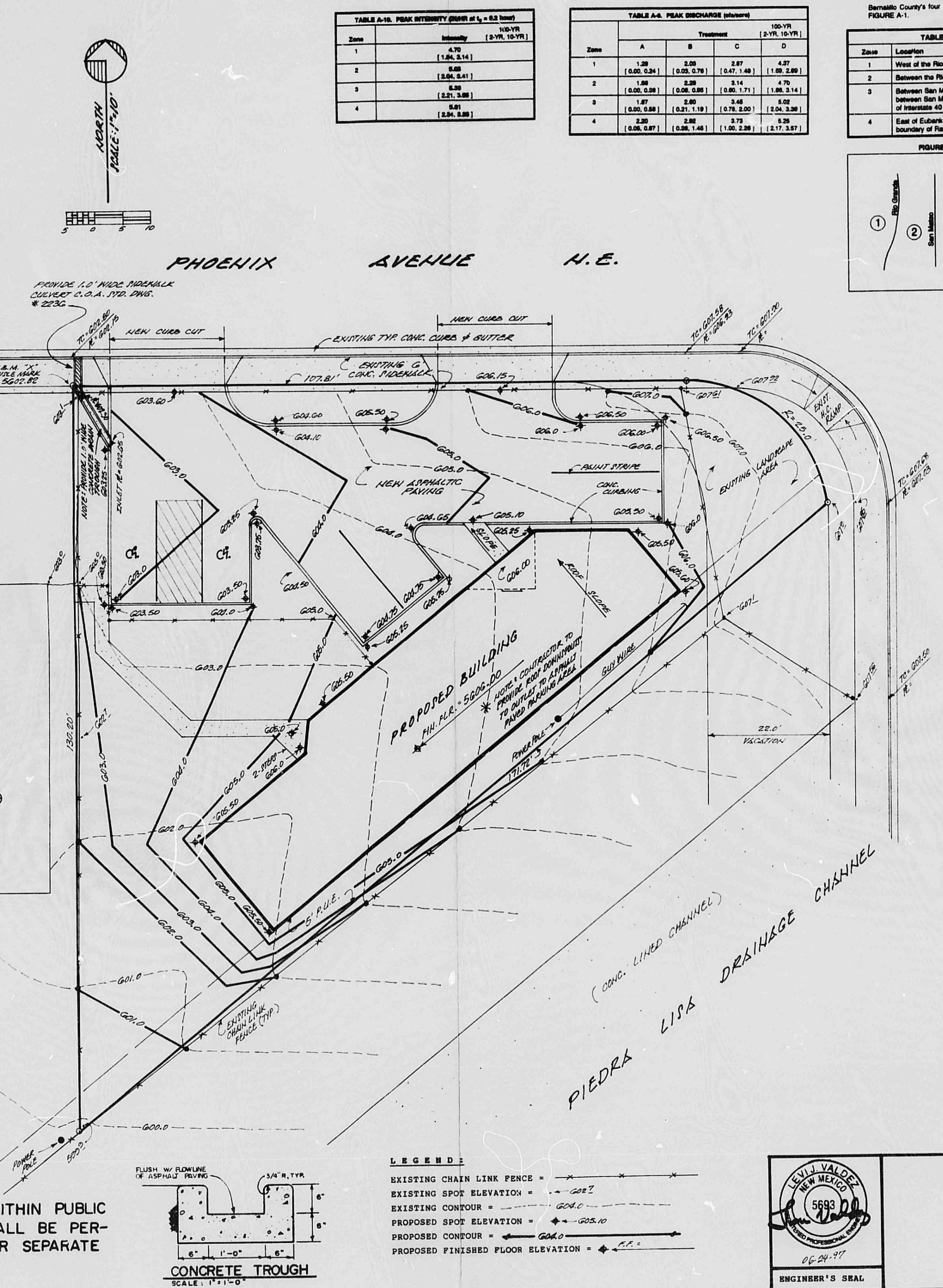
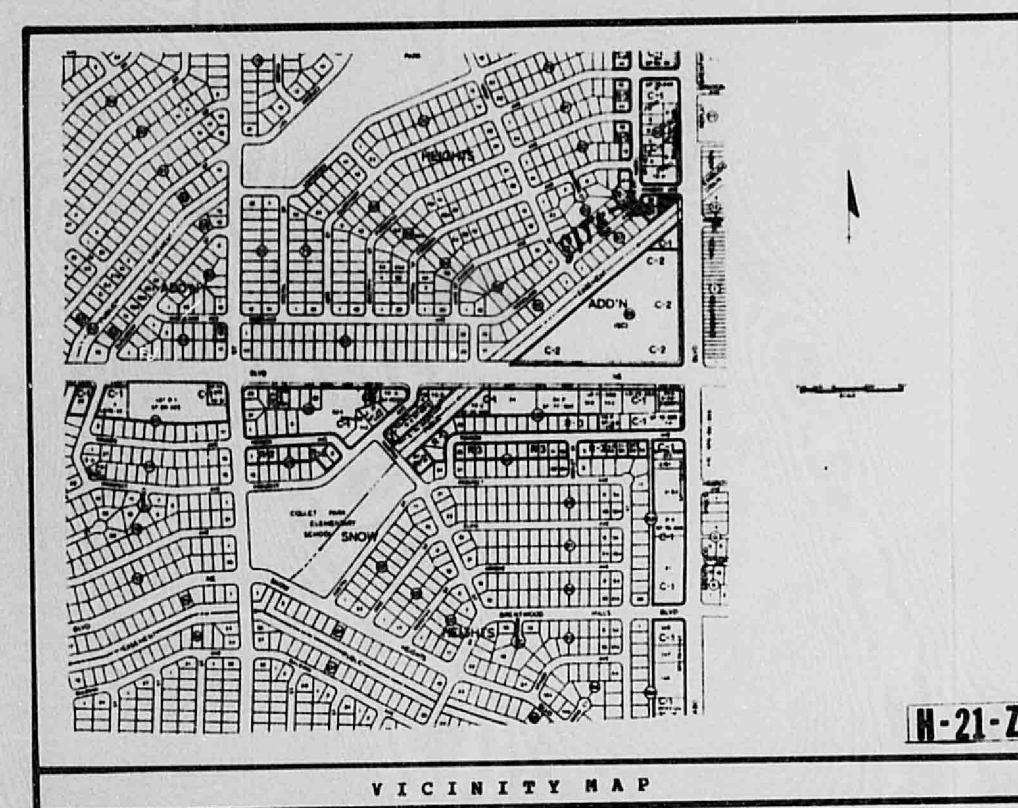
THIS MICROIMAGE IS THE BEST POSSIBLE REPRODUCTION DUE TO THE POOR QUALITY OF THE ORIGINAL DOCUMENT.

PLANS/PLATS ON FILE

FILE DESC: H21/D44

# PLANS/PLATS 2





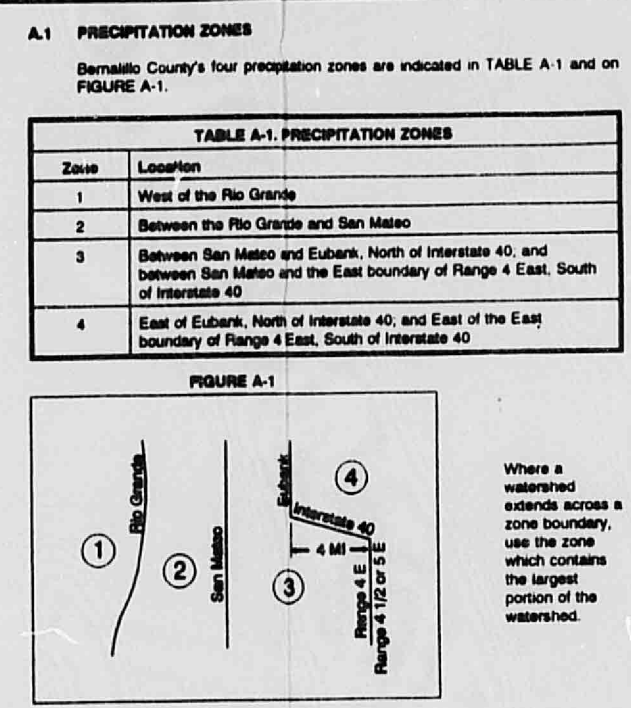
**TABLE A-1. PEAK INTENSITY (IN/Hr.)**

Zone	Intensity	10-Yr. (2-yr. 10-Yr.)
1	4.15	(2.08, 8.14)
2	5.00	(2.50, 10.00)
3	5.20	(2.60, 10.40)
4	5.40	(2.70, 10.80)

**TABLE A-2. PEAK DISCHARGE (CFS)**

Zone	Discharge	10-Yr. (2-yr. 10-Yr.)
1	1.00	(0.50, 2.00)
2	1.20	(0.60, 2.40)
3	1.30	(0.65, 2.60)
4	1.40	(0.70, 2.80)



**TABLE A-1. PRECIPITATION ZONES**

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and the Rio Pecos
3	Between the Rio Pecos and the Rio Grande
4	East of the Rio Grande

**TABLE A-4. LAND TREATMENTS**

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Heavy grasses, weeds and shrubs in typical densest with minimal disturbance to grasses, grasses and vegetation capacity. Unfertilized.
B	Original native area and soil courses with 0 to 10 percent slopes. Heavy grasses, weeds and shrubs, and not uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unfertilized. Heavy grasses, weeds and shrubs in typical densest with minimal disturbance to grasses, grasses and vegetation capacity. Unfertilized.
D	Impervious areas, pavement and roofs.

**DRAINAGE COMMENTS AND CALCULATIONS:**

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF JULY TABOR BLVD. N.E. AND PHOENIX AVENUE N.E., IN THE CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1.1 IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL 157 OF 825), 2.1 IS PRESENTLY A VACANT PROPERTY THAT IS TO HAVE A COMMERCIAL BUILDING AND ASSOCIATED IMPROVEMENTS CONSTRUCTED ON SITE. 3.1 LESS NORTH OF AND ADJACENT TO THE PIEDRA CREEK CHANNEL, 4.1 DOES NOT ACCEPT OFFSITE PLUMS FROM ADJACENT PROPERTIES. 5.1 PRESENTLY CONTRIBUTES TO THE OFFSITE PLUMS OF THE PROPERTY LYING TO THE WEST OF THIS SUBJECT PROPERTY (ALSO BEING OWNED BY THE OWNER OF THIS SUBJECT PROPERTY), SAID PLUMS WILL BE MINIMIZED BY THIS DEVELOPMENT.

**CALCULATIONS:**

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO, DATED JANUARY, 1993.

SITE AREA: 0.23 ACRE

PRECIPITATION ZONE: FOUR (4), TABLE A-1

PEAK INTENSITY: IN/HR. AT  $T_c$  = TWELVE (12) MINUTES, 100-YR. = 5.61

LAND TREATMENT METHOD FOR CALCULATION OF "Q", TABLES A-8 & A-9

"LAND TREATMENT FACTORS", TABLE A-4

**EXISTING CONDITIONS:**

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.23	X 3.73	= 0.86

"Q" = 0.86 CFS

**PROPOSED DEVELOPED CONDITIONS:**

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.11	X 3.73	= 0.41
D	0.12	X 5.25	= 0.63

"Q" = 1.04 CFS

\*\*\* INCREASE = 0.18 CFS

**GENERAL NOTES:**

- 1.) REFER TO "ARCHITECTURAL SITE PLAN" FOR FIELD LAYOUT DIMENSIONS OF THE PROPOSED IMPROVEMENTS.
- 2.) TOPOGRAPHY SURVEY PERFORMED BY TORRES SURVEYING COMPANY, ALBUQUERQUE, NEW MEXICO.
- 3.) NO PROPERTY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY.
- 4.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT PROPERTY.

**LEGAL DESCRIPTION:**

LOT ELEVEN (11), IN BLOCK EIGHTY-SEVEN (87), SNOW HEIGHTS ADDITION, ALBUQUERQUE, NEW MEXICO, (TOGETHER WITH A VACATED PORTION OF JULY TABOR BLVD. N.E.).

**BENCH MARK REFERENCE:**

ACS STATION "10-H-22", M.S.L.D. ELEVATION = 5611.10, (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).

**NOTE:** CONTRACTOR IS TO PROVIDE POSITIVE GRADE SLOPE AWAY FROM THE PROPOSED BUILDING STRUCTURE, AND IS ALSO TO PROVIDE FOR REQUIRED EARTH FILL MATERIAL FOR THE PROPOSED STRUCTURE ACCORDING TO ARCHITECT'S OR STRUCTURAL ENGINEER'S SPECIFICATIONS.

**EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM, DITCH, SHALES, POND, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

**CONSTRUCTION NOTES:**

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 200-10000 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

**NOTICE TO CONTRACTOR:**

- 1.) AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE EXCAVATING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED EXCAVATION/CONSTRUCTION PERMIT MUST BE SUBMITTED AT THE OFFICE OF THE CITY ENGINEER PRIOR TO THE START OF ANY EXCAVATION/CONSTRUCTION.
- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1993.
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE: (200-10000) FOR LOCATION OF EXISTING UTILITIES.
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5.) BACKFILL CONSTRUCTION SHALL BE ACCORDING TO ADDITIONAL STREET USE.
- 6.) MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

**APPROVALS:**

NAME	DATE
A.C.E./DESIGN	6/1/97
INSPECTOR	
APPROVED/FIELD	

**NOTE:** ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

CITY OF ALBUQUERQUE

THIS MICROIMAGE IS THE BEST POSSIBLE REPRODUCTION OF THE ORIGINAL DOCUMENT.

DATE: 6/1/97

CITY OF ALBUQUERQUE

This microimage is certified to be a complete and accurate copy of the original as it appears in the files of the Public Works Department and was created in the normal course of business.

The photographic process used meets the Basic Microfilm Standards of the National Microfilm Association (ANSI Z39.18-1977)

Roberto Duran

NOTARY PUBLIC

OFFICIAL SEAL

Roberto Duran

NOTARY PUBLIC

6/1/97



**A PROPOSED DRAINAGE PLAN FOR**

**ACADEMY MONTENERRI PRE-SCHOOL**

**LOT 11, BLOCK 87, SNOW HEIGHTS SUBDIVISION**

**ALBUQUERQUE, NEW MEXICO**

**JUNE, 1997**