

VICINITY MAP (ZONE ATLAS MAP H-21-Z)
N.T.S.

CODE ANALYSIS:

- OCCUPANCY GROUP(S): A-2 (BAR-7 NET) & B (BARBER / BEAUTY SHOP-150 SF GROSS)
- OCCUPANT LOAD: A-2 (199 SF/7=28) & B (483 SF/150=3) = 1,743 TOTAL / 150 = 31 TOTAL OCCUPANTS
- CONSTRUCTION TYPE: VB
- EXIT ACCESS TRAVEL DISTANCE: 200'-0" (NON-SPRINKLED)
- BLDG. AREA: EXISTING=1,162 S.F., ADDITION=581 S.F.; TOTAL=1,743 S.F.
- SPACES REQUIRING FIRE RESISTANCE RATED SEPARATION: NONE
- FIRE SPRINKLERS: NONE
- NUMBER OF EXITS: 1 REQUIRED, 2 PROVIDED
- ALLOWABLE BLDG. HEIGHT: 40'-0" (NON-SPRINKLED)
- OTHER EGRESS COMPONENTS: EGRESS WIDTH REQUIRED-31 OCC. X 0.2 = 6.2'; EGRESS WIDTH PROVIDED: 108"
- REQUIRED PLUMBING FIXTURES: W.C. LAV. SERVICE SINK REQUIRED & PROVIDED FOR 1 1 1
MEN & WOMEN:

SHEET INDEX:

- AS-1.0 SITE PLAN, LEGAL DESCRIPTION AND SHEET INDEX
- AS-1.1 SITE DETAILS
- F-1.0 FIRE SITE PLAN
- S-1.0 FOUNDATION PLAN & DETAILS
- S-2.0 FRAMING & ROOF PLANS & BUILDING SECTIONS
- A-0.1 DEMOLITION PLAN
- A-1.0 FLOOR & REFLECTED CEILING PLANS
- A-2.0 BUILDING & INTERIOR ELEVATIONS & DETAILS
- M-1.0 MECHANICAL PLAN
- P-1.0 PLUMBING PLANS (DOMESTIC WATER & SEWER)
- E-1.0 ELECTRICAL PLANS (POWER & LIGHTING)

LEGAL DESCRIPTION:

109TR A BLOCK 109, REDIVISION OF LOTS 15 & 16 & EAST 28.07 FT. OF LOT 17, BLOCK 109
ACRES: .44
UPC: 102105935325842209
ZONE: C-1 (COMMERCIAL)
ZONE DISTRICT: MX-L (LOW INTENSITY MIXED USE)
ADDRESS: 10710 MENAUL BLVD., NE
ALBUQUERQUE, NM 87112

APPLICABLE CODES:

- 2021 NEW MEXICO EXISTING BUILDING CODE
- 2020 NEW MEXICO ELECTRICAL CODE
- 2021 NEW MEXICO MECHANICAL CODE
- 2021 NEW MEXICO PLUMBING CODE
- 2021 NEW MEXICO ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL FIRE CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

SCOPE OF WORK:

CONVERTING A FORMER GAS STATION INTO A LOUNGE / SALON ESTABLISHMENT WITH A 581 S.F. ACCESSORY ADDITION AND CONVERTING THE EXISTING OVERHEAD CANOPY STRUCTURE INTO A OUTDOOR SEATING AREA AND A NEW TRASH ENCLOSURE.

PARKING REQUIREMENTS:

TOTAL BUILDING AREA = 1,743 S.F.
IDO TABLE 5-5-1= BAR
8 SPACE PER 1,000 S.F. = 14 PARKING SPACES REQUIRED
25 PARKING SPACES PROVIDED

ACCESSIBLE PARKING: 1-25 SPACES=1 ACCESSIBLE REQUIRED
1 ACCESSIBLE PROVIDED

IDO TABLE 5-5-4 MOTORCYCLES: = 1 SPACE REQUIRED
(1-25 REQUIRED PARKING SPACES) 2 SPACES PROVIDED

BICYCLE SPACES NON-RESIDENTIAL: = 1 SPACE REQUIRED
(1 BICYCLE SPACE PER EACH
20 PARKING SPACES) 3 SPACES PROVIDED

LANDSCAPE REQUIREMENTS:

GROSS LOT AREA 21,560 S.F.
BUILDING AREA: -4,155 S.F.
NET LOT AREA: 17,401 S.F.
REQUIRED LS: 17,401 SF. X 15% = 2,611 S.F.
PROVIDED LS ONSITE: = 3,247 S.F.

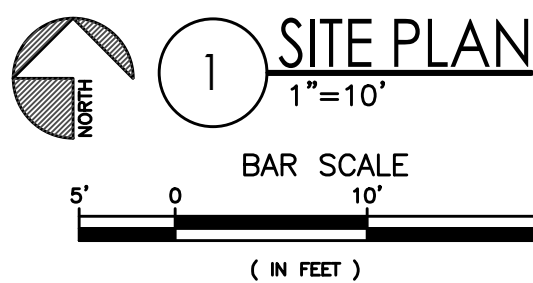
AREA SQUARE FOOTAGE

EXISTING BLDG. = 1,162 S.F.
NEW ADDITION = 581 S.F.
TOTAL = 1,743 S.F.

GENERAL CONTRACTOR TO
FIELD VERIFY ALL EXIST.
CONSTRUCTION AND
DIMENSIONS PRIOR TO
CONSTRUCTION

KEY NOTES

- ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE (66-1-4.1.B NMSA 1978).
- HANDICAP SYMBOL PER CABQ STANDARDS, SEE DETAIL 4/AS-1.1.
- PRECAST CONCRETE PARKING BUMPERS, SEE DETAIL 7/AS-1.1.
- 4" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER C.O.A. STANDARDS.
- EXISTING FIRE HYDRANT LOCATION.
- EXISTING LANDSCAPING AREA.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE, AT MOTORCYCLE PARKING, WHITE ON PAVEMENT PER CABQ STANDARDS. SEE DETAIL 9/AS-1.1.
- BIKE RACK FOR (3) BICYCLE, BIKE PARKING SPACES SHALL BE 6'-0" LONG X 2'-0" WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE IS REQUIRED. SEE DETAIL 6/AS-1.1.
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" TO 6'-0" HIGH A.F.F.
- EXISTING CONCRETE SIDEWALK, REPAIR AS NEEDED.
- NEW 4" THICK H.C. CONC. RAMP AT 1:12 SLOPE PER CABQ STANDARDS.
- EXISTING ASPHALT, NO WORK.
- NEW 6" HIGH RAISED CONCRETE CURB, SEE DETAIL 8/AS-1.1.
- REMOVE EXISTING RAISED CONCRETE CURB.
- REMOVE EXISTING REFUSE ENCLOSURE IN IT'S ENTIRETY.
- EXISTING METAL CANOPY COLUMN TO REMAIN.
- NEW 4'-0" HIGH METAL FENCE WITH 3'-0" WIDE GATE
- EXISTING OVERHEAD CANOPY STRUCTURE.
- NEW LANDSCAPE AREA.
- EXISTING STREET LIGHT OVERHEAD.
- EXISTING STREET SIGN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING METAL BOLLARDS TO REMAIN.
- REMOVE EXISTING SIDEWALK, CURB AND METAL BOLLARDS.
- EXISTING H.C. RAMP WITH TRUNCATED DOME MAT.
- EXISTING CONCRETE SLAB AREA.
- BUILDING EXTENSION ABOVE, SEE ELEVATIONS.
- NEW CONC. HANDICAP RAMP, SLOPE AT 1:12 MAX
- CLEAR SIGHT TRIANGLE LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING WATER LINE TO WATER METER.
- LOCATION OF EXISTING WATER METER.
- LOCATION OF EXISTING SEWER MANHOLE.
- EXISTING SEWER LINE TO MAIN SEWER LINE.
- SAWCUT LINEAR EXISTING DAMAGED CONCRETE SLAB FOR NEW CONCRETE POUR.
- LOCATION OF EXISTING ELECTRICAL HOOKUP FOR CANOPY LIGHTS.
- REMOVE EXISTING STEEL BOLLARDS.



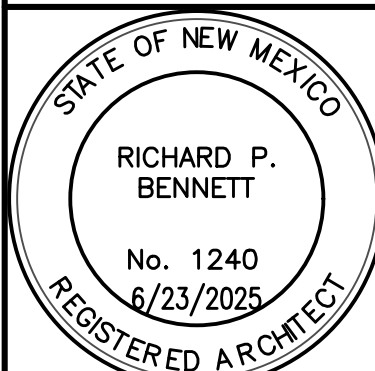
1 SITE PLAN
1"=10'

BAR SCALE
0 10' 20'

(IN FEET)

SERVICE STATION LOUNGE
SITE PLAN, LEGAL DESCRIPTION, CODE ANALYSIS & SHEET INDEX
10710 MENAUL BLVD., NE
ALBUQUERQUE, N.M. 87112
PROJECT #2425

REVISION DATE



RBA
ARCHITECTURE PC
PLANNING
DESIGN

10710 Ave. NE
Albuquerque, NM 87112
www.rbaarch.com

DATE
7/4/2024

SHEET NUMBER

AS-1.0