

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 6, 2025

Roger Esplain
RA Architecture
1104 park ave Sw
Albuquerque, NM 87102

roger@rba81.com

**Re: Service Station Lounge
10710 Menaul NE
Traffic Circulation Layout**
Engineer's Stamp 6-23-25 (H21D045) TRANS-2025-00205

Dear Mr. Esplain,

The TCL submittal received 7-29-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

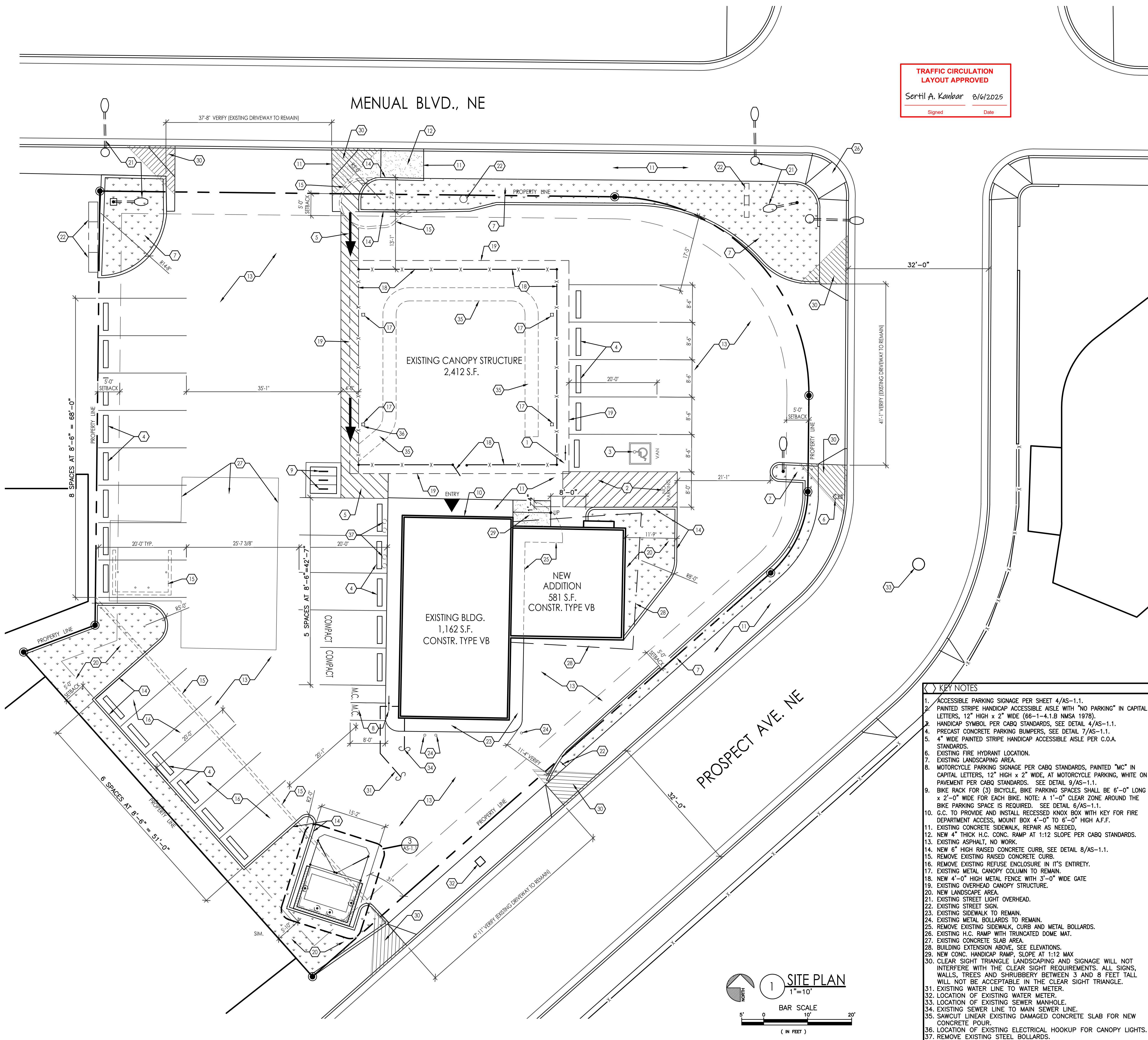
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



TRAFFIC CIRCULATION
LAYOUT APPROVED

Sertil A. Kanbar 8/6/2025

Signed Date



VICINITY MAP (ZONE ATLAS MAP H-21-Z)
N.T.S.

CODE ANALYSIS:

- OCCUPANCY GROUP(S): A-2 (BAR-7 NET) & B (BARBER / BEAUTY SHOP-150 SF GROSS)
- OCCUPANT LOAD: A-2 (199 SF/7=28) & B (483 SF/150=3) = 1,743 TOTAL / 150 = 31 TOTAL OCCUPANTS
- CONSTRUCTION TYPE: VB
- EXIT ACCESS TRAVEL DISTANCE: 200'-0" (NON-SPRINKLED)
- BLDG. AREA: EXISTING=1,162 S.F., ADDITION=581 S.F.; TOTAL=1,743 S.F.
- SPACES REQUIRING FIRE RESISTANCE RATED SEPARATION: NONE
- FIRE SPRINKLERS: NONE
- NUMBER OF EXITS: 1 REQUIRED, 2 PROVIDED
- ALLOWABLE BLDG. HEIGHT: 40'-0" (NON-SPRINKLED)
- OTHER EGRESS COMPONENTS: EGRESS WIDTH REQUIRED=31 OCC. X 0.2 = 6.2'; EGRESS WIDTH PROVIDED: 108"
- REQUIRED PLUMBING FIXTURES: W.C. LAV. SERVICE SINK REQUIRED & PROVIDED FOR 1 1 1
MEN & WOMEN:

SHEET INDEX:

- AS-1.0 SITE PLAN, LEGAL DESCRIPTION AND SHEET INDEX
- AS-1.1 SITE DETAILS
- F-1.0 FIRE SITE PLAN
- S-1.0 FOUNDATION PLAN & DETAILS
- S-2.0 FRAMING & ROOF PLANS & BUILDING SECTIONS
- A-0.1 DEMOLITION PLAN
- A-1.0 FLOOR & REFLECTED CEILING PLANS
- A-2.0 BUILDING & INTERIOR ELEVATIONS & DETAILS
- M-1.0 MECHANICAL PLAN
- P-1.0 PLUMBING PLANS (DOMESTIC WATER & SEWER)
- E-1.0 ELECTRICAL PLANS (POWER & LIGHTING)

LEGAL DESCRIPTION:

109TR A BLOCK 109, REDIVISION OF LOTS 15 & 16 & EAST 28.07 FT. OF LOT 17, BLOCK 109
ACRES: .44
UPC: 102105935325842209
ZONE: C-1 (COMMERCIAL)
ZONE DISTRICT: MX-L (LOW INTENSITY MIXED USE)
ADDRESS: 10710 MANUAL BLVD., NE
ALBUQUERQUE, NM 87112

APPLICABLE CODES:

- 2021 NEW MEXICO EXISTING BUILDING CODE
- 2020 NEW MEXICO ELECTRICAL CODE
- 2021 NEW MEXICO MECHANICAL CODE
- 2021 NEW MEXICO PLUMBING CODE
- 2021 NEW MEXICO ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL FIRE CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

SCOPE OF WORK:

CONVERTING A FORMER GAS STATION INTO A LOUNGE / SALON ESTABLISHMENT WITH A 581 S.F. ACCESSORY ADDITION AND CONVERTING THE EXISTING OVERHEAD CANOPY STRUCTURE INTO AN OUTDOOR SEATING AREA AND A NEW TRASH ENCLOSURE.

PARKING REQUIREMENTS:

TOTAL BUILDING AREA = 1,743 S.F.
IDO TABLE 5-5-1= BAR
8 SPACE PER 1,000 S.F. = 14 PARKING SPACES REQUIRED
24 PARKING SPACES PROVIDED

ACCESSIBLE PARKING: 1-25 SPACES=1 ACCESSIBLE REQUIRED
1 VAN ACCESSIBLE PROVIDED

IDO TABLE 5-5-4 MOTORCYCLES: = 1 SPACE REQUIRED
(1-25 REQUIRED PARKING SPACES) 2 SPACES PROVIDED

BICYCLE SPACES NON-RESIDENTIAL: = 1 SPACE REQUIRED
(1 BICYCLE SPACE PER EACH
20 PARKING SPACES) 3 SPACES PROVIDED

LANDSCAPE REQUIREMENTS:

GROSS LOT AREA 21,560 S.F.
BUILDING AREA: -4,155 S.F.
NET LOT AREA: 17,401 S.F.
REQUIRED LS: 17,401 SF. X 15% = 2,611 S.F.
PROVIDED LS ONSITE: = 3,247 S.F.

AREA SQUARE FOOTAGE
EXISTING BLDG. = 1,162 S.F.
NEW ADDITION = 581 S.F.
TOTAL = 1,743 S.F.

GENERAL CONTRACTOR TO
FIELD VERIFY ALL EXIST.
CONSTRUCTION AND
DIMENSIONS PRIOR TO
CONSTRUCTION

KEY NOTES

- ACCESSIBLE PARKING SIGNAGE PER SHEET 4/AS-1.1.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE (66-1-4.1.B NMSA 1978).
- HANDICAP SYMBOL PER CABQ STANDARDS, SEE DETAIL 4/AS-1.1.
- PRECAST CONCRETE PARKING BUMPERS, SEE DETAIL 7/AS-1.1.
- 4" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER C.O.A. STANDARDS.
- EXISTING FIRE HYDRANT LOCATION.
- EXISTING LANDSCAPING AREA.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE, AT MOTORCYCLE PARKING, WHITE ON PAVEMENT PER CABQ STANDARDS. SEE DETAIL 9/AS-1.1.
- BIKE RACK FOR (3) BICYCLE, BIKE PARKING SPACES SHALL BE 6'-0" LONG X 2'-0" WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE IS REQUIRED. SEE DETAIL 6/AS-1.1.
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" TO 6'-0" HIGH A.F.F.
- EXISTING CONCRETE SIDEWALK, REPAIR AS NEEDED.
- NEW 4" THICK H.C. CONC. RAMP AT 1:12 SLOPE PER CABQ STANDARDS.
- EXISTING ASPHALT, NO WORK.
- NEW 6" HIGH RAISED CONCRETE CURB, SEE DETAIL 8/AS-1.1.
- REMOVE EXISTING RAISED CONCRETE CURB.
- REMOVE EXISTING REFUSE ENCLOSURE IN IT'S ENTIRETY.
- EXISTING METAL CANOPY COLUMN TO REMAIN.
- NEW 4'-0" HIGH METAL FENCE WITH 3'-0" WIDE GATE
- EXISTING OVERHEAD CANOPY STRUCTURE.
- NEW LANDSCAPE AREA.
- EXISTING STREET LIGHT OVERHEAD.
- EXISTING STREET SIGN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING METAL BOLLARDS TO REMAIN.
- REMOVE EXISTING SIDEWALK, CURB AND METAL BOLLARDS.
- EXISTING H.C. RAMP WITH TRUNCATED DOME MAT.
- EXISTING CONCRETE SLAB AREA.
- BUILDING EXTENSION ABOVE, SEE ELEVATIONS.
- NEW CONC. HANDICAP RAMP, SLOPE AT 1:12 MAX
- CLEAR SIGHT TRIANGLE LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING WATER LINE TO WATER METER.
- LOCATION OF EXISTING WATER METER.
- LOCATION OF EXISTING SEWER MANHOLE.
- EXISTING SEWER LINE TO MAIN SEWER LINE.
- SAWCUT LINEAR EXISTING DAMAGED CONCRETE SLAB FOR NEW CONCRETE POUR.
- LOCATION OF EXISTING ELECTRICAL HOOKUP FOR CANOPY LIGHTS.
- REMOVE EXISTING STEEL BOLLARDS.

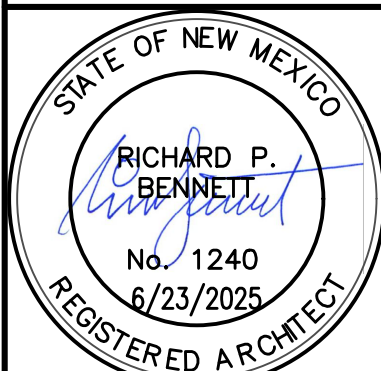
1 SITE PLAN
1"=10'

BAR SCALE
0 10' 20'

(IN FEET)

SERVICE STATION LOUNGE
SITE PLAN, LEGAL DESCRIPTION, CODE ANALYSIS & SHEET INDEX
10710 MANUAL BLVD., NE
ALBUQUERQUE, N.M. 87112
PROJECT #2425

REVISION DATE



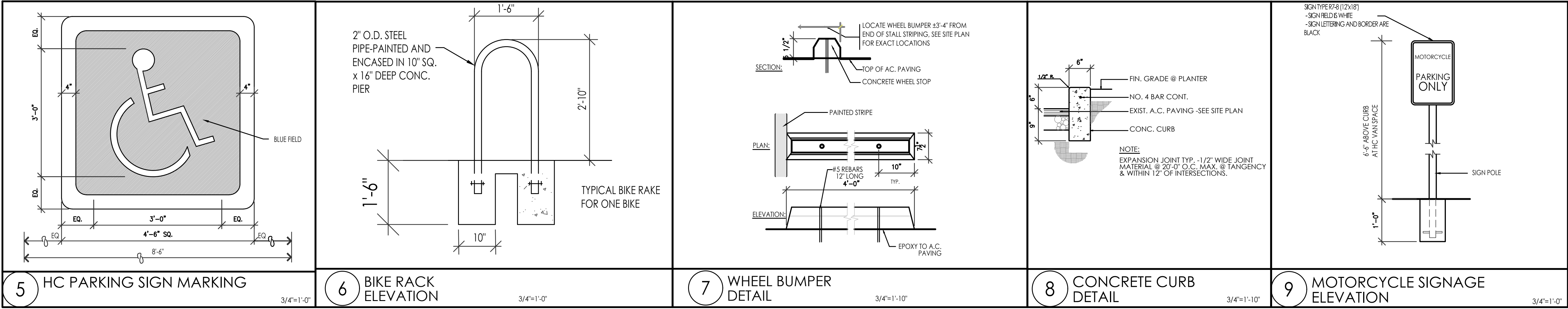
RBA
ARCHITECTURE PC
PLANNING
DESIGN

Richard P. Benne, P.A.
10710 Manual Blvd., NE
Albuquerque, NM 87112
www.rbaarch.com

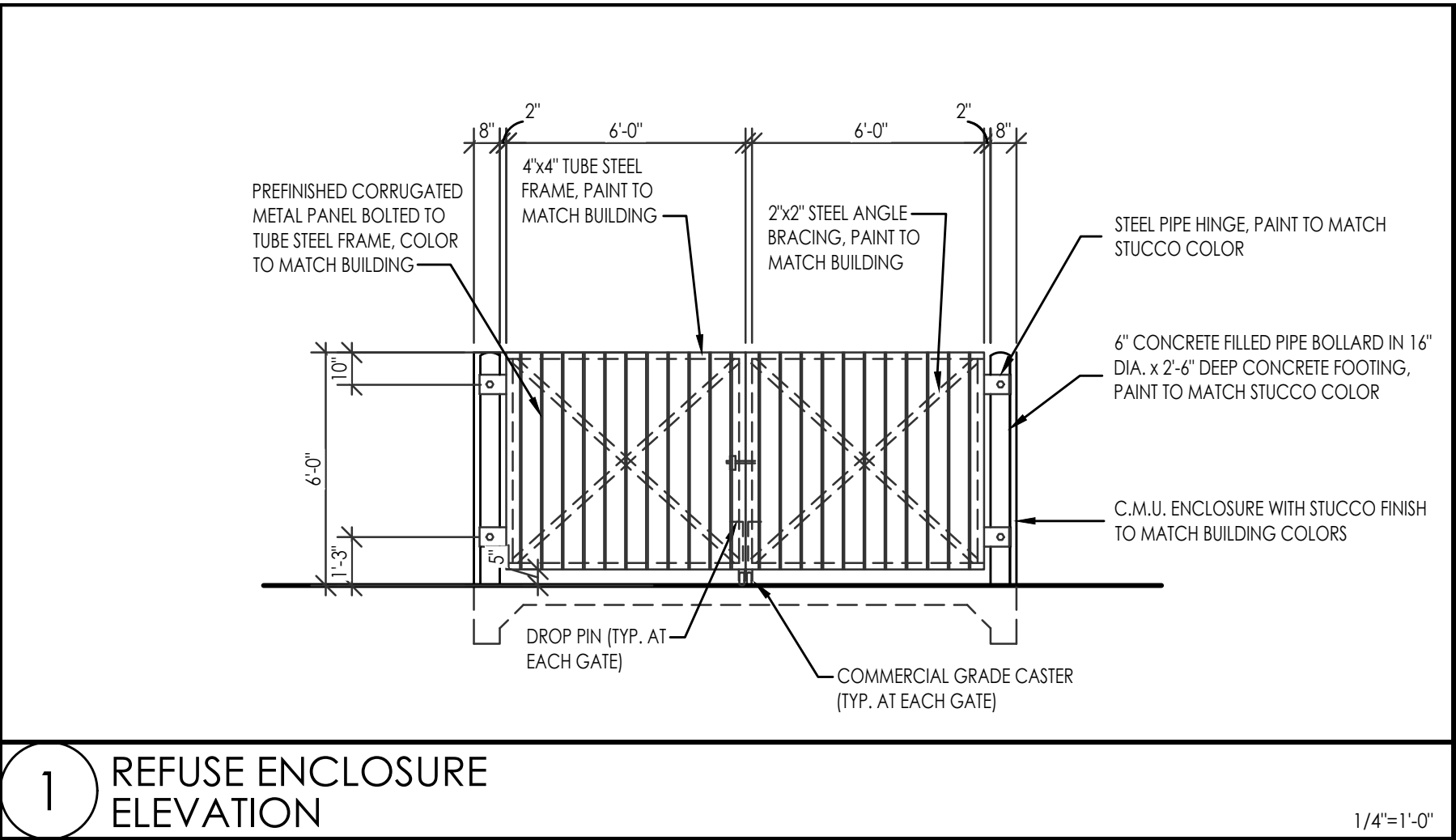
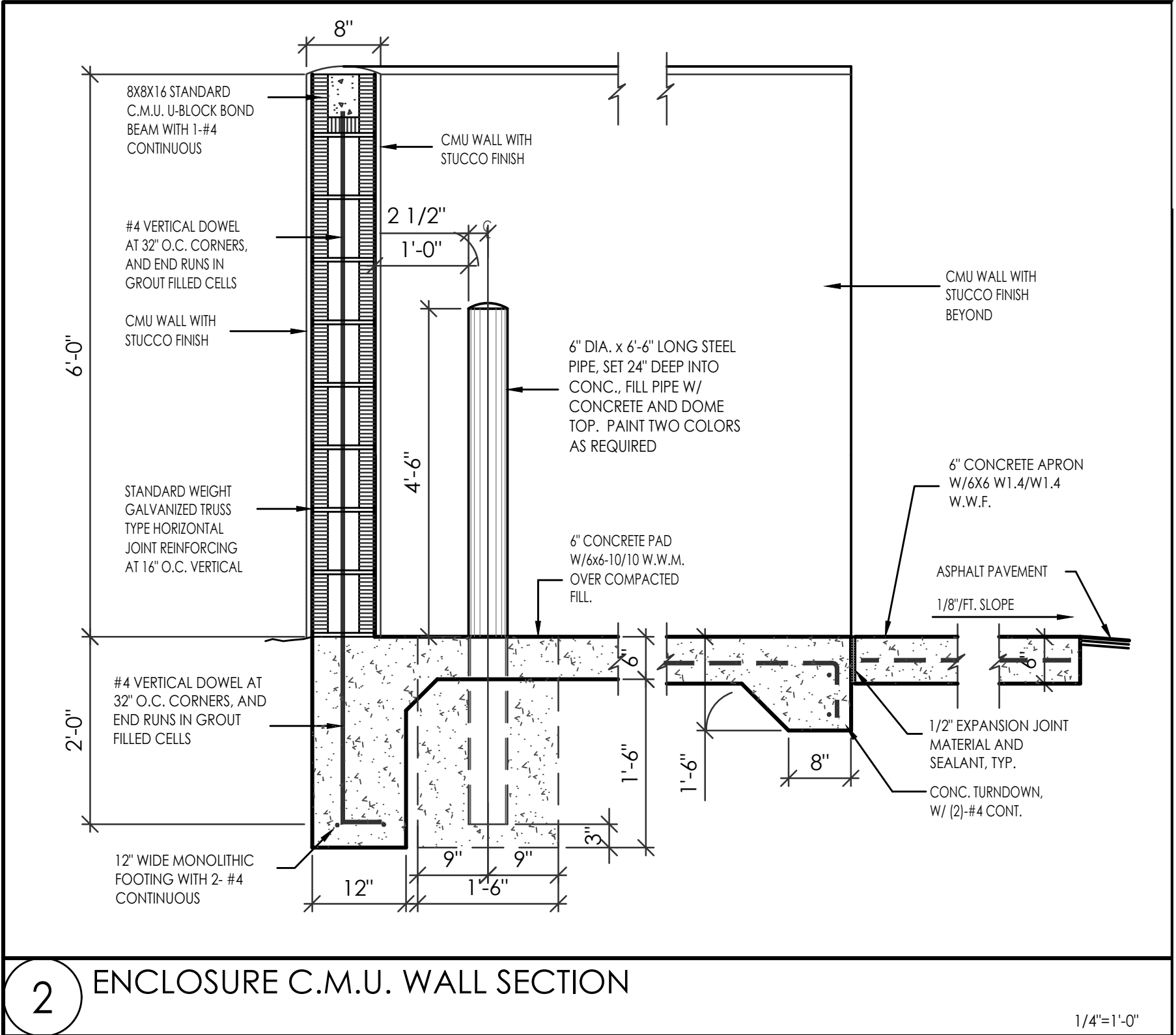
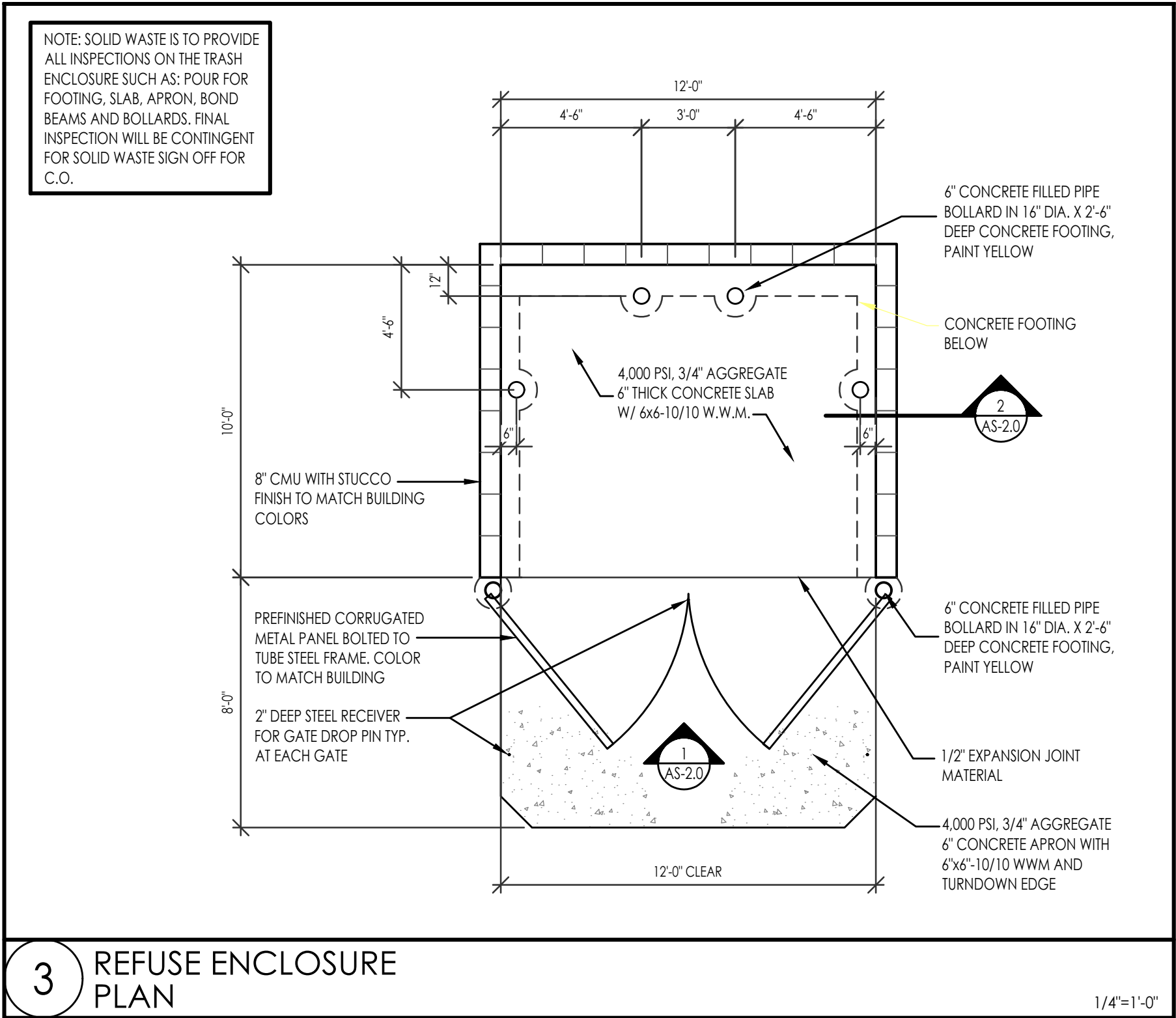
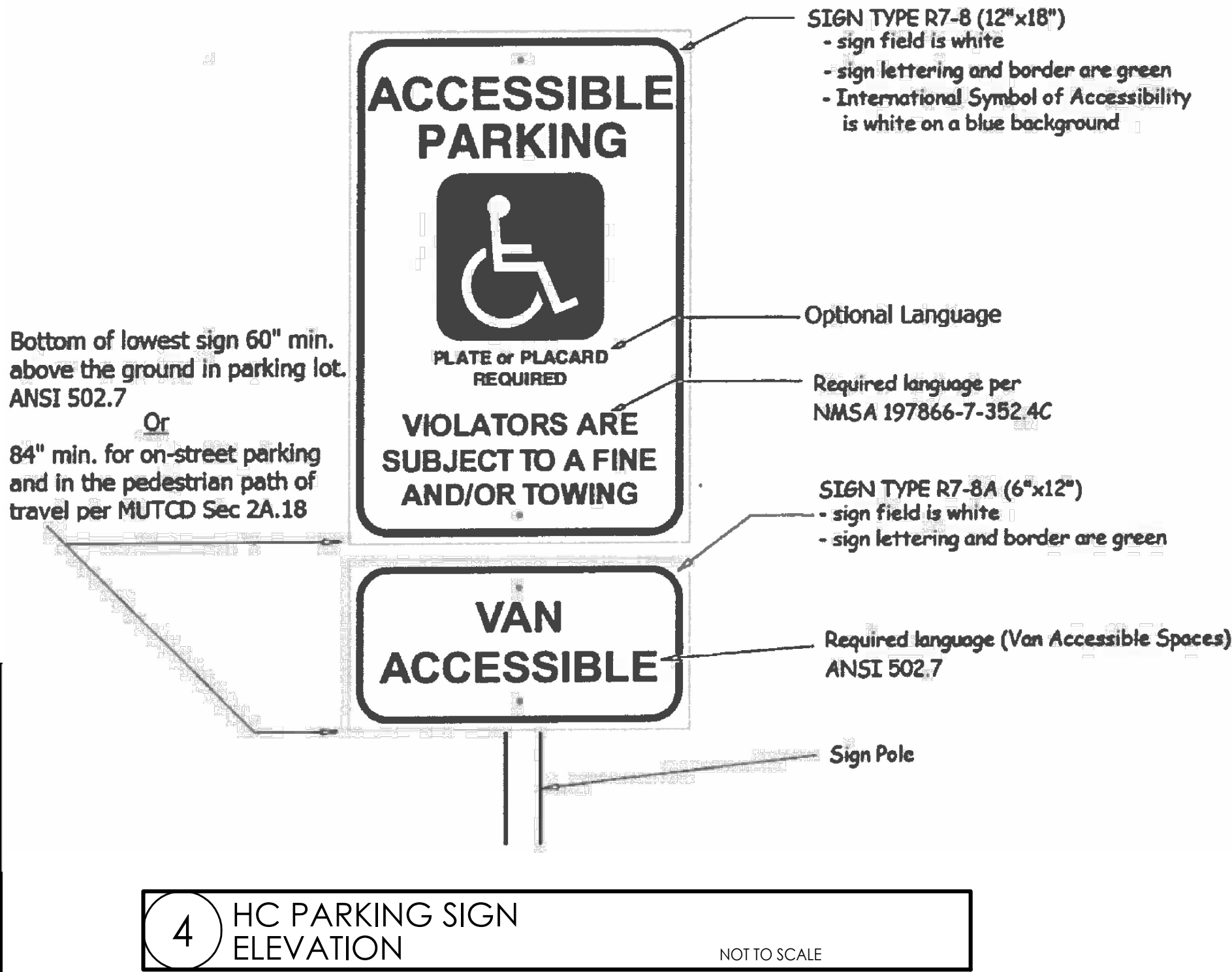
DATE
7/4/2024

SHEET NUMBER

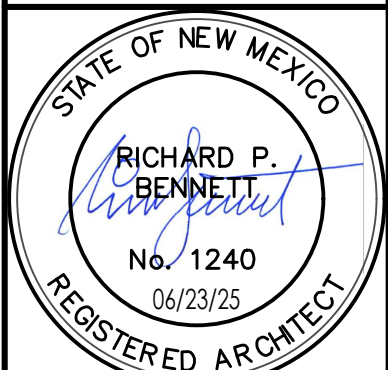
AS-1.0



TRAFFIC CIRCULATION
LAYOUT APPROVED
Sertil A. Kanbar 8/6/2025
Signed Date



SERVICE STATION LOUNGE
SITE DETAILS
10710 MENAUL BLVD., NE
ALBUQUERQUE, N.M. 87112
PROJECT #2425

REVISION DATE

DATE 2/26/2025
SHEET NUMBER AS-1.1



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: SERVICE STATION LOUNGE
Building Permit #: _____ Hydrology File #: _____
Zone Atlas Page: H 217 DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: 109 TR A BLOCK 109, REDIVISION OF LOTS 15 & 16 & EAST
Development Street Address: 10710 MENAUL BLVD., NE ABQ, NM 87112 OR LOT 17, BLK. 109
Applicant: RBA ARCHITECTURE PC Contact: ROGER ESPLAIN
Address: 1104 PARK AVE., SW ABQ, NM 87102
Phone#: (505) 242-1859 Fax#: (505) 242-6630
E-mail: WWW.RBA81.COM or roger@rba81.com

Development Information

Build out/Implementation Year: 2025 Current/Proposed Zoning: C-1 (COMMERCIAL)

Project Type: New: () Change of Use: ☒ Same Use/Unchanged: () Same Use/Increased Activity: ()

Change of Zoning: ()

Proposed Use (mark all that apply): Residential: () Office: () Retail: () Mixed-Use: ☒

Describe development and Uses:

CONVERTING A FORMER GAS STATION INTO A LOUNGE / SALON
ESTABLISHMENT WITH A 501 SF ACCESSORY ADDITION & CONVERTING
Days and Hours of Operation (if known): 11 AM - 9:30 PM EXIST. O.H. CANOPY STRUCTURE
INTO AN OUTDOOR SEATING AREA

Facility

Building Size (sq. ft.): 1,743 S.F.
Number of Residential Units: NONE
Number of Commercial Units: NONE

Traffic Considerations

ITE Trip Generation Land Use Code _____
Expected Number of Daily Visitors/Patrons (if known):* 30 PER DAY
Expected Number of Employees (if known):* 12 MAX.
Expected Number of Delivery Trucks/Buses per Day (if known):* 1 OR 2
Trip Generations during PM/AM Peak Hour (if known):* 5 MORNING, 25 AFTERNOON
Driveway(s) Located on: Street Name MENAU BLVD. & PROSPECT AVE

Adjacent Roadway(s) Posted Speed: Street Name MENAU BLVD. Posted Speed 40 MPH
Street Name PROSPECT AVE. Posted Speed 25 MPH

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: N/A
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N.E. ISLAMIC CENTER OF ABQ; EASTDALE SHOPPING CENTER
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): CITY OF ABQ.

Adjacent Roadway(s) Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____
(if applicable)

Adjacent Transit Service(s): ABQ. RIDE-BUS RTE. 5 Nearest Transit Stop(s): ON MORRIS ST. / NEAR PROSPECT AVE.

Is site within 660 feet of Premium Transit?: YES

Current/Proposed Bicycle Infrastructure: PROPOSED BIKE RACKS (3) ON SITE; EXIST. PASE DE LAS MONTANAS TRAIL & MORRIS AVE. BIKE LANE
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: EXIST. SIDEWALKS ALONG MENAU & PROSPECT AVE.

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

Ernest Armijo
TRAFFIC ENGINEER

8/5/2025
DATE

Submittal