

TRAFFIC CIRCULATION LAYOUT
APPROVED
[Signature] 2/12/14

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Menaul Blvd NE
(120' R/W)

EXISTING EASEMENT NOTES:

- EXISTING 10' UTILITY EASEMENT (12/31/84, D1-112).
- EXISTING 10' UTILITY EASEMENT (12/31/84, D1-112) QUITCLAIM DEED FROM PNM (8/21/72, D821-95), WAIVER AND RELEASE FROM PNM (THE EAST 140' OF SAID EASEMENT) (2/1/80, MISC. 780, PG. 28) AND QUITCLAIM DEED FROM MET&T COMPANY (1/31/80, D113A-708).
- EXISTING 22' EASEMENT RESERVED FOR ANY EXISTING UTILITIES (12/23/87, MISC. 24-75).

BUILDING & PARKING DATA			
BUILDING AREA:		# SEATS	AREA (SQUARE FEET)
DUNKIN DONUTS RESTAURANT		28	2,485 SF
OFFICE (SECOND FLOOR)		N/A	920 SF
TOTAL AREA		28	3,384 SF
PARKING REQUIREMENTS:			
	RATIO	REQUIRED	PROVIDED
DUNKIN DONUTS RESTAURANT	1/4 SEATS	7 SPACES	21 SPACES
OFFICE (SECOND FLOOR)	1/300 SF	4 SPACES	4 SPACES
ACCESSIBLE PARKING FOR 11 REQUIRED SPACES		1 SPACE	1 SPACE
ACCESSIBLE VAN PARKING FOR 11 REQUIRED SPACES		1 SPACE	1 SPACE
TOTAL		11 SPACES	27 SPACES

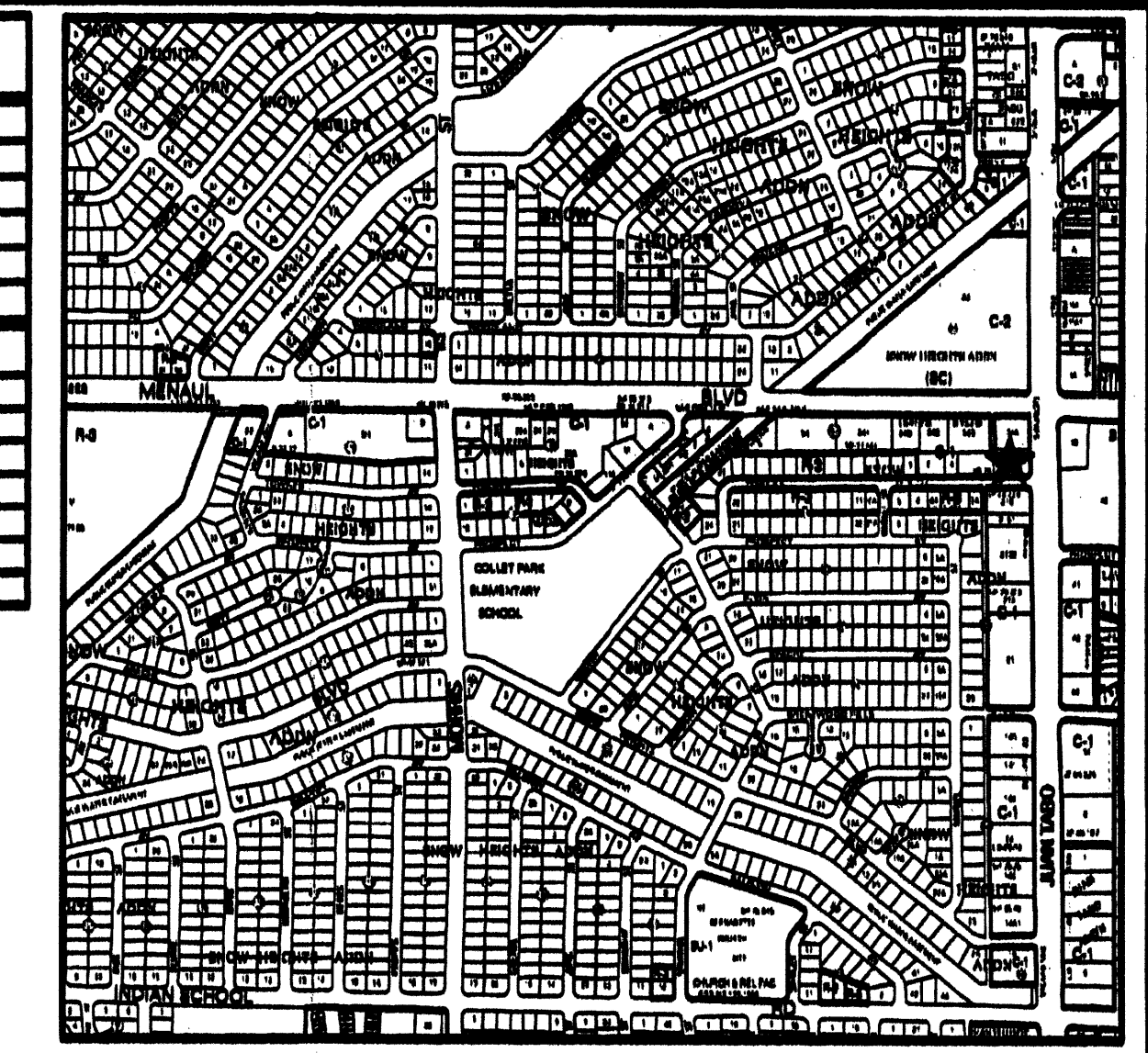
ADDITIONAL PARKING REQUIREMENTS:
1 MOTORCYCLE SPACE REQUIRED AND 1 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED

LEGEND:

- PROPOSED SIDEWALK JOINTS
- PROPOSED 15% ON-SITE LANDSCAPE AREA REQUIRED = 4,870 SF, 9,250 SF PROVIDED, SEE LG-01
- PROPOSED CURB RAMP
- EXISTING CONCRETE CURB/PAVING
- PROPOSED CONCRETE CURB/PAVING
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

KEYED NOTES CONTINUED:

- PROPOSED ILLUMINATED "ENTER" DIRECTIONAL SIGN.
- PROPOSED ILLUMINATED "PICK UP WINDOW" DIRECTIONAL SIGN.
- WHEEL STOP. SEE DETAIL 4/SP-5.
- PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 1/SP-5.
- PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 2/SP-5.
- PROPOSED "DO NOT STOP OR BLOCK THIS AREA" SIGN. SEE DETAIL 12/SP-2.
- CLEAR SIGHT TRIANGLE. "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 5 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA."
- EXISTING 4' CMU BLOCK WALL WITH WOOD SLAT FENCING ABOVE. TO REMAIN AS BUFFER ALONG RESIDENTIAL ZONE.



VICINITY MAP

SITE DATA:

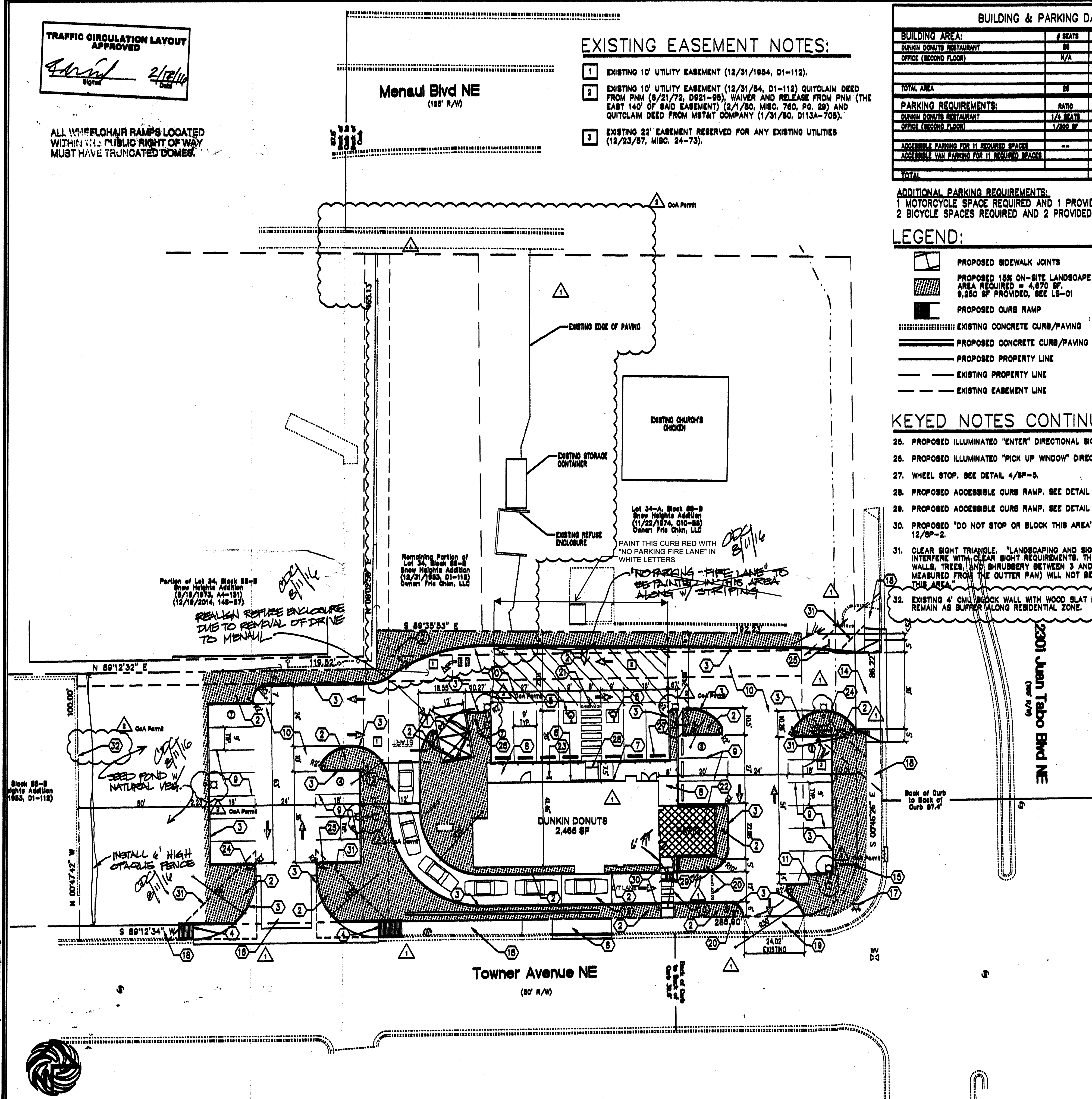
LEGAL DESCRIPTION: SNOW HEIGHTS ADDITION, PARCEL 1-A, BLOCK 88-B
UPCI: 10210985024442324
ADDRESS: 2301 JUAN TABO BLVD. NE
PROPERTY AREA: 0.77 ACRES
CURRENT ZONING: C-1 (SC)
BUILDING AREA: PROPOSED DUNKIN DONUTS RESTAURANT = 3,384 SF

KEYED NOTES:

- PROPOSED REFUSE ENCLOSURE. SEE SITE DETAIL SHEET SP-4.
- PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLAN.
- PROPOSED 6" HIGH CONCRETE CURB. SEE DETAIL 5/SP-5.
- PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 3/SP-5.
- PROPOSED ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
- PROPOSED ACCESSIBLE PARKING SIGN - WALL MOUNTED.
- PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED.
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL 6 & 7/SP-5.
- PROPOSED 4" WIDE PAVEMENT STRIPING.
- PROPOSED ASPHALT PAVEMENT.
- PROPOSED MOTORCYCLE PARKING SIGN. SEE DETAIL 10/SP-2.
- PROPOSED CONCRETE PAVEMENT @ DRIVE-THRU. SEE DETAIL 8/SP-2.
- PROPOSED CONCRETE PEDESTRIAN CONNECTION.
- NEW CONCRETE DRIVEPAD PER C.O.A. STD. DETAIL 2426.
- EXISTING FREE STANDING SIGN TO BE REPLACED AND PERMITTED BY SIGN SUPPLIER. SIGN SUPPLIER TO FOLLOW COA ZONING AND PERMITTING REQUIREMENTS.
- NEW PRIVATE ENTRANCE PER C.O.A. STD. DETAIL 2426.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING SIDEWALK TO REMAIN. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER PER C.O.A. STD. DETAILS 2430 & 2415A.
- EXISTING ACCESS DRIVEWAY TO REMAIN.
- PROPOSED "DO NOT ENTER" PAVEMENT MARKING AND SIGN. SEE DETAIL 11/SP-2.
- PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
- PROPOSED OUTDOOR PATIO. SEE DETAIL #1 SHEET SP-4.
- PROPOSED 2-BIKE CAPACITY HOOP RACK. SEE DETAIL 9/SP-2.
- PROPOSED ILLUMINATED "EXIT" DIRECTIONAL SIGN.

FINISH MATERIAL SCHEDULE - Traffic Striping Paint

CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS
TP-01	PAINT	SHERWIN WILLIAMS	Pro Park	"White", 897D3248
TP-02	PAINT	SHERWIN WILLIAMS	Pro Park	"Black", 897D3249
TP-03	PAINT	SHERWIN WILLIAMS	Pro Park	"Yellow", 897D3247
TP-04	PAINT	SHERWIN WILLIAMS	Pro Park	"Orange", Custom Mix 897D3487 CCP Colorant CE 33 64 128 W-White 4 15 1 R-New red 4 15 1 V-Base Solid 00 1
TP-05	PAINT	SHERWIN WILLIAMS	Pro Park	"Pink", Custom Mix 897D3513 CCP Colorant CE 33 64 128 W-White 4 15 1 V-Base Solid 00 1



STATE OF NEW MEXICO
STEPHEN A. DUNBAR
REGISTERED ARCHITECT
No. 4218

01-08-18

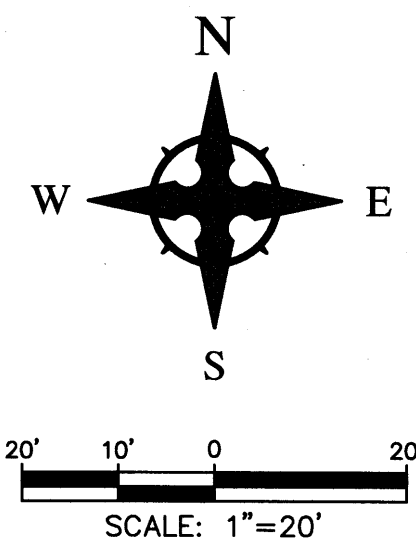
NO.	DESCRIPTION	DATE	SCALE	AS SHOWN	MT	CDC	SAD
1	INITIAL ISSUE	4-1-13					
2	DMB UPDATE	7-2-13					
3	GENERAL UPDATES	2-10-14					
4	ADDITION #2	01-25-16					
5	ADDITION #3	12-10-16					

NEW DUNKIN' DONUTS
2301 JUAN TABO BLVD NE

SITE PLAN, SITE DATA
AND TCL

PC NUMBER

SP-1



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

- 27.8 FLOW ARROW
- FL27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- TC27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- FGH27.8 PROPOSED TOP OF CURB ELEVATIONS
- FGL27.8 PROPOSED GRADE AT TOP OF WALL
- 515 PROPOSED GRADE AT BOTTOM OF WALL
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE

Portion of Lot 34, Block 88-B
Snow Heights Addition
(8/15/1973, 44-131)
(12/19/2014, 145-67)

Install Gravel/Cobble
for Erosion Protection
per Landscape Plan.

B-2
0.07Ac

Install 22" 5' 6" Min.
Cobble Rip Rap (6" Min.)
Over Landscape Fabric

Install 4" Wide
Concrete Flume per
Detail Sheet

Install Variable Width
Concrete Flume per
Detail Sheet

Install 24" Sidewalk
Culvert per COA Std.
Dwg. 22-36 via SQ-19
Permit. Extend 1'
Beyond Property Line.

Install Gravel/Cobble
for Erosion Protection
per Landscape Plan.

Install Gravel/Cobble
for Erosion Protection
per Landscape Plan.

Install CMU Retaining Wall
per Details Sheet S2.0.
Color to Complement
Building.

OVERFLOW SPILLWAY CALCULATIONS

WEIR EQUATION
 $Q = C \cdot L \cdot H^{1.5}$ where $C = 2.87$, $L = 4'$, $H = 0.5'$
 $Q_{cap} = 4.06$ cfs
 $Q_{reqd} = 3.78$ cfs CHECK

FLUME CAPACITY
 $Q = A(1.486/n)(R)^{2/3}(S)^{1/2}$
where $A = 1.34$, $n = 0.013$, $R = 0.40$, $S = 0.02$
 $Q_{cap} = 11.76$ cfs
 $Q_{reqd} = 3.78$ cfs CHECK

POND VOLUME CALCULATIONS

CONTOUR ELEVATION	AREA (SF)	VOLUME (CF)
5595.50	2,808 SF	1,316.50 CF
5595.00	2,458 SF	1,136.50 CF
5594.00	1,814 SF	840.50 CF
5593.00	1,286 SF	590.50 CF
TOTAL		5,002.50 CF

NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

FIRST FLUSH CALCULATIONS

BASIN A
IMPERVIOUS AREA: 0 SF
FIRST FLUSH = $0 \cdot 0.34' / 12 = 0$ CF

BASIN B
IMPERVIOUS AREA: 21,342 SF
FIRST FLUSH = $22,719 \cdot 0.34' / 12 = 605$ CF

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 - "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" (or (505) 260-1990) for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

CITY INSPECTOR APPROVAL

Signature _____ Date _____

DRAINAGE CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/1/16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER MEDINA, NMPS 15702, OF THE FIRM TERRA LAND SURVEYS LLC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 7/27/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY (FINAL C.O.).

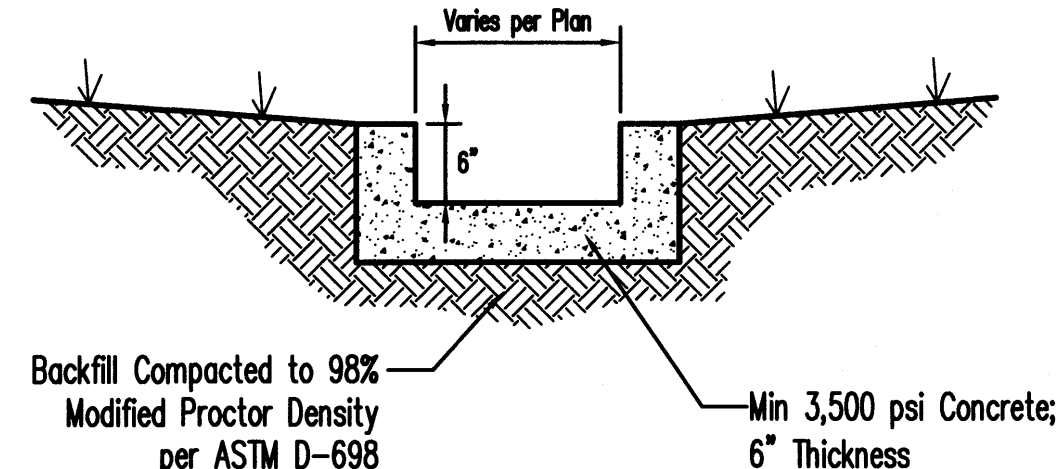
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul to or from shall be considered INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



Concrete Flume Detail

NTS

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final grading plan and drainage management plan for the development of 2301 Juan Tabo Blvd NE, located near the SWC of Juan Tabo and Menaul NW in Albuquerque, NM. The site contains approximately 0.77 acres.

EXISTING HYDROLOGIC CONDITIONS

The site currently consists of an existing office building and parking lot which drains via sheet flow from east to west with the natural slope of the foothills. There are three distinct drainage basins as shown on the plan and per the drainage calculations table this sheet. Basin A (0.06cfs/111CF) is a very small basin that drains to Juan Tabo. Basin B (3.43cfs/6,301CF) drains toward adjacent properties to the west and south into Towner Ave NE.

PROPOSED HYDROLOGIC CONDITIONS

The proposed site consists of a new Dunkin Donuts building with associated parking, drive-thru lane, landscaping, and a new water harvesting pond. The site will continue to drain via sheet flow from east to west in conformance with the existing drainage basins and per the drainage calculations table this sheet.

Basin A (0.04cfs/63CF) will provide a reduction of 0.02 cfs (48CF) due to increased pervious area. We are calling out for the landscaped area to be depressed 6" below adjacent pavement so that there will be no direct runoff into Juan Tabo.

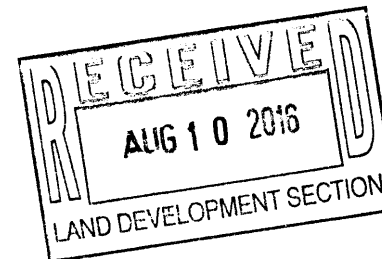
Basin B (3.57cfs/6,837CF) shows an increase of 0.14cfs (536CF) which is a minimal increase and could be ignored. However, we are providing a new water harvesting basin near the southwest corner of the site which will collect and store up to 5,002.50 CF of stormwater. The overflow discharge from the pond will be via a variable width concrete flume which is 4' wide at the weir along the top of the embankment and will discharge into Towner Ave.

FIRST FLUSH CALCULATIONS

Per the First Flush Calculations on this sheet, the total First Flush Volume required to be collected for Basin B is 644 CF. The proposed water harvesting pond within Basin B has a capacity of 3,686 CF per calculations this sheet which provides excess treatment within this basin.

CONCLUSION

This drainage management plan provides for grading and drainage elements which do not burden downstream systems; are capable of safely passing the 100 year storm, and meet city requirements. In addition, the proposed water harvesting pond will help treat stormwater runoff per the DPM. With this submittal, we are requesting Drainage Management Plan and Building Permit approval.



Existing Dunkin Donuts Drainage Calculations											
This table is based on the COA DPM Section 22.2, Zone 4											
BASIN	Area (SQ. FT.)	Area (AC.)	A	B	C	D	Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100)360 (CF)	V(100)1440 (CF)
A	521	0.01	0.0%	0.0%	30.0%	70.0%	4.79	0.06	2.29	99	111
B-1	25549	0.59	0.0%	0.0%	38.0%	62.0%	4.67	2.74	2.19	4666	5194
B-2	2854	0.07	0.0%	0.0%	90.0%	10.0%	3.88	0.25	1.58	375	385
B-3	4673	0.11	0.0%	0.0%	75.0%	25.0%	4.11	0.44	1.76	663	722
TOTAL	33597	0.77					3.49			5824	6413

Proposed Dunkin Donuts Drainage Calculations											
Ultimate Development Conditions Basin Data Table											
This table is based on the COA DPM Section 22.2, Zone 4											
BASIN	Area (SQ. FT.)	Area (AC.)	A	B	C	D	Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100)360 (CF)	V(100)1440 (CF)
A	521	0.01	0.0%	0.0%	100.0%	0.0%	3.73	0.04	1.46	63	63
B-1	25549	0.59	0.0%	0.0%	27.0%	73.0%	4.84	2.84	2.32	4942	5564
B-2	2854	0.07	0.0%	0.0%	90.0%	10.0%	3.88	0.25	1.58	375	385
B-3	4673	0.11	0.0%	0.0%	48.0%	52.0%	4.52	0.48	2.07	807	888
TOTAL	33597	0.77					3.62			6189	6901

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"

Wooten
Engineering

1005 21st St SE, Suite B1
Rio Rancho, NM 87124
Phone: (505) 980-3560

dunkin'
brands™

MODULUS
ARCHITECTS

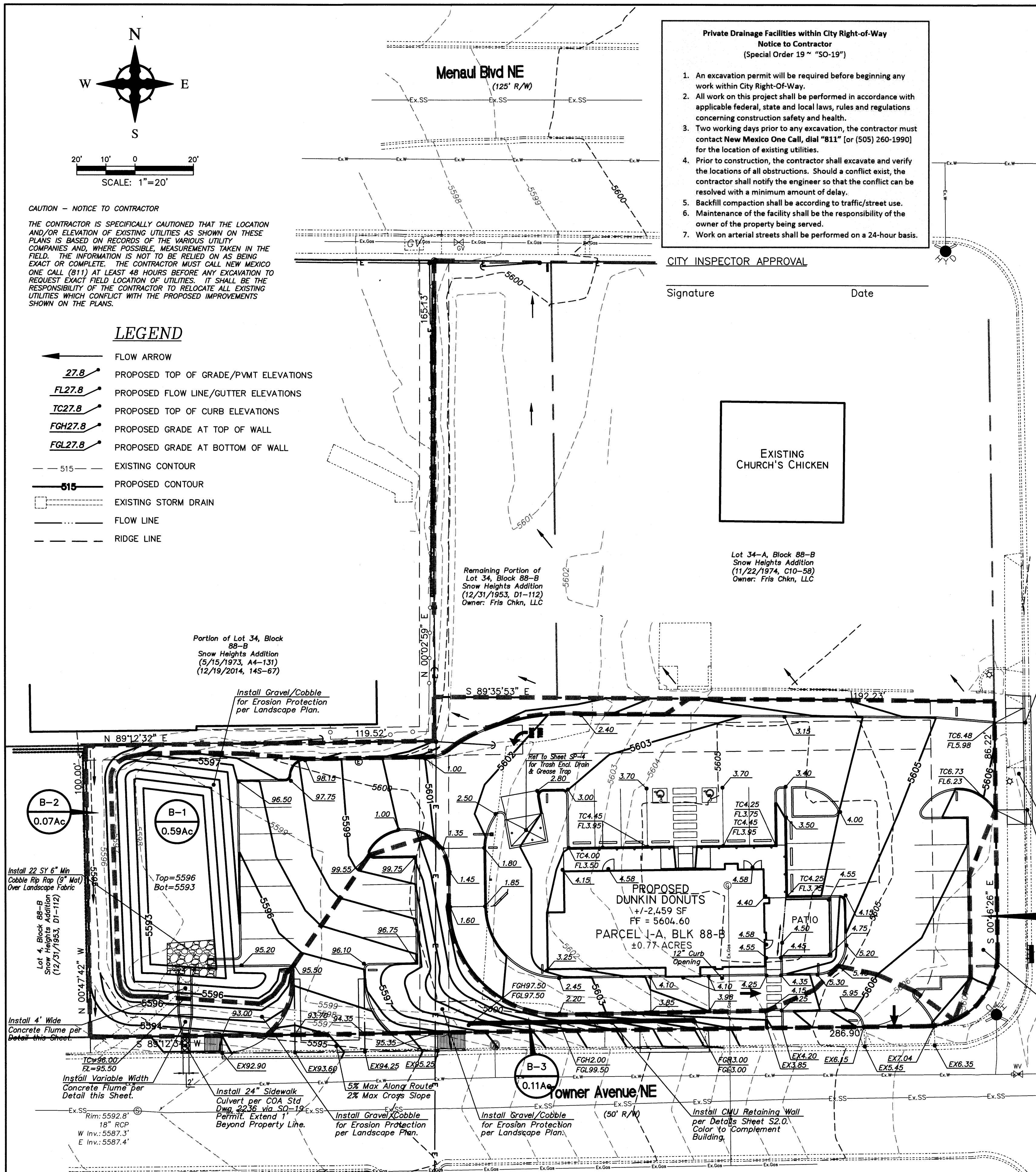
JEFFREY TODD WOOTEN
NEW MEXICO
16892
PROFESSIONAL ENGINEER

NO	DESCRIPTION	DATE	SET REVISIONS	DATE	11-13-15
1	INITIAL ISSUE	11-13-15	SCALE	AS SHOWN	
2	ADDRESS CITY COMMENTS	3/1/2016	DRAWN	JTW	
3	REVISE TRASH ENC. GRADES	5/4/2016	CKD	JTW	
			APPD	JTW	

NEW DUNKIN DONUTS
2301 JUAN TABO BLVD NE

PC NUMBER

C1.1 - Grading Plan



Wooten Engineering
1005 21st St SE, Suite B1
Rio Rancho, NM 87124
Phone: (505) 980-3560

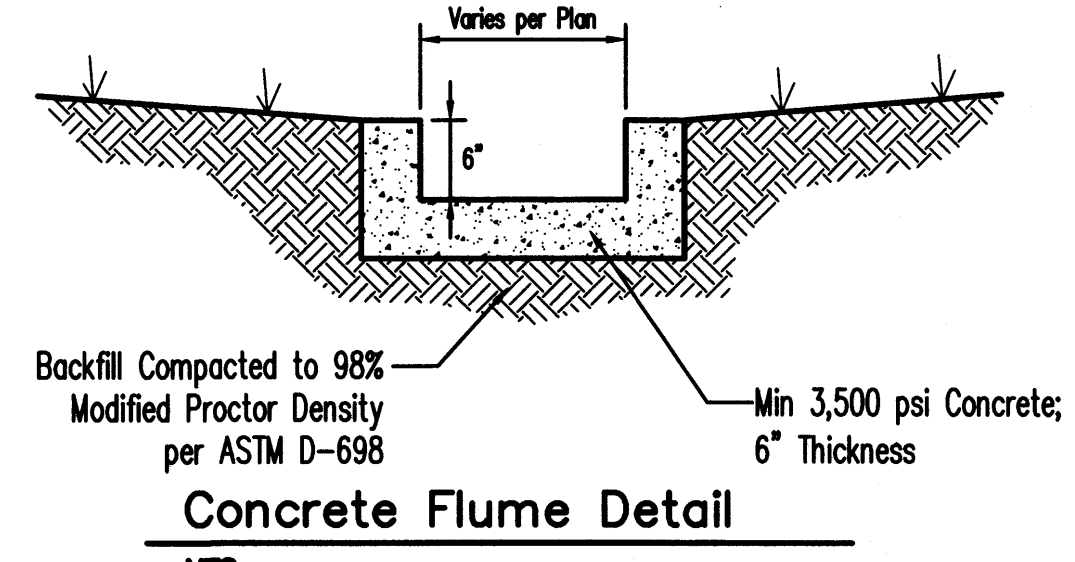
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FLUME CAPACITY
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POND VOLUME CALCULATIONS
CONTOUR ELEVATION AREA (SF) VOLUME (CF)
5595.50 2,808 SF 1,316.50 CF
5595.00 2,458 SF 1,213.6 CF
5594.00 1,814 SF 1,550 CF
5593.00 1,286 SF 5,002.50 CF
TOTAL
NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

FIRST FLUSH CALCULATIONS
BASIN A
IMPERVIOUS AREA: 0 SF
FIRST FLUSH = $0 \cdot 0.34' / 12 = 0$ CF
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CONCRETE FLUME DETAIL

NTS

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PROPOSED HYDROLOGIC CONDITIONS
The proposed site consists of a new Dunkin' Donuts building with associated parking, drive-thru lane, landscaping, and a new water harvesting basin near the southwest corner of the site which will collect and store up to 5,002.50 CF of stormwater. The overflow discharge from the pond will be via a variable width concrete flume which is 4' wide at the weir along the top of the embankment and will discharge into Tower Ave.

Basin A (0.04cfs/63CF) will provide a reduction of 0.02 cfs (48CF) due to increased pervious area. We are calling out for the landscaped area to be depressed 6" below adjacent pavement so that there will be no direct runoff into Juan Tabo.

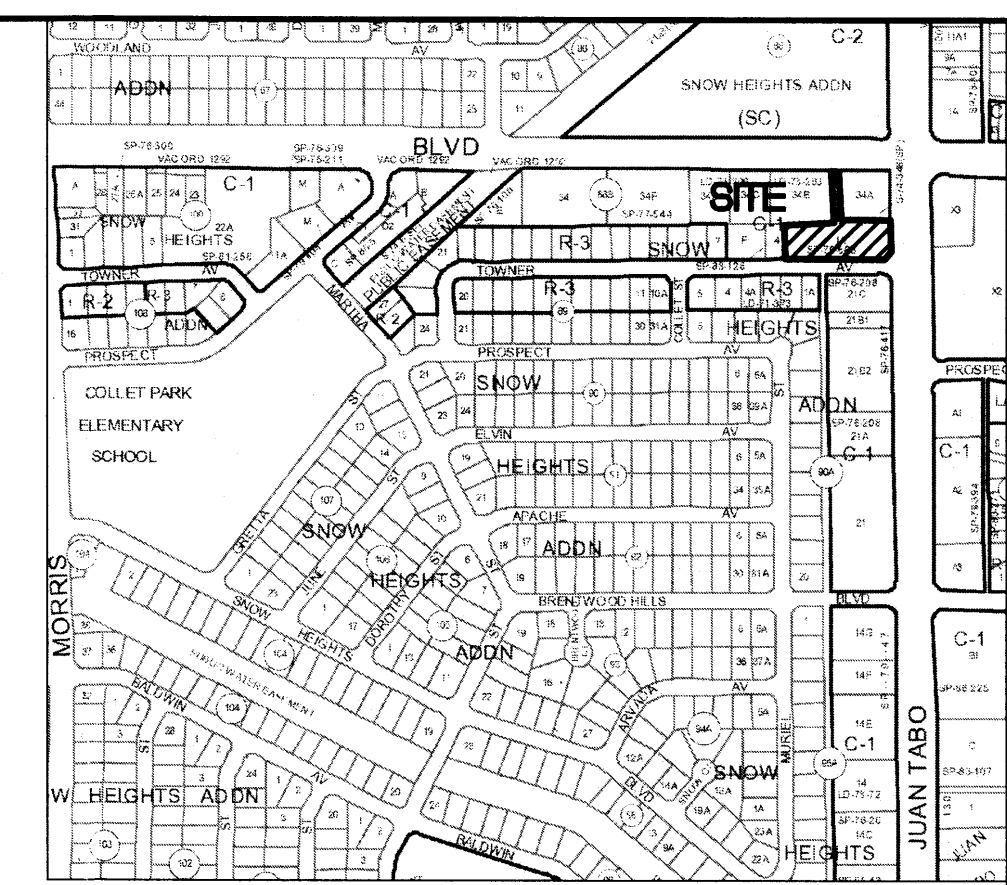
Basin B (3.57cfs/6,837CF) shows an increase of 0.14cfs (536CF) which is a minimal increase and could be ignored. However, we are providing a new water harvesting basin near the southwest corner of the site which will collect and store up to 5,002.50 CF of stormwater. The overflow discharge from the pond will be via a variable width concrete flume which is 4' wide at the weir along the top of the embankment and will discharge into Tower Ave.

FIRST FLUSH CALCULATIONS
Per the First Flush Calculations on this sheet, the total First Flush Volume required to be collected for Basin B is 644 CF. The proposed water harvesting pond within Basin B has a capacity of 3,686 CF per calculations this sheet which provides excess treatment within this basin.

CONCLUSION
This drainage management plan provides for grading and drainage elements which do not burden downstream systems; are capable of safely passing the 100 year storm, and meet city requirements. In addition, the proposed water harvesting pond will help treat stormwater runoff per the DPM. With this submittal, we are requesting Drainage Management Plan and Building Permit approval.

Existing Dunkin' Donuts Drainage Calculations											
This table is based on the COA DPM Section 22.2, Zone 4											
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100)360 (CF)	V(100)440 (CF)
A	521	0.01	0.0%	0.0%	30.0%	70.0%	4.79	0.06	2.29	99	111
B-1	25549	0.59	0.0%	0.0%	38.0%	62.0%	4.67	2.74	2.19	4666	5194
B-2	2854	0.07	0.0%	0.0%	80.0%	10.0%	3.88	0.25	1.58	375	385
B-3	4673	0.11	0.0%	0.0%	75.0%	25.0%	4.11	0.44	1.76	683	722
TOTAL	33597	0.77						3.49		5824	6413

Proposed Dunkin' Donuts Drainage Calculations											
Ultimate Development Conditions Basin Data Table											
This table is based on the COA DPM Section 22.2, Zone 4											
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100)360 (CF)	V(100)440 (CF)
A	521	0.01	0.0%	0.0%	100.0%	0.0%	3.73	0.04	1.46	63	63
B-1	25549	0.59	0.0%	0.0%	27.0%	73.0%	4.84	2.84	2.32	4942	5564
B-2	2854	0.07	0.0%	0.0%	80.0%	10.0%	3.88	0.25	1.58	375	385
B-3	4673	0.11	0.0%	0.0%	48.0%	52.0%	4.52	0.48	2.07	807	888
TOTAL	33597	0.77						3.62		6189	6901



VICINITY MAP ZONE ATLAS PAGE: H-21

LEGAL DESCRIPTION:
SNOW HEIGHTS ADDITION, PARCEL 1-A, BLOCK 88-B



FIRM MAP 35001C0357H

Per FIRM Map 35001C0357H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS, INC., UNDER RESTRICTED ACCESS.

dunkin' brands.

MODULUS ARCHITECTS

JEFFREY TODD WOODEN
NEW MEXICO
16892
PROFESSIONAL ENGINEER
3/1/2016

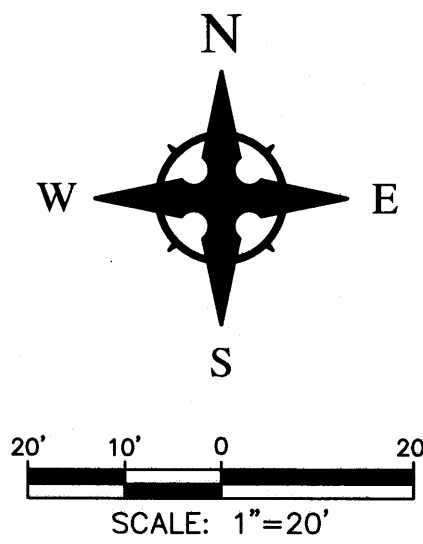
SET REVISIONS		DATE	11-13-15
NO	DESCRIPTION	DATE	11-13-15
1	INITIAL ISSUE	11-13-15	AS SHOWN
2	ADDRESS CITY COMMENTS	3/1/2016	DRAWN
			CKD
			JTW
			JTW
			APPD

NEW DUNKIN' DONUTS
2301 JUAN TABO BLVD NE

PC NUMBER

C1.1 - Grading Plan

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

- FLOW ARROW
- PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- PROPOSED FLOW LINE/GUTTER ELEVATIONS
- PROPOSED TOP OF CURB ELEVATIONS
- PROPOSED GRADE AT TOP OF WALL
- PROPOSED GRADE AT BOTTOM OF WALL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE

Private Drainage Facilities within City Right-of-Way Notice to Contractor (Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" (or (505) 260-1990) for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

CITY INSPECTOR APPROVAL

Signature _____ Date _____

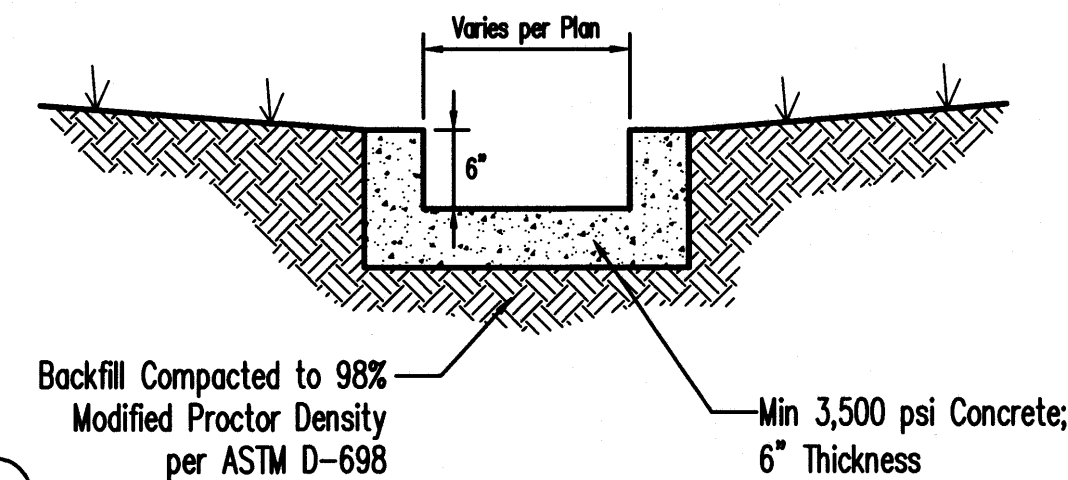
EXISTING
CHURCH'S CHICKEN

Lot 34-A, Block 88-B
Snow Heights Addition
(11/22/1974, C10-58)
Owner: Fris Chkn, LLC

Remaining Portion of
Lot 34, Block 88-B
Snow Heights Addition
(5/15/1973, A4-131)
(12/19/2014, 145-67)

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



Concrete Flume Detail

NTS

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final grading plan and drainage management plan for the Redevelopment of 2301 Juan Tabo Blvd NE, located near the SWC of Juan Tabo and Menaul NW in Albuquerque, NM. The site contains approximately 0.77 acres.

EXISTING HYDROLOGIC CONDITIONS

The site currently consists of an existing office building and parking lot which drains via sheet flow from east to west with the natural slope of the foothills. There are three distinct drainage basins as shown on the plan and per the drainage calculations table this sheet. Basin A (0.06cfs/111CF) is a very small basin that drains to Juan Tabo. Basin B (3.43cfs/6,301CF) drains toward adjacent properties to the west and south into Towner Ave NE.

PROPOSED HYDROLOGIC CONDITIONS

The proposed site consists of a new Dunkin Donuts building with associated parking, drive-thru lane, landscaping, and a new water harvesting pond. The site will continue to drain via sheet flow from east to west in conformance with the existing drainage basins and per the drainage calculations table this sheet.

Basin A (0.04cfs/63CF) will provide a reduction of 0.02 cfs (48CF) due to increased pervious area. We are calling out for the landscaped area to be depressed 6" below adjacent pavement so that there will be no direct runoff into Juan Tabo.

Basin B (3.57cfs/6,837CF) shows an increase of 0.14cfs (536CF) which is a minimal increase and could be ignored. However, we are providing a new water harvesting basin near the southwest corner of the site which will collect and store up to 5,002.50 CF of stormwater. The overflow discharge from the pond will be via a variable width concrete flume which is 4' wide at the weir along the top of the embankment and will discharge into Towner Ave.

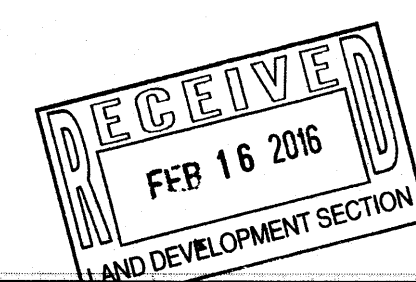
FIRST FLUSH CALCULATIONS

Per the First Flush Calculations on this sheet, the total First Flush Volume required to be collected for Basin B is 644 CF. The proposed water harvesting pond within Basin B has a capacity of 3,686 CF per calculations this sheet which provides excess treatment within this basin.

CONCLUSION

This drainage management plan provides for grading and drainage elements which do not burden downstream systems; are capable of safely passing the 100 year storm, and meet city requirements. In addition, the proposed water harvesting pond will help treat stormwater runoff per the DPM. With this submittal, we are requesting Drainage Management Plan and Building Permit approval.

Build Notes



LAND USE

Existing Dunkin Donuts Drainage Calculations													
This table is based on the COA DPM Section 22.2, Zone 4													
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100) ₃₆₀ (CF)	V(100) ₄₄₀ (CF)	V(100) ₁₀₆₀ (CF)	
	A	521	0.01	0.0%	0.0%	30.0%	70.0%	4.79	0.06	2.29	99	111	148
B-1	25549	0.59	0.0%	0.0%	0.0% <td>38.0%</td> <td>62.0%</td> <td>4.67</td> <td>2.74</td> <td>2.19</td> <td>4666</td> <td>5194</td> <td>6778</td>	38.0%	62.0%	4.67	2.74	2.19	4666	5194	6778
B-2	2854	0.07	0.0%	0.0%	0.0% <td>90.0%</td> <td>10.0%</td> <td>3.88</td> <td>0.25</td> <td>1.58</td> <td>375</td> <td>385</td> <td>413</td>	90.0%	10.0%	3.88	0.25	1.58	375	385	413
B-3	4673	0.11	0.0%	0.0%	0.0% <td>75.0%</td> <td>25.0%</td> <td>4.11</td> <td>0.44</td> <td>1.76</td> <td>683</td> <td>722</td> <td>839</td>	75.0%	25.0%	4.11	0.44	1.76	683	722	839
TOTAL	33597	0.77						3.49			5824	6413	8179

Proposed Dunkin Donuts Drainage Calculations													
Ultimate Development Conditions Basins Data Table													
This table is based on the COA DPM Section 22.2, Zone 4													
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100) ₃₆₀ (CF)	V(100) ₄₄₀ (CF)	V(100) ₁₀₆₀ (CF)	
	A	521	0.01	0.0%	0.0%	100.0%	0.0%	3.73	0.04	1.46	63	63	63
B-1	25549	0.59	0.0%	0.0%	0.0% <td>27.0%<td>73.0%</td><td>4.84</td><td>2.84</td><td>2.32</td><td>4942</td><td>5564</td><td>7439</td></td>	27.0% <td>73.0%</td> <td>4.84</td> <td>2.84</td> <td>2.32</td> <td>4942</td> <td>5564</td> <td>7439</td>	73.0%	4.84	2.84	2.32	4942	5564	7439
B-2	2854	0.07	0.0%	0.0%	0.0% <td>90.0%<td>10.0%</td><td>3.88</td><td>0.25</td><td>1.58</td><td>375</td><td>385</td><td>413</td></td>	90.0% <td>10.0%</td> <td>3.88</td> <td>0.25</td> <td>1.58</td> <td>375</td> <td>385</td> <td>413</td>	10.0%	3.88	0.25	1.58	375	385	413
B-3	4673	0.11	0.0%	0.0%	0.0% <td>48.0%<td>52.0%</td><td>4.52</td><td>0.48</td><td>2.07</td><td>807</td><td>888</td><td>1131</td></td>	48.0% <td>52.0%</td> <td>4.52</td> <td>0.48</td> <td>2.07</td> <td>807</td> <td>888</td> <td>1131</td>	52.0%	4.52	0.48	2.07	807	888	1131
TOTAL	33597	0.77						3.62			6189	6901	9037

OVERFLOW SPILLWAY CALCULATIONS

WEIR EQUATION
 $Q = C \cdot L \cdot H^{1.5}$ where $C = 2.87$, $L = 4'$, $H = 0.5'$
 $Q_{cap} = 4.06$ cfs
 $Q_{reqd} = 3.78$ cfs CHECK

FLUME CAPACITY
 $Q = A(1.486/n)(R)^{2/3}(S)^{1/2}$
where $A = 1.34$, $n = 0.013$, $R = 0.40$, $S = 0.02$
 $Q_{cap} = 11.76$ cfs
 $Q_{reqd} = 3.78$ cfs CHECK

POND VOLUME CALCULATIONS

CONTOUR ELEVATION	AREA (SF)	VOLUME (CF)
5595.50	2,808 SF	1,316.50 CF
5595.00	2,458 SF	2,136 CF
5594.00	1,814 SF	1,550 CF
5593.00	1,286 SF	5,002.50 CF
TOTAL		

NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

FIRST FLUSH CALCULATIONS

BASIN A
IMPERVIOUS AREA: 0 SF
FIRST FLUSH = $0 \cdot 0.34' / 12 = 0$ CF
BASIN B
IMPERVIOUS AREA: 21,342 SF
FIRST FLUSH = $22,719 \cdot 0.34' / 12 = 605$ CF

Wooten Engineering

1005 21st St SE, Suite B1
Rio Rancho, NM 87124
Phone: (505) 980-3560

dunkin'
brands™

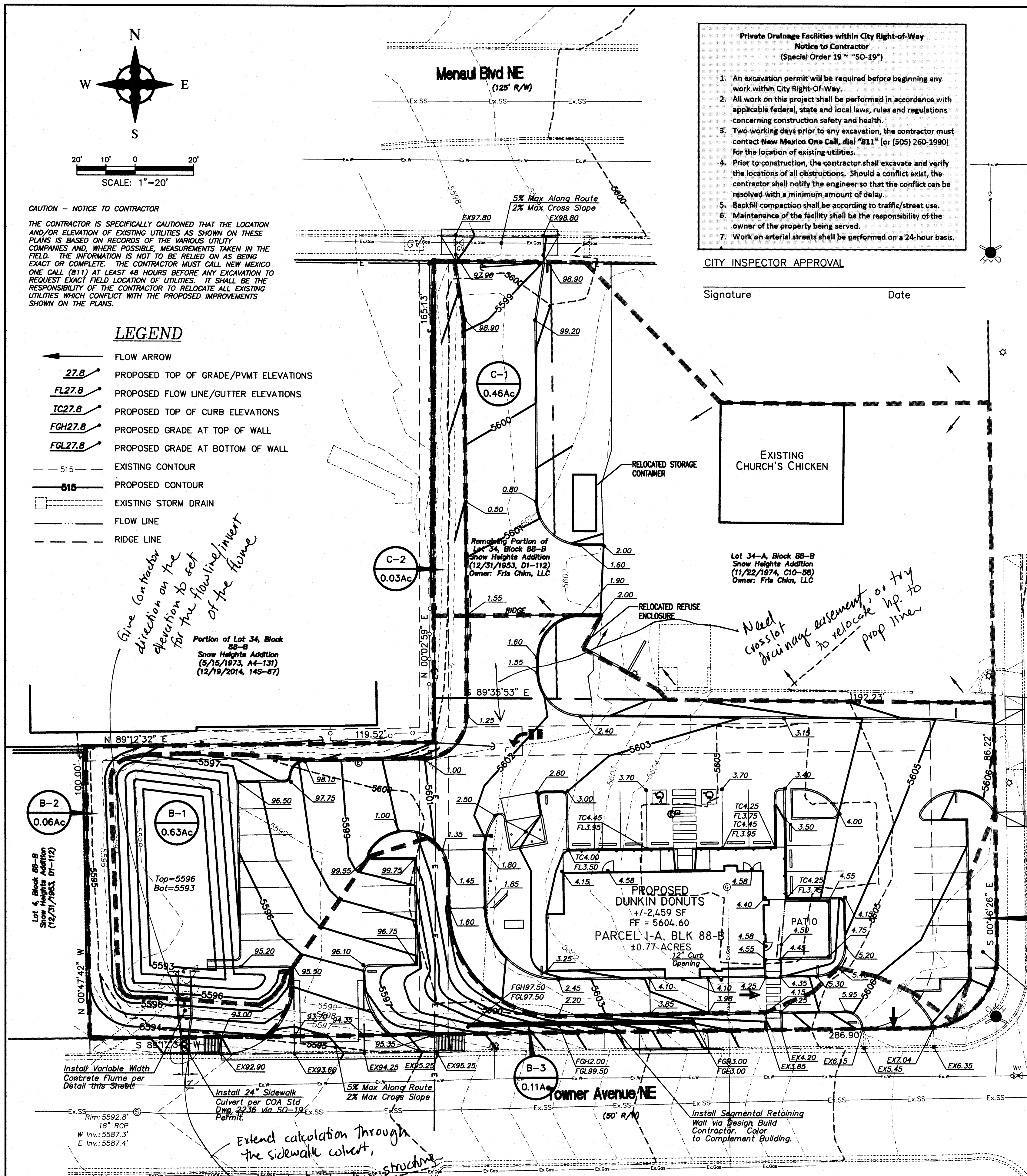
MODULUS
ARCHITECTS



NO	DESCRIPTION	DATE	DATE	SCALE	AS SHOWN	DRAWN	CKD	JTW	JTW	JTW
1	INITIAL ISSUE	11-13-15								

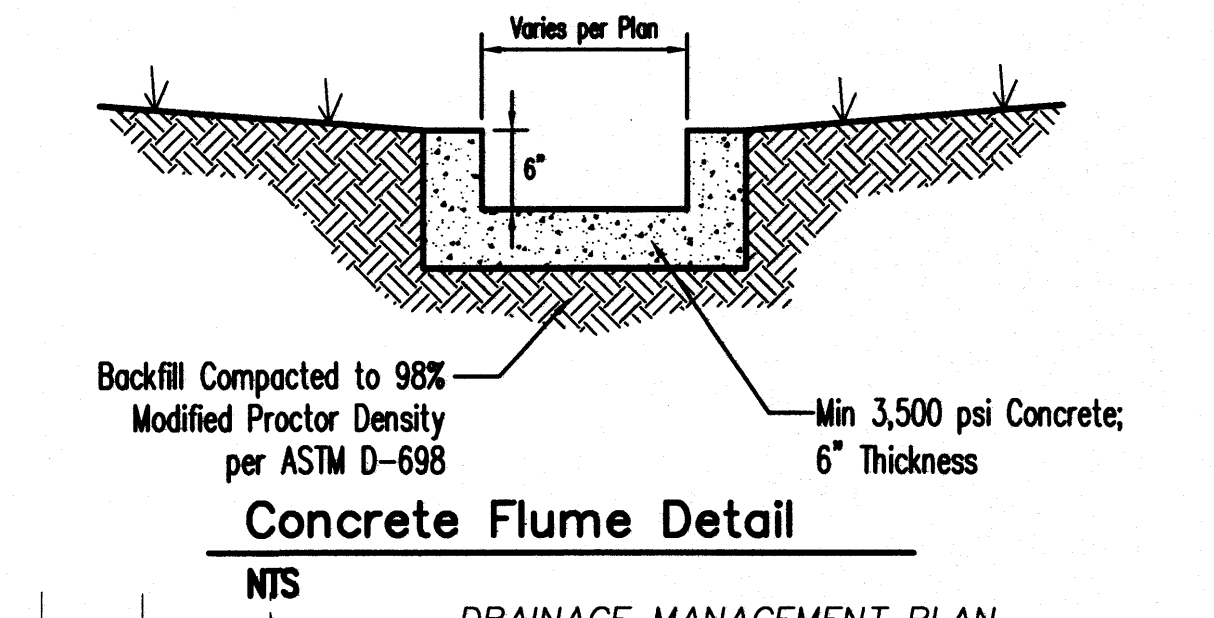
NEW DUNKIN DONUTS
2301 JUAN TABO BLVD NE
C1.1 - Grading Plan
PC NUMBER

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



GRADING NOTES

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DRAINAGE MANAGEMENT PLAN

INTRODUCTION
The purpose of this submittal is to provide a final grading plan and drainage management plan for the Redevelopment of 2301 Juan Tabo Blvd NE, located near the SWC of Juan Tabo and Menaul NW in Albuquerque, NM. The site contains approximately 0.77 acres.

EXISTING HYDROLOGIC CONDITIONS
The site currently consists of an existing office building and parking lot which drains via sheet flow from east to west with the natural slope of the foothills. There are three distinct drainage basins as shown on the plan and per the drainage calculations table this sheet. Basin A (0.06cfs/111CF) is a very small basin that drains to Juan Tabo. Basin B (3.63cfs/6,674CF) drains toward adjacent properties to the west and south into Tower Ave NE. Basin C (2.35cfs/4,539CF) drains to adjacent property to the west and then north to Menaul Blvd NE.

PROPOSED HYDROLOGIC CONDITIONS
The proposed site consists of a new Dunkin' Donuts building with associated parking, drive-thru lane, landscaping, and a new water harvesting pond. The site will continue to drain via sheet flow from east to west in conformance with the existing drainage basins and per the drainage calculations table this sheet.

Basin A (0.04cfs/63CF) will provide a reduction of 0.02 cfs (48CF) due to increased pervious area. We are calling out for the landscaped area to be depressed 6" below adjacent pavement so that there will be no direct runoff into Juan Tabo.

Basin B (3.78cfs/7,238CF) shows an increase of 0.15cfs (564CF) which is a minimal increase and could be ignored. However, we are providing a new water harvesting basin near the southwest corner of the site which will collect and store up to 3,686CF of stormwater. The overflow discharge from the pond will be via a variable width concrete flume which is 4' wide at the weir along the top of the embankment and will discharge into Tower Ave.

Basin C (2.44cfs/4,910CF) shows an increase of 0.09cfs (371CF) which is negligible and will not create any major negative impacts downstream. Due to topography constraints, we are not providing any water harvesting or detention systems within this basin. Basin C-1 will discharge out the driveway to Menaul Blvd NE at a rate of 2.33cfs. Basin C-2 will continue to discharge onto the neighboring property to the west at a reduced rate of 0.11cfs.

FIRST FLUSH CALCULATIONS
Per the First Flush Calculations on this sheet, the total First Flush Volume required to be collected for Basin B is 644 CF. The total First Flush for Basin C is 498 CF. The proposed water harvesting pond with a capacity of 3,686 CF per calculations this sheet which provides excess treatment within this basin. Due to existing steep topography and site development restraints within Basin C, we are not able to provide water harvesting within this basin.

CONCLUSION
This drainage management plan provides for grading and drainage elements which do not burden downstream systems, are capable of safely passing the 100 year storm, and meet city requirements. In addition, the proposed water harvesting pond will help treat stormwater runoff per the DPM. With this submittal, we are requesting Drainage Management Plan and Building Permit approval.

Existing Dunkin' Donuts Drainage Calculations											
This table is based on the COA DPM Section 22.2, Zone 14											
BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ft.)	Q(100) (CFS)	WTE (inches)	V(100)600 (CF)	V(100)1440 (CF)
A	521	0.01	0.0%	0.0%	30.0%	70.0%	4.79	0.06	2.29	99	111
B-1	27501	0.63	0.0%	0.0%	38.0%	62.0%	4.67	2.95	2.19	5023	5591
B-2	2881	0.06	0.0%	0.0%	90.0%	10.0%	3.88	0.24	1.56	353	361
B-3	4673	0.11	0.0%	0.0%	75.0%	25.0%	4.44	1.76	6.69	722	839
C-1	20130	0.46	0.0%	0.0%	27.0%	73.0%	4.94	2.34	2.32	3894	4364
C-2	1271	0.03	0.0%	0.0%	100.0%	0.0%	3.73	0.11	1.46	155	155
TOTAL	56777	1.30					6.03			10207	11325

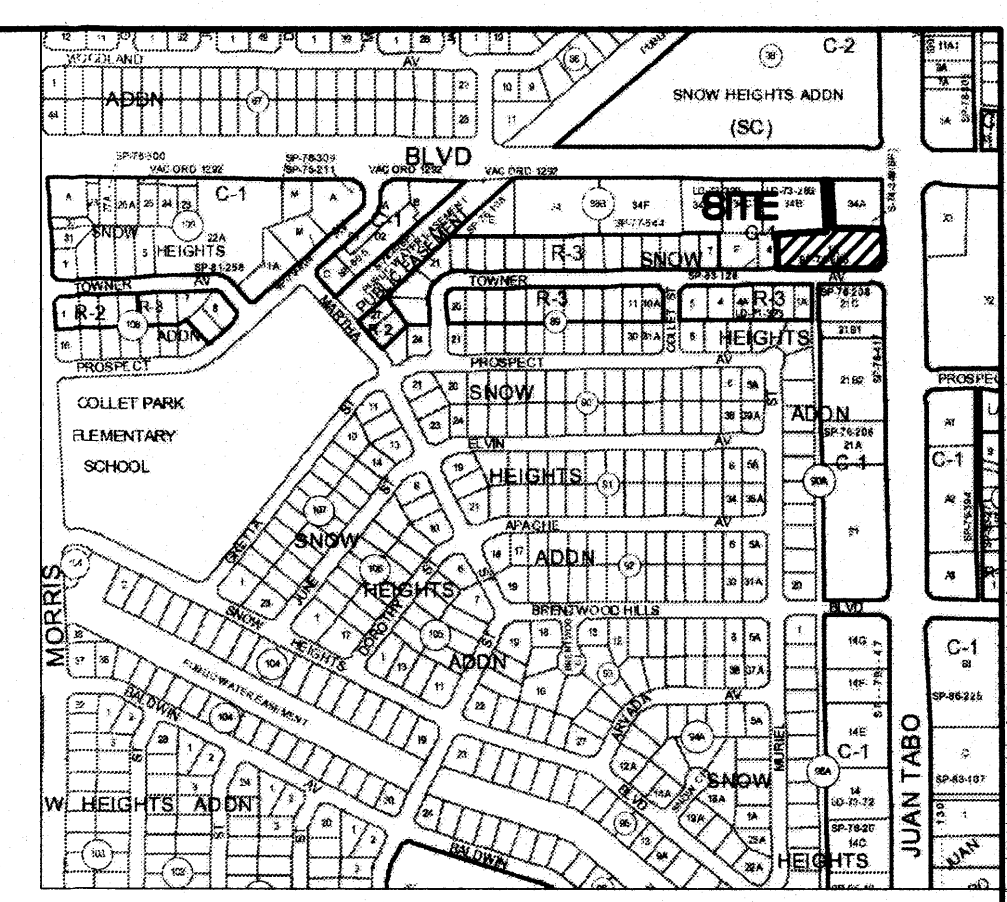
Proposed Dunkin' Donuts Drainage Calculations											
Ultimate Development Conditions Basin Data Table											
This table is based on the COA DPM Section 22.2, Zone 14											
BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ft.)	Q(100) (CFS)	WTE (inches)	V(100)600 (CF)	V(100)1440 (CF)
A	521	0.01	0.0%	0.0%	100.0%	0.0%	3.73	0.04	1.46	63	63
B-1	27501	0.63	0.0%	0.0%	27.0%	73.0%	4.84	3.06	2.32	5320	5989
B-2	2881	0.06	0.0%	0.0%	90.0%	10.0%	3.88	0.24	1.56	353	361
B-3	4673	0.11	0.0%	0.0%	48.0%	52.0%	4.52	1.87	2.07	807	888
C-1	20130	0.46	0.0%	0.0%	13.0%	87.0%	5.05	2.53	2.49	4171	4755
C-2	1271	0.03	0.0%	0.0%	100.0%	0.0%	3.73	0.11	1.46	155	155
TOTAL	56777	1.30					6.27			10889	12212

Wooten Engineering
1005 21st St SE, Suite B1
Rio Rancho, NM 87124
Phone: (505) 980-3560

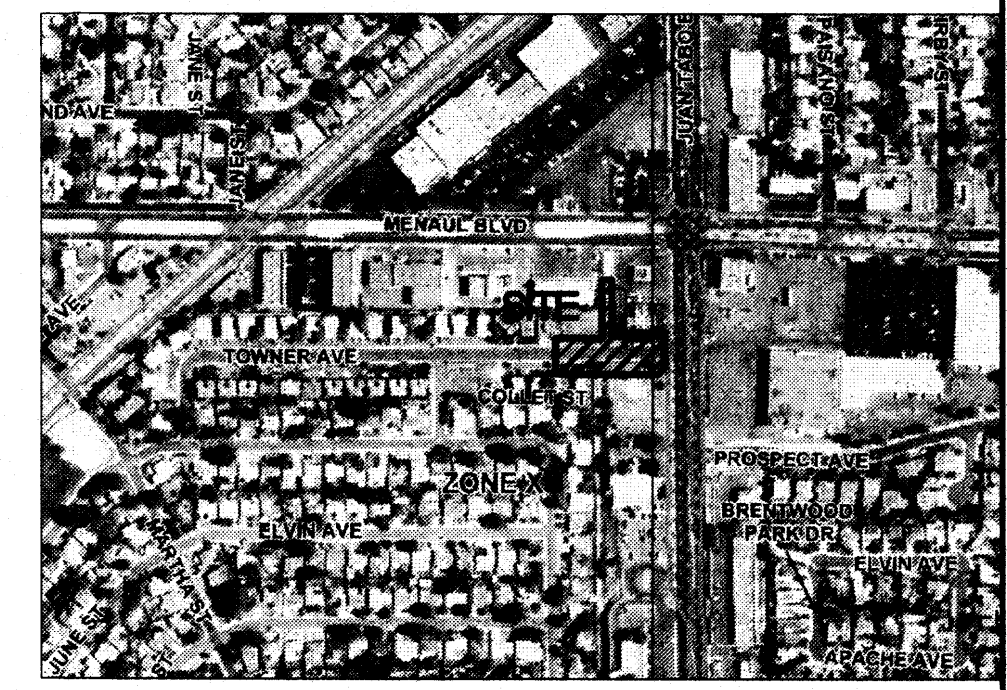
OVERFLOW SPILLWAY CALCULATIONS
WEIR EQUATION
 $Q = C \cdot L \cdot H^{1.5}$ where $C = 2.87$, $L = 4'$, $H = 0.5'$
 $Q = 2.87 \cdot 4 \cdot (0.5)^{1.5}$
 $Q = 2.87 \cdot 4 \cdot 0.3536$
 $Q_{cap} = 4.06$ cfs
 $Q_{reqd} = 3.78$ cfs CHECK

POND VOLUME CALCULATIONS
CONTOUR ELEVATION AREA (SF) VOLUME (CF)
5595.00 2,458 SF 2,136 CF
5594.00 1,814 SF 1,550 CF
5593.00 1,286 SF 3,686 CF
TOTAL
NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

FIRST FLUSH CALCULATIONS
BASIN A
IMPERVIOUS AREA: 0 SF
FIRST FLUSH = $0 \cdot 0.34' / 12 = 0$ CF
BASIN B
IMPERVIOUS AREA: 22,719 SF
FIRST FLUSH = $22,719 \cdot 0.34' / 12 = 644$ CF
BASIN C
IMPERVIOUS AREA: 17,591 SF
FIRST FLUSH = $17,591 \cdot 0.34' / 12 = 498$ CF



VICINITY MAP ZONE ATLAS PAGE: H-21
LEGAL DESCRIPTION:
SNOW HEIGHTS ADDITION, PARCEL 1-A, BLOCK 88-B



FFRM MAP 35001C0357H
Per FIRM Map 35001C0357H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

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MODULUS ARCHITECTS

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JEFFREY TODD WOOTEN
ARCHITECT
NEW MEXICO
16892
12/21/2015

SET REVISIONS		DATE	SCALE	AS SHOWN	JTW	JTW	JTW
NO DESCRIPTION	1	11-13-15					
SHEET REVISIONS							

NEW DUNKIN' DONUTS
2301 JUAN TABO BLVD NE

PC NUMBER

C1.1 - Grading Plan

TRAFFIC CIRCULATION LAYOUT
APPROVED
2/12/14

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

EXISTING EASEMENT NOTES:

1. EXISTING 10' UTILITY EASEMENT (12/31/1954, D1-112).
2. EXISTING 10' UTILITY EASEMENT (12/31/54, D1-112) QUITCLAIM DEED FROM PNM (6/21/72, D921-95), WAIVER AND RELEASE FROM PNM (THE EAST 140' OF SAID EASEMENT) (2/1/80, MISC. 780, PG. 29) AND QUITCLAIM DEED FROM MST&T COMPANY (1/31/80, D113A-708).
3. EXISTING 22' EASEMENT RESERVED FOR ANY EXISTING UTILITIES (12/23/97, MISC. 24-73).

BUILDING & PARKING DATA			
BUILDING AREA:		# SEATS	AREA (SQUARE FEET)
DUNKIN DONUTS RESTAURANT		28	2,485 SF
OFFICE (SECOND FLOOR)		N/A	628 SF
TOTAL AREA		28	3,394 SF
PARKING REQUIREMENTS:			
	RATIO	REQUIRED	PROVIDED
DUNKIN DONUTS RESTAURANT	1/4 SEATS	7 SPACES	21 SPACES
OFFICE (SECOND FLOOR)	1/300 SF	4 SPACES	4 SPACES
ACCESSIBLE PARKING FOR 11 REQUIRED SPACES		1 SPACE	1 SPACE
ACCESSIBLE VAN PARKING FOR 11 REQUIRED SPACES		1 SPACE	1 SPACE
TOTAL		11 SPACES	27 SPACES

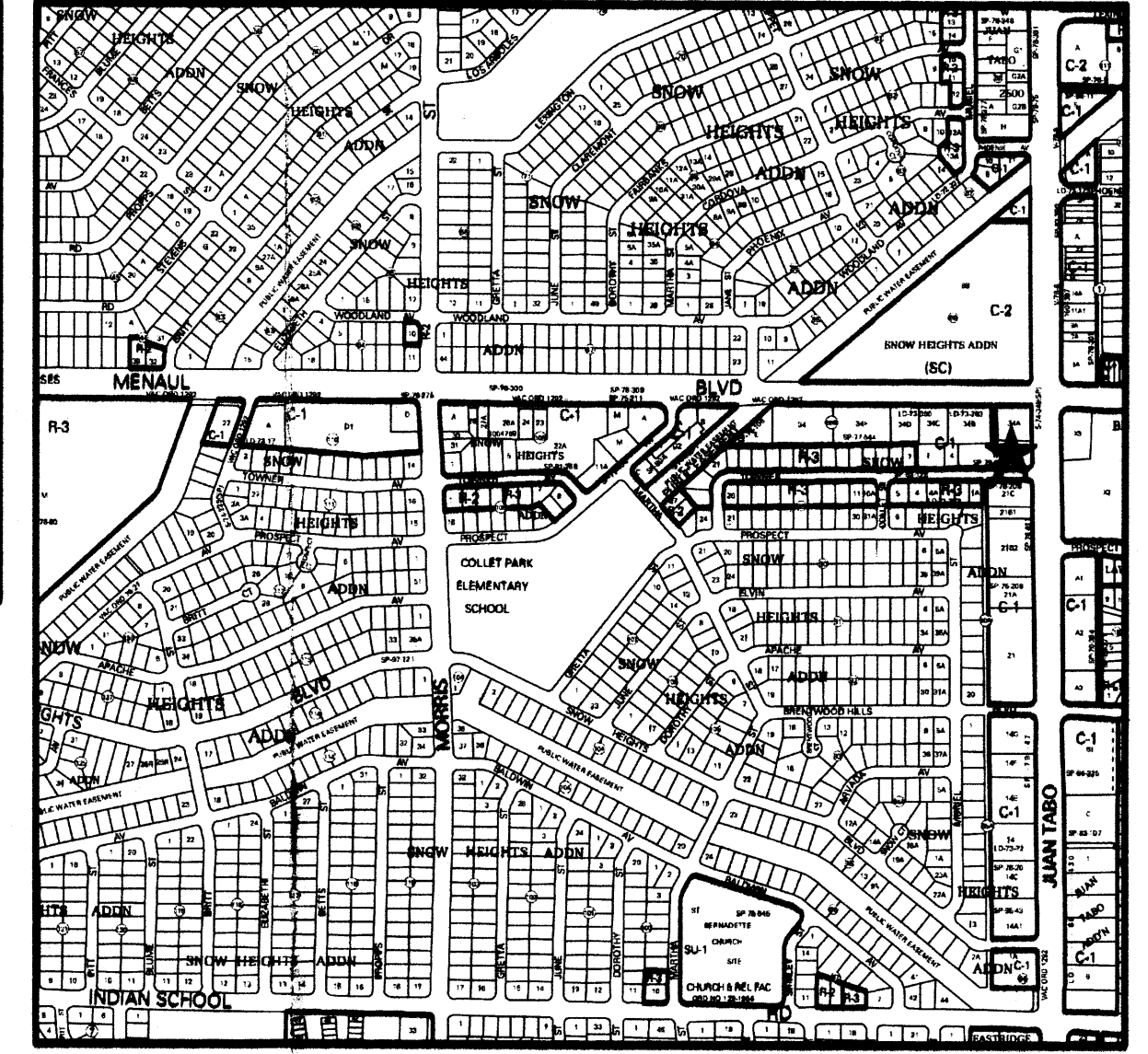
ADDITIONAL PARKING REQUIREMENTS:
1 MOTORCYCLE SPACE REQUIRED AND 1 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED

LEGEND:

- PROPOSED SIDEWALK JOINTS
- PROPOSED 15% ON-SITE LANDSCAPE AREA REQUIRED = 4,870 SF, 9,250 SF PROVIDED, SEE LS-01
- PROPOSED CURB RAMP
- EXISTING CONCRETE CURB/PAVING
- PROPOSED CONCRETE CURB/PAVING
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

KEYED NOTES CONTINUED:

25. PROPOSED ILLUMINATED "ENTER" DIRECTIONAL SIGN.
26. PROPOSED ILLUMINATED "PICK UP WINDOW" DIRECTIONAL SIGN.
27. WHEEL STOP. SEE DETAIL 4/SP-5.
28. PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 1/SP-5.
29. PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 2/SP-5.
30. PROPOSED "DO NOT STOP OR BLOCK THIS AREA" SIGN. SEE DETAIL 12/SP-2.
31. CLEAR SIGHT TRIANGLE. "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 3 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA."
32. EXISTING 4' CMU BLOCK WALL WITH WOOD SLAT FENCING ABOVE. TO REMAIN AS BUFFER ALONG RESIDENTIAL ZONE.



VICINITY MAP

SITE DATA:

LEGAL DESCRIPTION: SNOW HEIGHTS ADDITION, PARCEL 1-A, BLOCK 88-B
UPC: 10210595002442324
ADDRESS: 2301 JUAN TABO BLVD. NE
PROPERTY AREA: 0.77 ACRES
CURRENT ZONING: C-1 (SC)
BUILDING AREA: PROPOSED DUNKIN DONUTS RESTAURANT = 3,394 SF

KEYED NOTES:

1. PROPOSED REFUSE ENCLOSURE. SEE SITE DETAIL SHEET SP-4.
2. PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLAN.
3. PROPOSED 6" HIGH CONCRETE CURB. SEE DETAIL 5/SP-5.
4. PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 3/SP-5.
5. PROPOSED ACCESSIBLE PARKING SYMBOL. PAVEMENT MARKING.
6. PROPOSED ACCESSIBLE PARKING SIGN - WALL MOUNTED.
7. PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED.
8. PROPOSED CONCRETE SIDEWALK. SEE DETAIL 6 & 7/SP-5.
9. PROPOSED 4" WIDE PAVEMENT STRIPING.
10. PROPOSED ASPHALT PAVEMENT.
11. PROPOSED MOTORCYCLE PARKING SIGN. SEE DETAIL 10/SP-2.
12. PROPOSED CONCRETE PAVEMENT @ DRIVE-THRU. SEE DETAIL 6/SP-2.
13. PROPOSED CONCRETE PEDESTRIAN CONNECTION.
14. NEW CONCRETE DRIVEPAD PER C.O.A. STD. DETAIL 2425.
15. EXISTING FREE STANDING SIGN TO BE REFACED AND PERMITTED BY SIGN SUPPLIER. SIGN SUPPLIER TO FOLLOW C.O.A. ZONING AND PERMITTING REQUIREMENTS.
16. NEW PRIVATE ENTRANCE PER C.O.A. STD. DETAIL 2426.
17. EXISTING FIRE HYDRANT TO REMAIN.
18. EXISTING SIDEWALK TO REMAIN. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER PER C.O.A. STD. DETAILS 2430 & 2415A.
19. EXISTING ACCESS DRIVEWAY TO REMAIN.
20. PROPOSED "DO NOT ENTER" PAVEMENT MARKING AND SIGN. SEE DETAIL 11/SP-2.
21. PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
22. PROPOSED OUTDOOR PATIO. SEE DETAIL #1 SHEET SP-4.
23. PROPOSED 2-BIKE CAPACITY HOOP RACK. SEE DETAIL 9/SP-2.
24. PROPOSED ILLUMINATED "EXIT" DIRECTIONAL SIGN.

FINISH MATERIAL SCHEDULE - Traffic Striping Paint

Checked: 12/18/2014				
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS
TP-01	PAINT	SHERWIN WILLIAMS	Pro Park	"White". 897V02484
TP-02	PAINT	SHERWIN WILLIAMS	Pro Park	"Blue". 897L02022
TP-03	PAINT	SHERWIN WILLIAMS	Pro Park	"Yellow". 897Y02487
TP-04	PAINT	SHERWIN WILLIAMS	Pro Park	"Orange". Custom Mix 897Y02487 CC# Colors: 02 52 64 128 W1-White - 6 1 --- R4-New red - 4 53 1 --- Y2-Deep Gold - 05 - 1
TP-05	PAINT	SHERWIN WILLIAMS	Pro Park	"Pink". Custom Mix 897Y02487 CC# Colors: 02 52 64 128 W1-White - 6 --- --- L1-Blue - 6 --- ---

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MODULUS
ARCHITECTS

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
REGISTERED ARCHITECT
No. 4218
01-08-16

SET REVISIONS		DATE	01-21-16
NO	DESCRIPTION	DATE	AS SHOWN
1	INITIAL ISSUE	4-1-13	SCALE
2	DMB UPDATE	7-2-13	MT
3	GENERAL UPDATES	2-10-14	CDC
SHEET REVISIONS		DATE	SAD
1	ADDENDUM #2	01-26-16	APPD
2	ADDENDUM #3	02-10-16	

NEW DUNKIN DONUTS
2301 JUAN TABO BLVD NE

SITE PLAN, SITE DATA
AND TCL

PC NUMBER

SP-1

TRAFFIC CIRCULATION LAYOUT APPROVED

[Signature] 2/12/16
Signed Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

EXISTING EASEMENT NOTES:

- EXISTING 10' UTILITY EASEMENT (12/31/1954, D1-112).
- EXISTING 10' UTILITY EASEMENT (12/31/54, D1-112) QUITCLAIM DEED FROM PNM (6/21/72, D921-95), WAIVER AND RELEASE FROM PNM (THE EAST 140' OF SAID EASEMENT) (2/1/80, MISC. 780, PG. 29) AND QUITCLAIM DEED FROM MST&T COMPANY (1/31/80, D113A-708).
- EXISTING 22' EASEMENT RESERVED FOR ANY EXISTING UTILITIES (12/23/57, MISC. 24-73).

BUILDING & PARKING DATA

BUILDING AREA:	# SEATS	AREA (SQUARE FEET)	
DUNKIN DONUTS RESTAURANT	28	2,465 SF	
OFFICE (SECOND FLOOR)	N/A	920 SF	
TOTAL AREA	28	3,384 SF	
PARKING REQUIREMENTS:	RATIO	REQUIRED	PROVIDED
DUNKIN DONUTS RESTAURANT	1/4 SEATS	7 SPACES	21 SPACES
OFFICE (SECOND FLOOR)	1/200 SF	4 SPACES	4 SPACES
ACCESSIBLE PARKING FOR 11 REQUIRED SPACES	--	1 SPACE	1 SPACE
ACCESSIBLE VAN PARKING FOR 11 REQUIRED SPACES		1 SPACE	1 SPACE
TOTAL		11 SPACES	27 SPACES

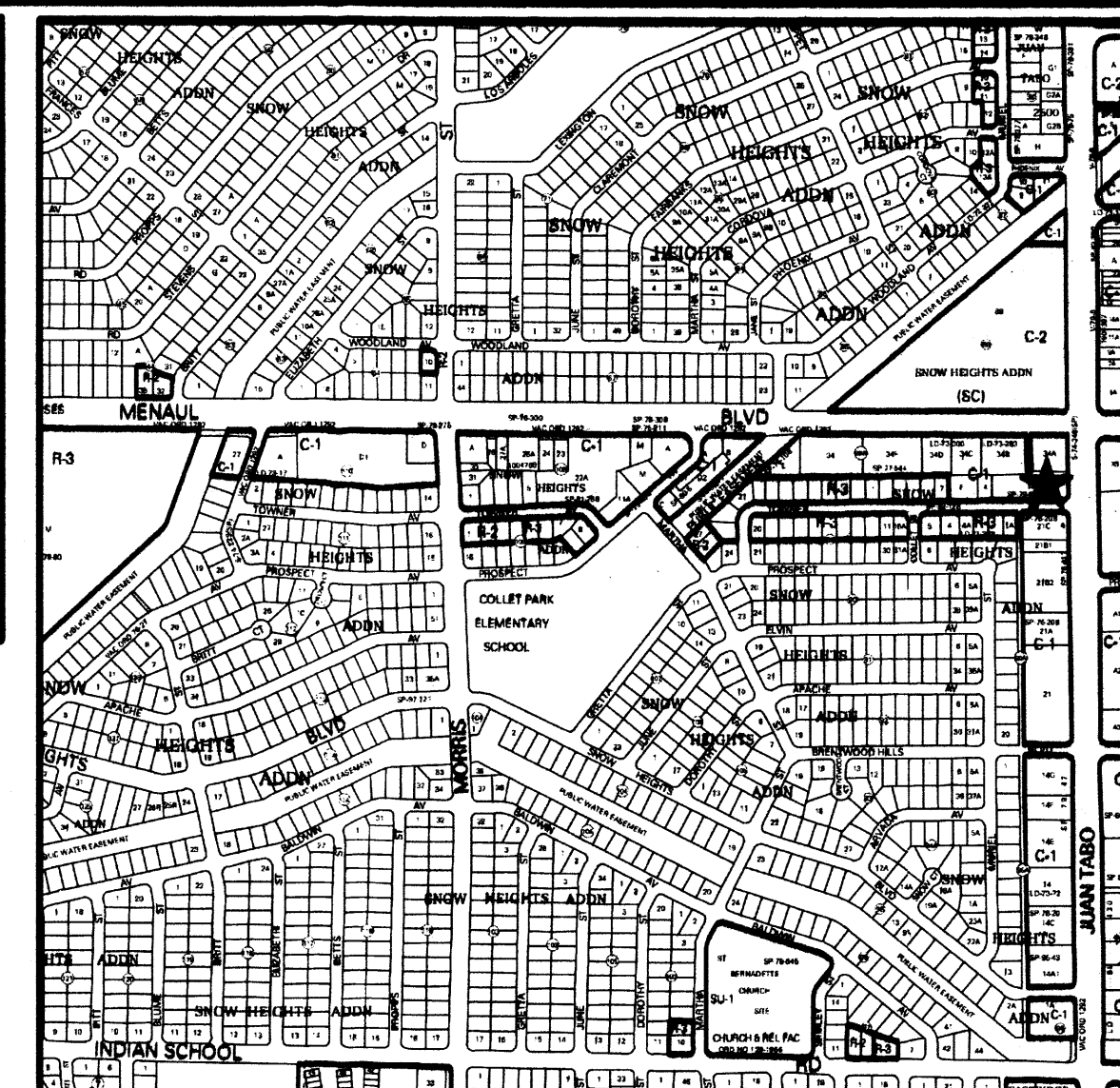
ADDITIONAL PARKING REQUIREMENTS:
1 MOTORCYCLE SPACE REQUIRED AND 1 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED

LEGEND:

- PROPOSED SIDEWALK JOINTS
- PROPOSED 15% ON-SITE LANDSCAPE AREA REQUIRED = 4,870 SF, 9,250 SF PROVIDED, SEE LS-01
- PROPOSED CURB RAMP
- EXISTING CONCRETE CURB/PAVING
- PROPOSED CONCRETE CURB/PAVING
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

KEYED NOTES CONTINUED:

- PROPOSED ILLUMINATED "ENTER" DIRECTIONAL SIGN.
- PROPOSED ILLUMINATED "PICK UP WINDOW" DIRECTIONAL SIGN.
- WHEEL STOP. SEE DETAIL 4/SP-5.
- PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 1/SP-5.
- PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 2/SP-5.
- PROPOSED 4" CMU BLOCK WALL WITH WOOD SLAT FENCING ABOVE. TO REMAIN AS BUFFER ALONG RESIDENTIAL ZONE.
- CLEAR SIGHT TRIANGLE. "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA."
- EXISTING 4" CMU BLOCK WALL WITH WOOD SLAT FENCING ABOVE. TO REMAIN AS BUFFER ALONG RESIDENTIAL ZONE.



VICINITY MAP

SITE DATA:

LEGAL DESCRIPTION: SNOW HEIGHTS ADDITION, PARCEL 1-A, BLOCK 88-B
UPC: 10210595002442324
ADDRESS: 2301 JUAN TABO BLVD. NE
PROPERTY AREA: 0.77 ACRES
CURRENT ZONING: C-1 (SC)
BUILDING AREA:
PROPOSED DUNKIN DONUTS RESTAURANT = 3,394 SF

KEYED NOTES:

- PROPOSED REFUSE ENCLOSURE. SEE SITE DETAIL SHEET SP-4.
- PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLAN.
- PROPOSED 4" HIGH CONCRETE CURB. SEE DETAIL 3/SP-5.
- PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 3/SP-5.
- PROPOSED ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
- PROPOSED ACCESSIBLE PARKING SIGN - WALL MOUNTED.
- PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED.
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL 6 & 7/SP-5.
- PROPOSED 4" WIDE PAVEMENT STRIPING.
- PROPOSED ASPHALT PAVEMENT.
- PROPOSED MOTORCYCLE PARKING SIGN. SEE DETAIL 10/SP-5.
- PROPOSED CONCRETE PAVEMENT @ DRIVE-THRU. SEE DETAIL 8/SP-2.
- PROPOSED CONCRETE PEDESTRIAN CONNECTION.
- NEW CONCRETE DRIVEPAD PER C.O.A. STD. DETAIL 2425.
- EXISTING FREE STANDING SIGN TO BE REFACED AND PERMITTED BY SIGN SUPPLIER. SIGN SUPPLIER TO FOLLOW C.O.A. ZONING AND PERMITTING REQUIREMENTS.
- NEW PRIVATE ENTRANCE PER C.O.A. STD. DETAIL 2426.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING SIDEWALK TO REMAIN. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER PER C.O.A. STD. DETAILS 2430 & 2415A.
- EXISTING ACCESS DRIVEWAY TO REMAIN.
- PROPOSED "DO NOT ENTER" PAVEMENT MARKING AND SIGN. SEE DETAIL 11/SP-2.
- PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
- PROPOSED OUTDOOR PATIO. SEE DETAIL #1 SHEET SP-4.
- PROPOSED 2-BIKE CAPACITY HOOP RACK. SEE DETAIL 9/SP-2.
- PROPOSED ILLUMINATED "EXIT" DIRECTIONAL SIGN.

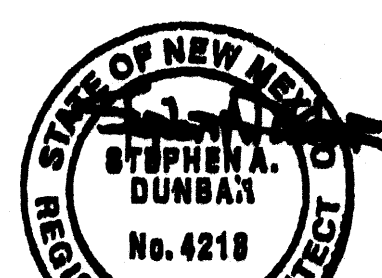
FINISH MATERIAL SCHEDULE - Traffic Striping Paint

CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS
TP-01	PAINT	SHERWIN WILLIAMS	Pro Park	"White", 897W02484
TP-02	PAINT	SHERWIN WILLIAMS	Pro Park	"Blue", 897W02023
TP-03	PAINT	SHERWIN WILLIAMS	Pro Park	"Yellow", 897W02487
TP-04	PAINT	SHERWIN WILLIAMS	Pro Park	"Orange", Custom Mix 897W02487 CCE* Colorant (Z 33 64 128 W1-White - 6 1 --- R4-New red 4 53 1 --- Y3-Deep Gold - 06 - 1
TP-05	PAINT	SHERWIN WILLIAMS	Pro Park	"Pink", Custom Mix 897W02012 CCE* Colorant (Z 33 64 128 W1-White - 6 --- --- L1-Blue - 6 --- ---

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MODULUS
ARCHITECTS



01-08-16

NO	DESCRIPTION	DATE	SCALE	AS SHOWN	DATE	SCALE	AS SHOWN	DATE	SCALE	AS SHOWN
1	INITIAL ISSUE	4-1-13	7-2-13							
2	DRAW UPDATE	7-2-13	7-2-13							
3	GENERAL UPDATES	2-10-14	2-10-14							
4	SHEET REVISIONS									
5	ADDENDUM #2	01-26-16	01-26-16							
6	ADDENDUM #3	02-10-16	02-10-16							

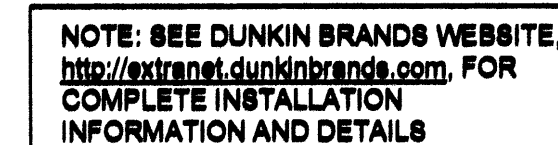
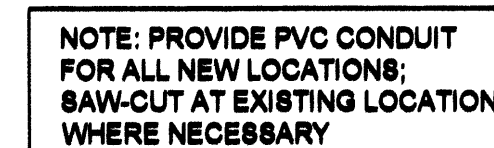
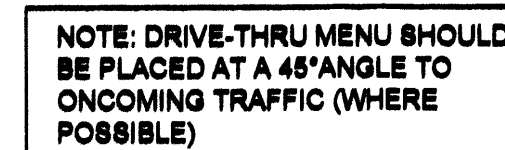
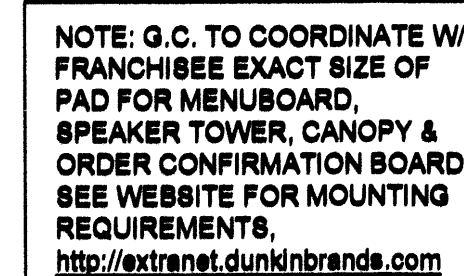
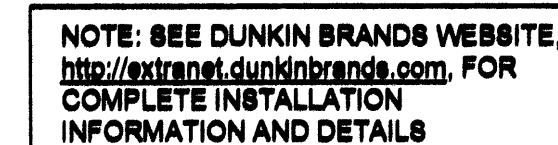
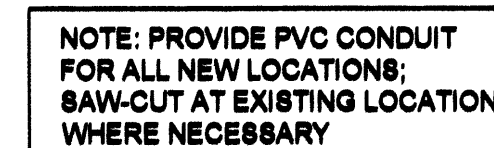
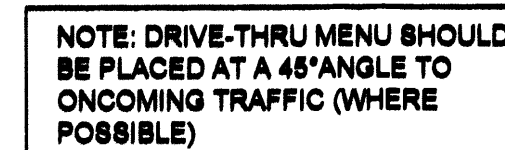
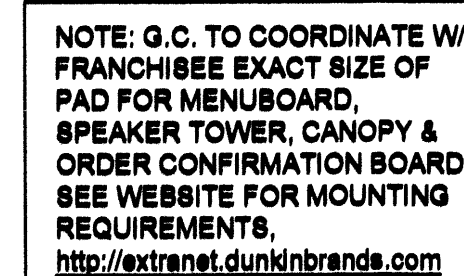
NEW DUNKIN DONUTS
2301 JUAN TABO BLVD NE

SITE PLAN, SITE DATA
AND TCL

PC NUMBER

SP-1

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



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MODULUS
ARCHITECTS

01-08-16

SET REVISIONS			DATE	01-21-16
NO	DESCRIPTION	DATE		
1	INITIAL ISSUE	4-1-13		
2	DMB UPDATE	7-2-13	SCALE	AS SHOWN
3	GENERAL UPDATES	2-10-14		
-	-	-	DRAWN	MT

SHEET REVISIONS			01-26-16	CDC
ADDENDUM #2			CMD	
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-	-	-		
-	-	-	APPD	SAD

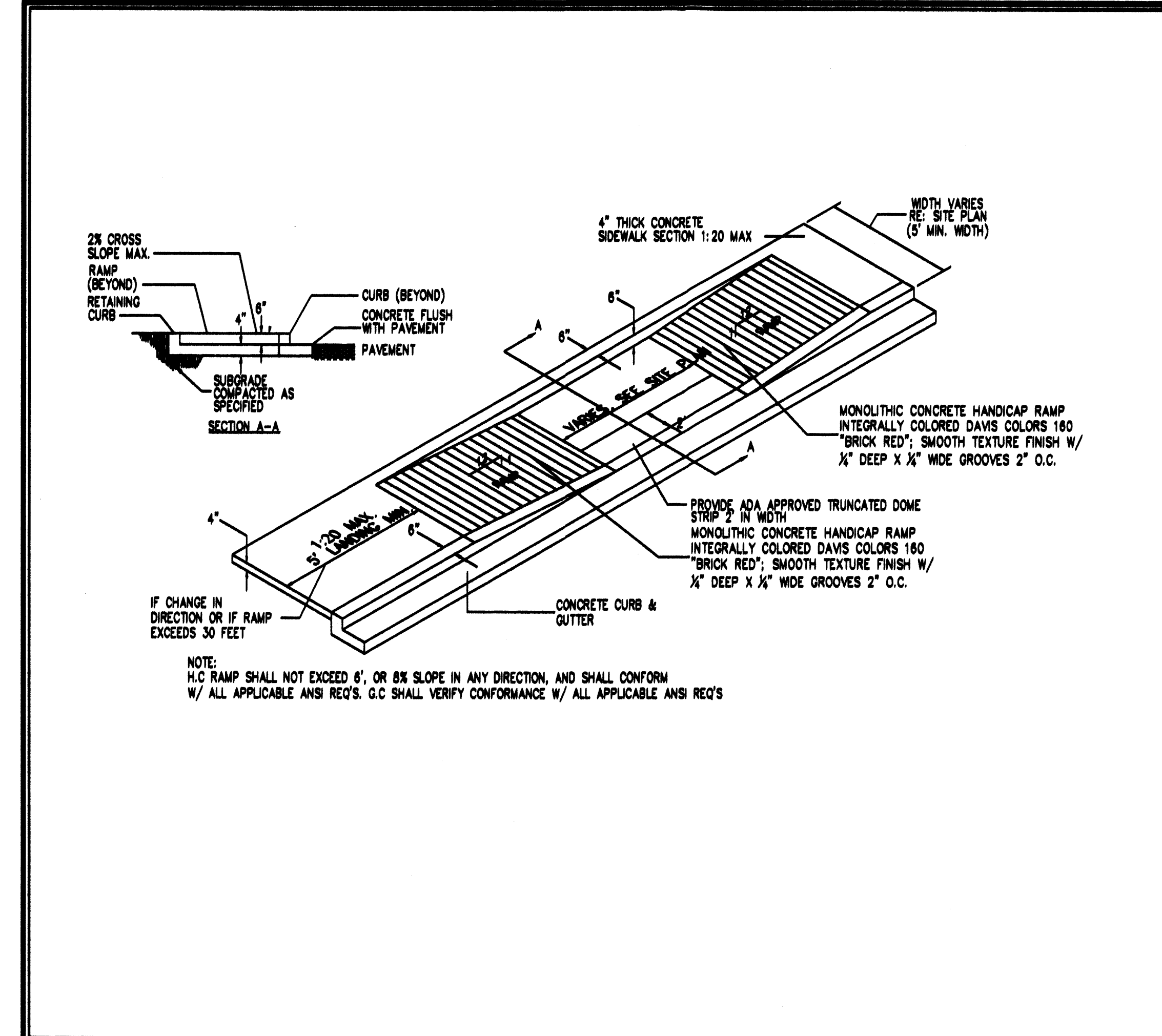
NEW DUNKIN DONUTS
22301 JUAN TABO BLVD NE

SITE DETAILS

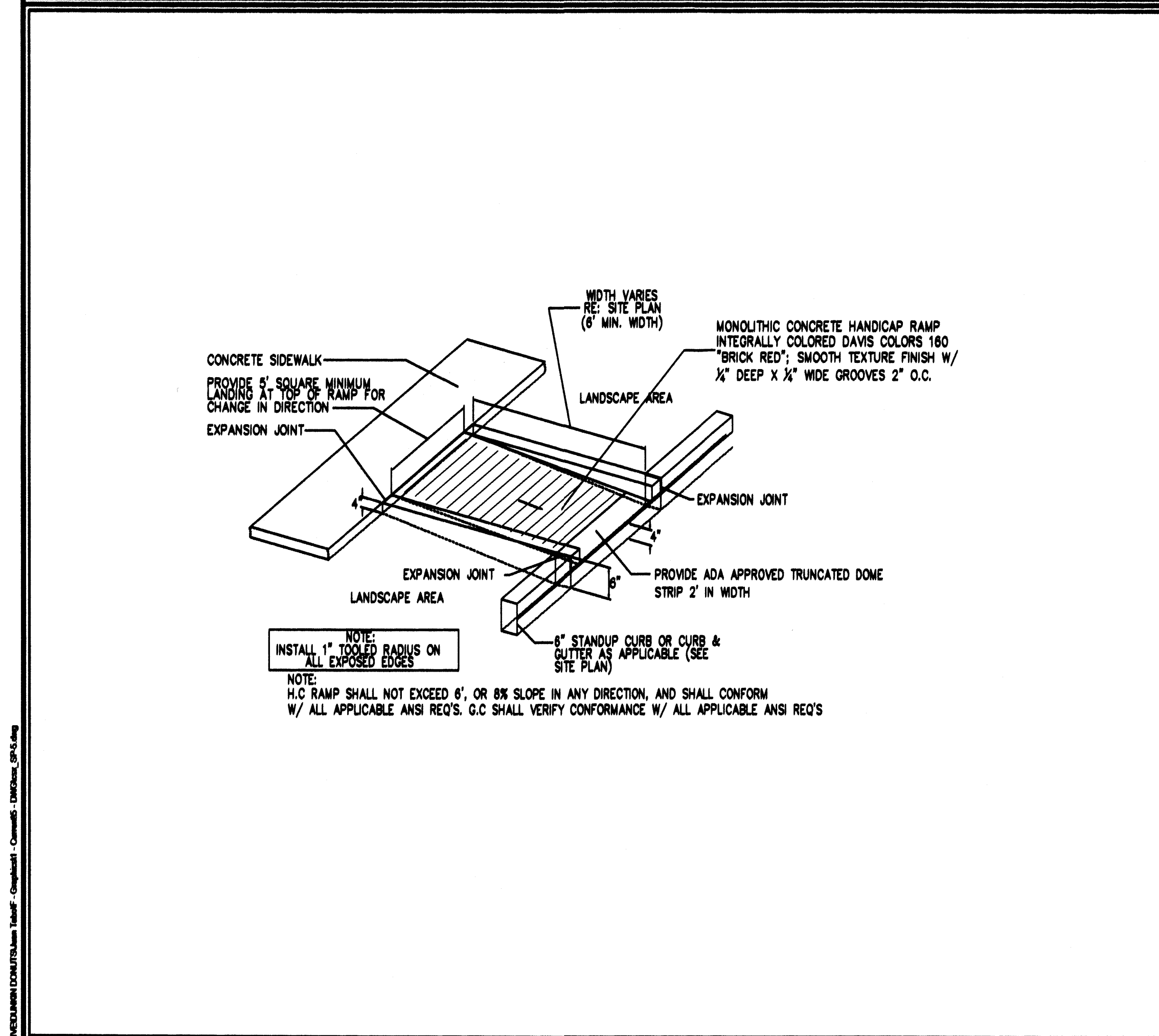
PC NUMBER

SP-2

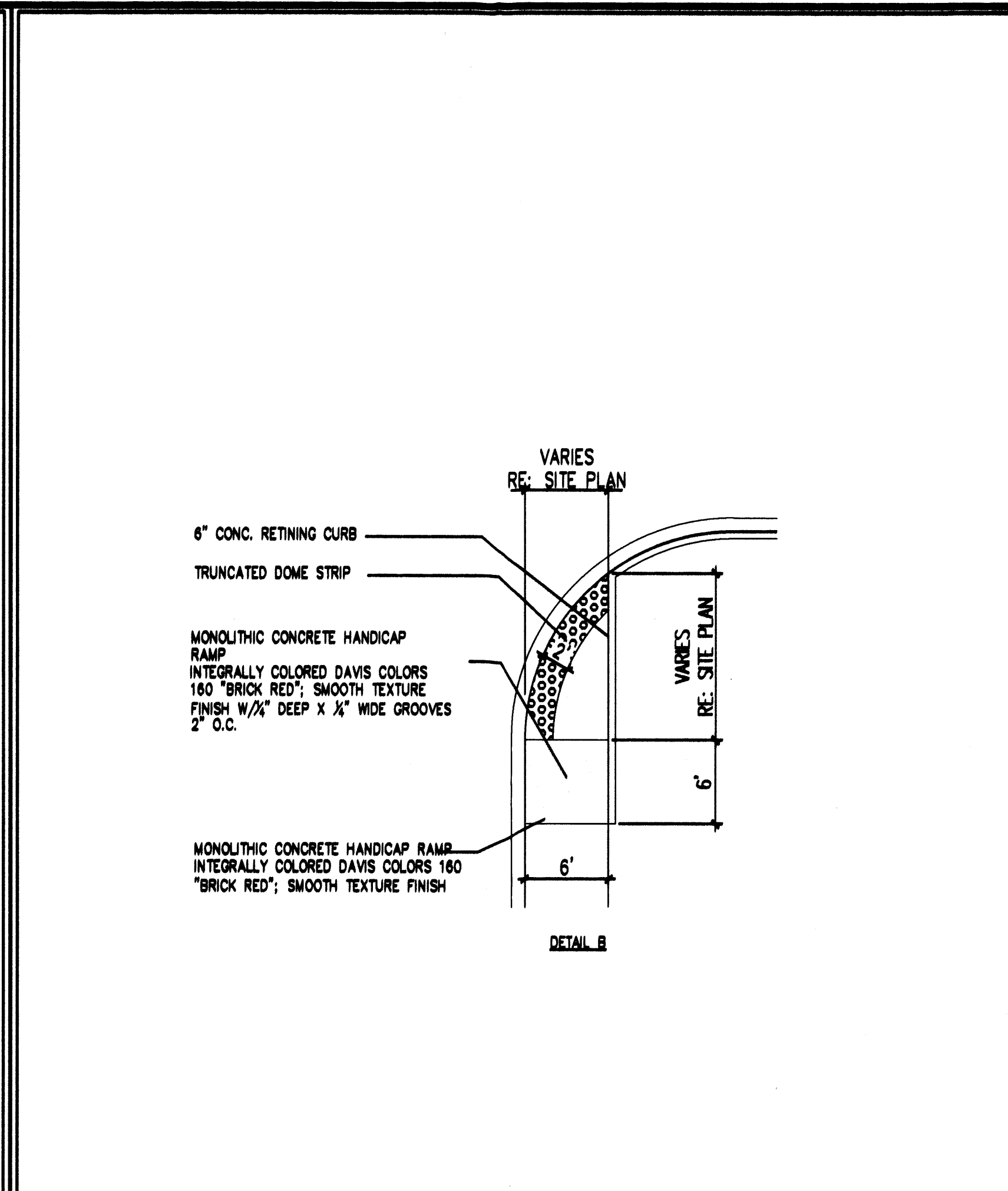
NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



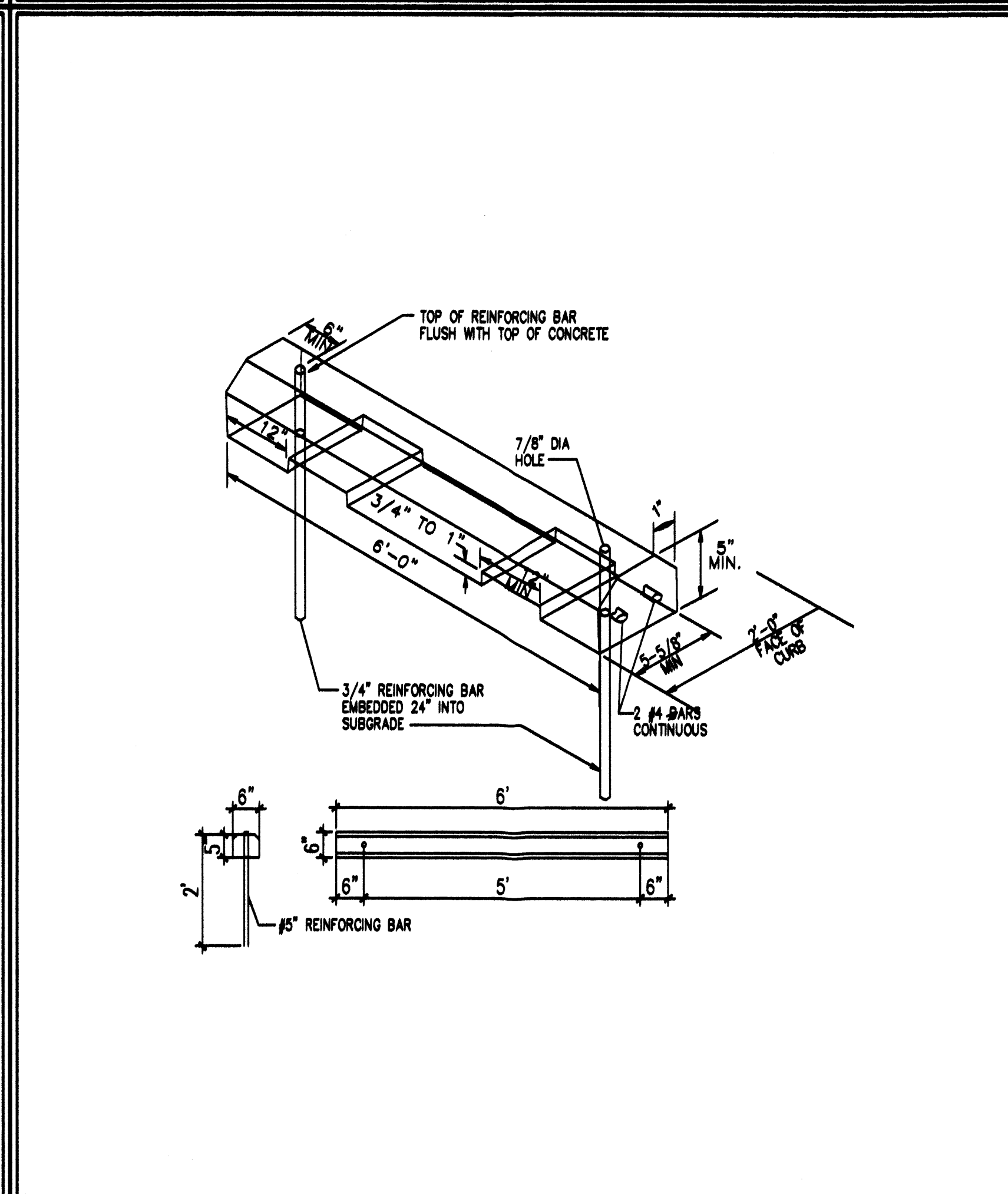
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N.T.S. NOTE:



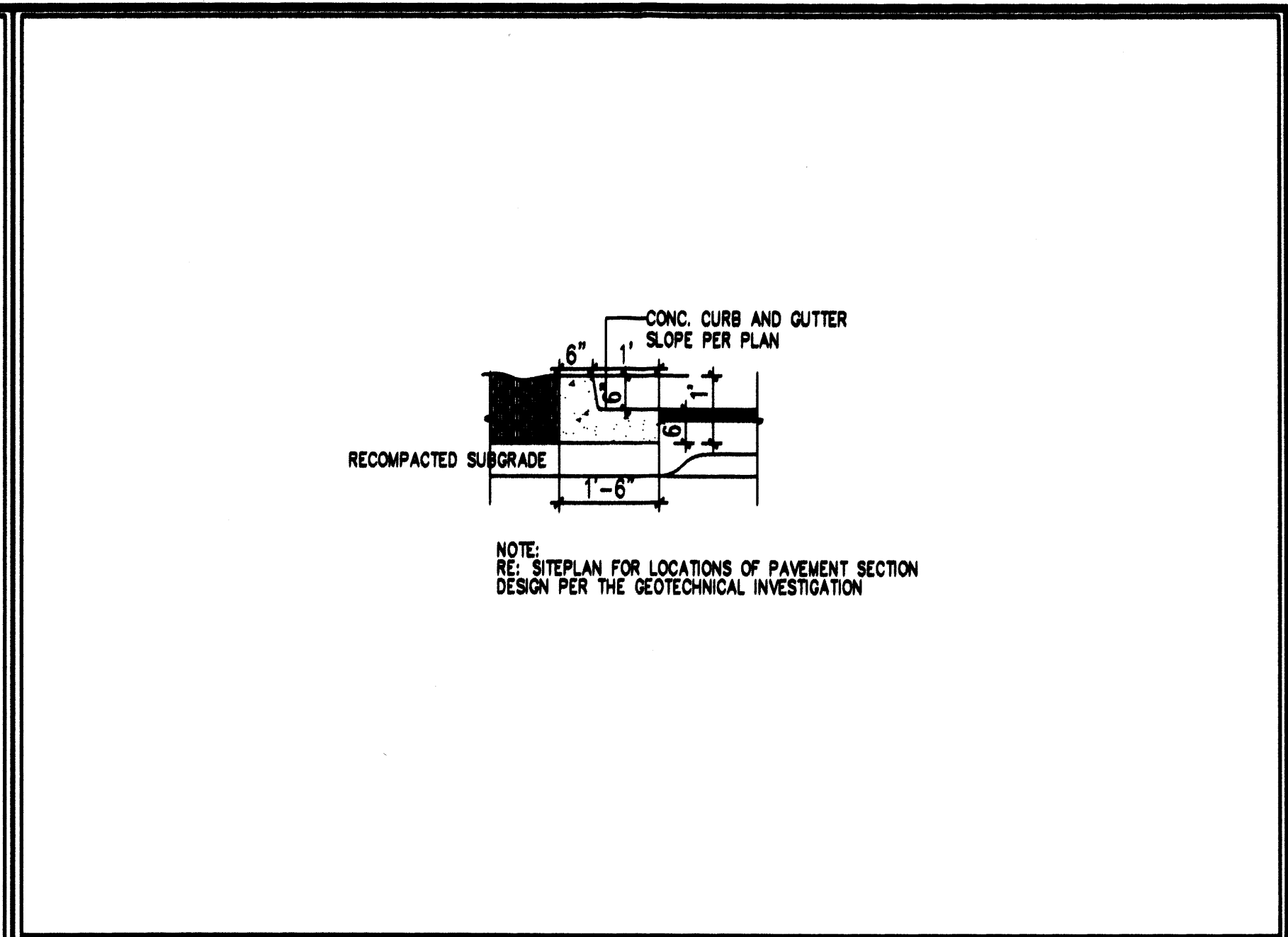
2 CURBED RAMP DETAIL
N.T.S. NOTE:



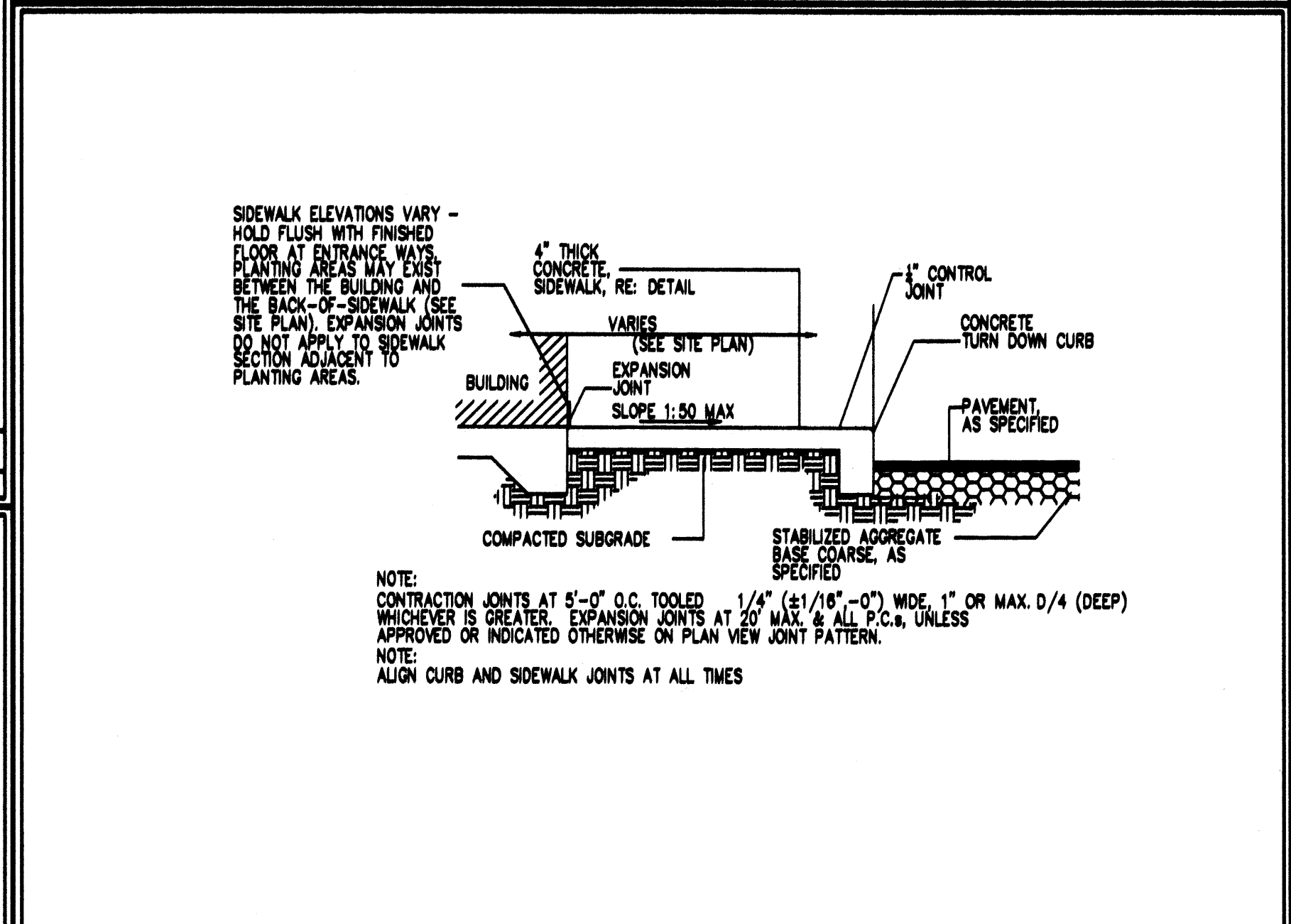
3 SIDEWALK CURBED RAMP DETAIL
N.T.S. NOTE:



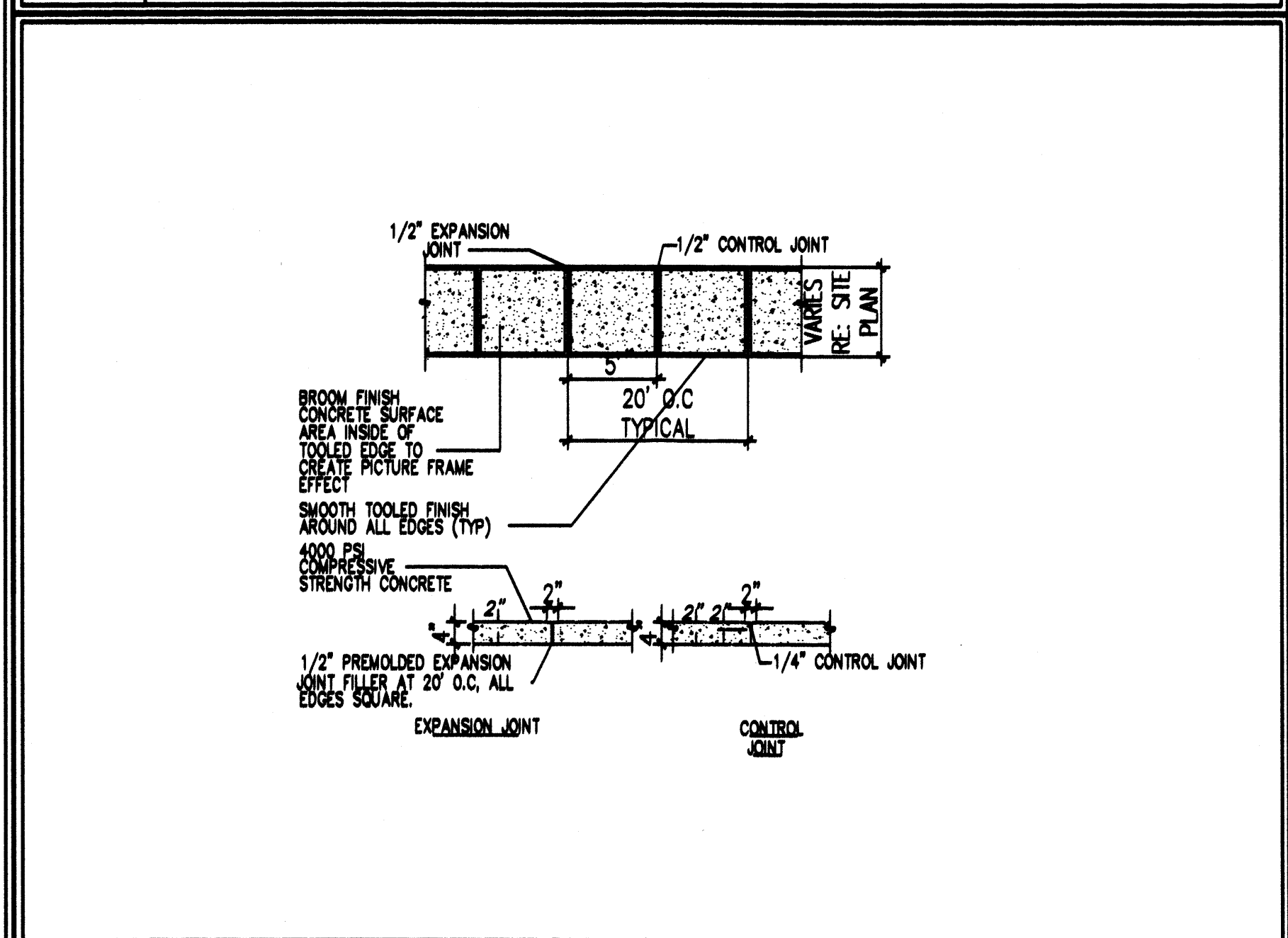
4 WHEEL STOP DETAIL
N.T.S. NOTE:



5 TYPICAL CURB DETAIL
N.T.S. NOTE:



6 SIDEWALK WITH TURNDOWN CURB SECTION
N.T.S. NOTE:



7 TYPICAL SIDEWALK DETAIL
N.T.S. NOTE:

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MODULUS
ARCHITECTS

STATE OF NEW YORK
STEPHEN A. DUNBAR
No. 4218
REGISTERED ARCHITECT
01-08-18

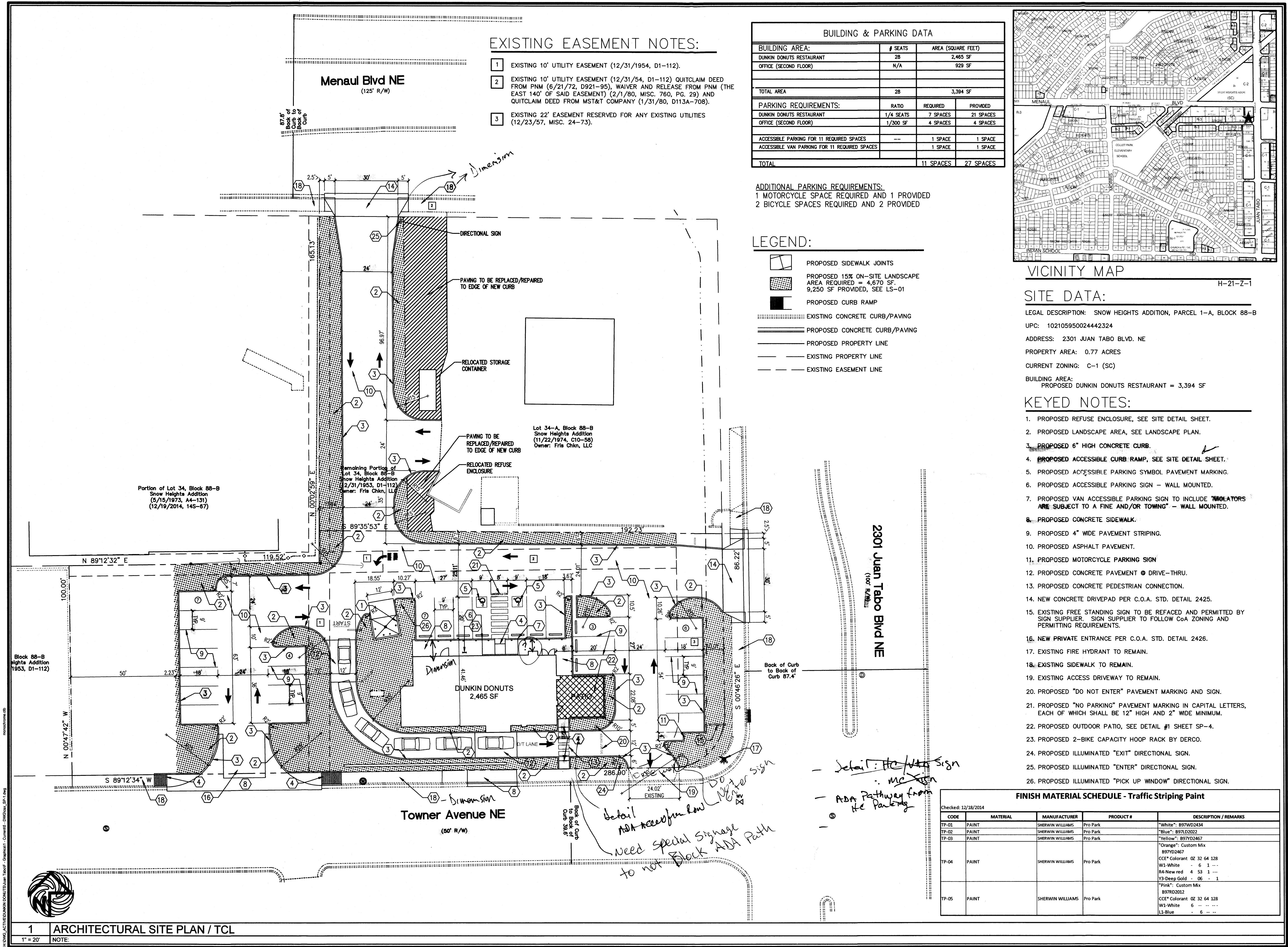
NO	DESCRIPTION	DATE	01-21-16
1	INITIAL ISSUE	4-1-13	AS SHOWN
2	DMB UPDATE	7-2-13	MT
3	GENERAL UPDATES	2-10-14	CDC
4	SHEET REVISIONS	01-26-16	SAD
5	ADDENDUM #2	-	APPD

NEW DUNKIN' DONUTS
2301 JUAN TABO BLVD NE

SITE DETAILS

PC NUMBER

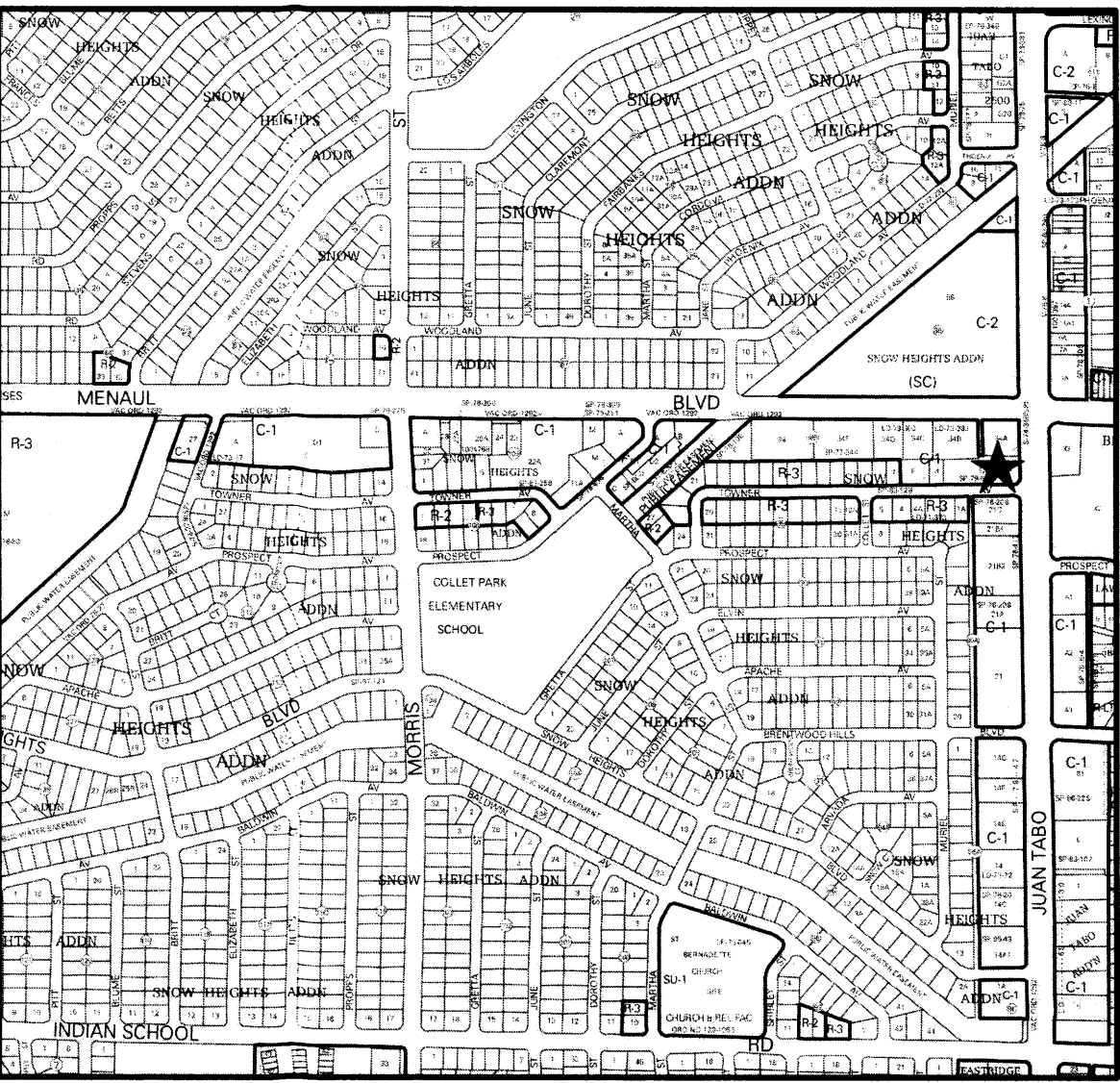
SP-5



BUILDING & PARKING DATA		
BUILDING AREA:	# SEATS	AREA (SQUARE FEET)
DUNKIN DONUTS RESTAURANT	28	2,465 SF
OFFICE (SECOND FLOOR)	N/A	929 SF
TOTAL AREA	28	3,394 SF
PARKING REQUIREMENTS:	RATIO	REQUIRED PROVIDED
DUNKIN DONUTS RESTAURANT	1/4 SEATS	7 SPACES 21 SPACES
OFFICE (SECOND FLOOR)	1/300 SF	4 SPACES 4 SPACES
ACCESSIBLE PARKING FOR 11 REQUIRED SPACES	---	1 SPACE 1 SPACE
ACCESSIBLE VAN PARKING FOR 11 REQUIRED SPACES	---	1 SPACE 1 SPACE
TOTAL		11 SPACES 27 SPACES

ADDITIONAL PARKING REQUIREMENTS:
1 MOTORCYCLE SPACE REQUIRED AND 1 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED

- LEGEND:
- PROPOSED SIDEWALK JOINTS
 - PROPOSED 15% ON-SITE LANDSCAPE AREA REQUIRED = 4,670 SF. 9,250 SF PROVIDED, SEE LS-01
 - PROPOSED CURB RAMP
 - EXISTING CONCRETE CURB/PAVING
 - PROPOSED CONCRETE CURB/PAVING
 - PROPOSED PROPERTY LINE
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT LINE



VICINITY MAP
H-21-Z-1

SITE DATA:
LEGAL DESCRIPTION: SNOW HEIGHTS ADDITION, PARCEL 1-A, BLOCK 88-B
UPC: 102105950024442324
ADDRESS: 2301 JUAN TABO BLVD. NE
PROPERTY AREA: 0.77 ACRES
CURRENT ZONING: C-1 (SC)
BUILDING AREA:
PROPOSED DUNKIN DONUTS RESTAURANT = 3,394 SF

- KEYED NOTES:
- PROPOSED REFUSE ENCLOSURE, SEE SITE DETAIL SHEET.
 - PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLAN.
 - PROPOSED 6" HIGH CONCRETE CURB.
 - PROPOSED ACCESSIBLE CURB RAMP, SEE SITE DETAIL SHEET.
 - PROPOSED ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
 - PROPOSED ACCESSIBLE PARKING SIGN - WALL MOUNTED.
 - PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING - WALL MOUNTED.
 - PROPOSED CONCRETE SIDEWALK.
 - PROPOSED 4" WIDE PAVEMENT STRIPING.
 - PROPOSED ASPHALT PAVEMENT.
 - PROPOSED MOTORCYCLE PARKING SIGN
 - PROPOSED CONCRETE PAVEMENT @ DRIVE-THRU.
 - PROPOSED CONCRETE PEDESTRIAN CONNECTION.
 - NEW CONCRETE DRIVEPAD PER C.O.A. STD. DETAIL 2425.
 - EXISTING FREE STANDING SIGN TO BE REFACED AND PERMITTED BY SIGN SUPPLIER. SIGN SUPPLIER TO FOLLOW CoA ZONING AND PERMITTING REQUIREMENTS.
 - NEW PRIVATE ENTRANCE PER C.O.A. STD. DETAIL 2426.
 - EXISTING FIRE HYDRANT TO REMAIN.
 - EXISTING SIDEWALK TO REMAIN.
 - EXISTING ACCESS DRIVEWAY TO REMAIN.
 - PROPOSED "DO NOT ENTER" PAVEMENT MARKING AND SIGN.
 - PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
 - PROPOSED OUTDOOR PATIO, SEE DETAIL #1 SHEET SP-4.
 - PROPOSED 2-BIKE CAPACITY HOOP RACK BY DERCO.
 - PROPOSED ILLUMINATED "EXIT" DIRECTIONAL SIGN.
 - PROPOSED ILLUMINATED "ENTER" DIRECTIONAL SIGN.
 - PROPOSED ILLUMINATED "PICK UP WINDOW" DIRECTIONAL SIGN.

FINISH MATERIAL SCHEDULE - Traffic Striping Paint				
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS
TP-01	PAINT	SHERWIN WILLIAMS	Pro Park	"White": B97W02434
TP-02	PAINT	SHERWIN WILLIAMS	Pro Park	"Blue": B97L02022
TP-03	PAINT	SHERWIN WILLIAMS	Pro Park	"Yellow": B97Y02467
TP-04	PAINT	SHERWIN WILLIAMS	Pro Park	"Orange": Custom Mix B97Y02467 CCE* Colorant 02 32 64 128 W1-White - 6 1 --- R4-New red - 4 53 1 --- Y3-Deep Gold - 06 - 1
TP-05	PAINT	SHERWIN WILLIAMS	Pro Park	"Pink": Custom Mix B97R02012 CCE* Colorant 02 32 64 128 W1-White - 6 --- --- L1-Blue - 6 --- ---

STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNBAR
No. 4218

01-06-16

NO	DESCRIPTION	DATE	DATE	SCALE	AS SHOWN	MT	CKD	APPD
1	INITIAL ISSUE	4-1-13		7-2-13				
2	DMB UPDATE			2-10-14				
3	GENERAL UPDATES							
				SHEET REVISIONS				
				DATE				
				01-06-16				

NEW DUNKIN DONUTS
2301 JUAN TABO BLVD NE

SITE PLAN, SITE DATA
AND TCL

PC NUMBER

SP-1