

CITY OF ALBUQUERQUE



February 11, 2016

Martin Tapia
Modulus Architects
220 Copper Ave, NW Ste. 350
Albuquerque, NM 87102

Re: Dunkin Donuts
2301 Juan Tabo Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 1-8-16 (H21-D051)

Dear Mr. Tapia,

The TCL submittal received 2-116 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Dunkin Donuts Building Permit #: _____ City Drainage #: H21D051
DRB#: N/A EPC#: N/A Work Order#: N/A
Legal Description: Snow Heights addition, Parcel 1-A, Block 88-B
City Address: 2301 Juan Tabo Blvd. NE

Engineering Firm: Wooten Engineering Contact: Jeff Wooten
Address: 1005 21st St SE, Suite B1 Rio Rancho, NM 87124
Phone#: 505-980-3560 Fax#: _____ E-mail: Jeffwooten.pe@gmail.com

Owner: NMR, LLC. Contact: Murad Fazal
Address: 17W662 Butterfield Road, suite 305, Oakbrook Terrace, IL. 60181
Phone#: 312-578-1888 ext.102 Fax#: _____ E-mail: meradf@rdngroup.com, ahabib@zjgroup.net

Architect: Modulus Architects Contact: Martin Tapia
Address: 220 Copper Ave NW, Ste. 350 Albuquerque, NM 87102
Phone#: 505-338-1499 Fax#: _____ E-mail: mtapia@modulusarchitects.com

Other Contact: Modulus Architects Contact: Craig Calvert
Address: 220 Copper Ave NW, Ste. 350 Albuquerque, NM 87102
Phone#: 505-338-1499 Fax#: _____ E-mail: CCalvert@modulusarchitects.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ Resub TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

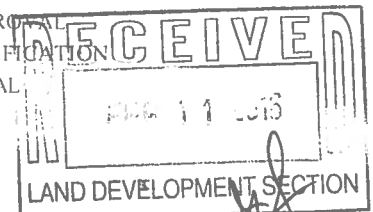
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 02/11/2016 By: Martin Tapia

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



1 ARCHITECTURAL SITE PLAN / TCL

1" = 20'

NOTE:

EXISTING EASEMENT NOTES:

- 1 EXISTING 10' UTILITY EASEMENT (12/31/1954, D1-112).
- 2 EXISTING 10' UTILITY EASEMENT (12/31/54, D1-112) QUITCLAIM DEED FROM PNM (6/21/72, D921-95), WAIVER AND RELEASE FROM PNM (THE EAST 140' OF SAID EASEMENT) (2/1/80, MISC. 760, PG. 29) AND QUITCLAIM DEED FROM MST&T COMPANY (1/31/80, D113A-708).
- 3 EXISTING 22' EASEMENT RESERVED FOR ANY EXISTING UTILITIES (12/23/57, MISC. 24-73).

BUILDING & PARKING DATA			
BUILDING AREA:		# SEATS	AREA (SQUARE FEET)
DUNKIN DONUTS RESTAURANT		28	2,465 SF
OFFICE (SECOND FLOOR)		N/A	929 SF
TOTAL AREA		28	3,394 SF
PARKING REQUIREMENTS:		RATIO	REQUIRED
DUNKIN DONUTS RESTAURANT		1/4 SEATS	7 SPACES
OFFICE (SECOND FLOOR)		1/300 SF	4 SPACES
ACCESSIBLE PARKING FOR 11 REQUIRED SPACES		---	1 SPACE
ACCESSIBLE VAN PARKING FOR 11 REQUIRED SPACES		---	1 SPACE
TOTAL			11 SPACES

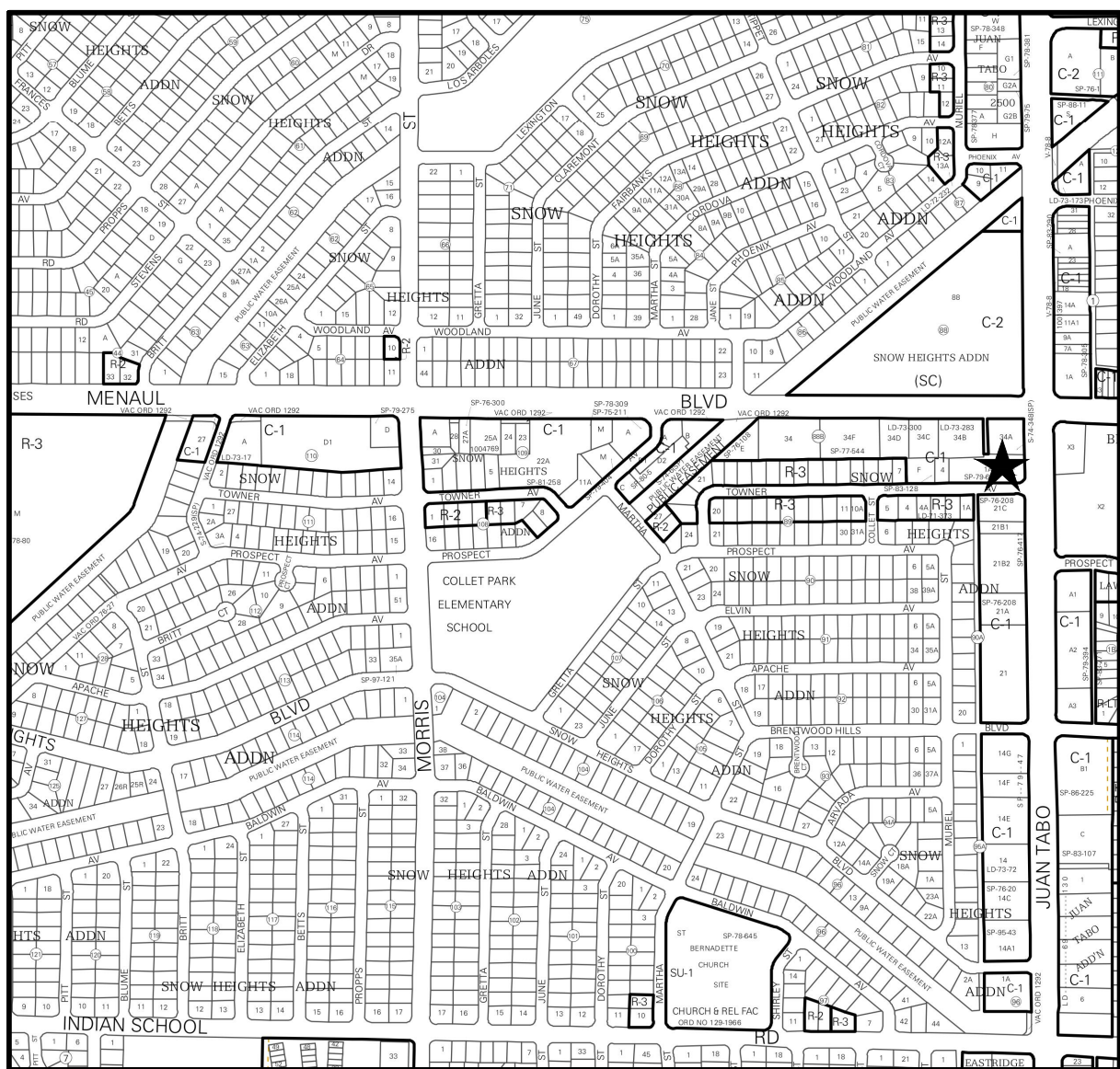
ADDITIONAL PARKING REQUIREMENTS:
1 MOTORCYCLE SPACE REQUIRED AND 1 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED

LEGEND:

- PROPOSED SIDEWALK JOINTS
- PROPOSED 15% ON-SITE LANDSCAPE AREA REQUIRED = 4,670 SF. 9,250 SF PROVIDED, SEE LS-01
- PROPOSED CURB RAMP
- EXISTING CONCRETE CURB/PAVING
- PROPOSED CONCRETE CURB/PAVING
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE

KEYED NOTES CONTINUED:

25. PROPOSED ILLUMINATED "ENTER" DIRECTIONAL SIGN.
26. PROPOSED ILLUMINATED "PICK UP WINDOW" DIRECTIONAL SIGN.
27. WHEEL STOP. SEE DETAIL 4/SP-5.
28. PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 1/SP-5.
29. PROPOSED ACCESSIBLE CURB RAMP. SEE DETAIL 2/SP-5.
30. PROPOSED "DO NOT STOP OR BLOCK THIS AREA" SIGN. SEE DETAIL 12/SP-2.
31. CLEAR SIGHT TRIANGLE. "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA."
32. EXISTING 4' CMU BLOCK WALL WITH WOOD SLAT FENCING ABOVE. TO REMAIN AS BUFFER ALONG RESIDENTIAL ZONE.



VICINITY MAP

H-21-Z-1

SITE DATA:

LEGAL DESCRIPTION: SNOW HEIGHTS ADDITION, PARCEL 1-A, BLOCK 88-B
UPC: 102105950024442324
ADDRESS: 2301 JUAN TABO BLVD. NE
PROPERTY AREA: 0.77 ACRES
CURRENT ZONING: C-1 (SC)
BUILDING AREA: PROPOSED DUNKIN DONUTS RESTAURANT = 3,394 SF

KEYED NOTES:

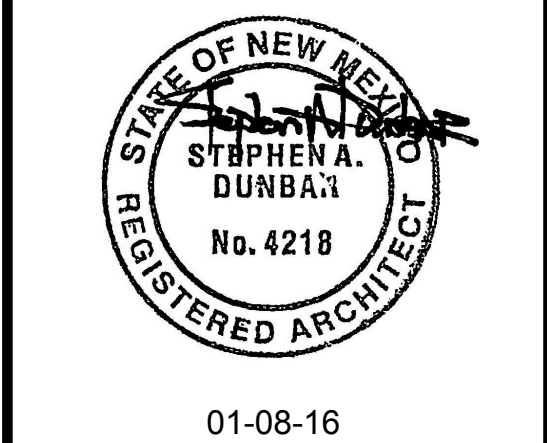
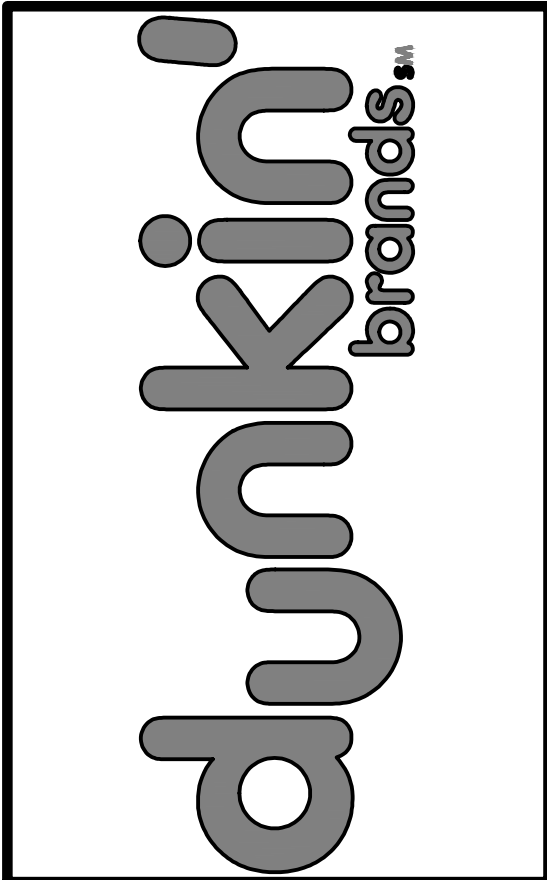
1. PROPOSED REFUSE ENCLOSURE, SEE SITE DETAIL SHEET SP-4.
2. PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLAN.
3. PROPOSED 6" HIGH CONCRETE CURB. SEE DETAIL 5/SP-5.
4. PROPOSED ACCESSIBLE CURB RAMP, SEE DETAIL 3/SP-5.
5. PROPOSED ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
6. PROPOSED ACCESSIBLE PARKING SIGN - WALL MOUNTED.
7. PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED.
8. PROPOSED CONCRETE SIDEWALK. SEE DETAIL 6 & 7/SP-5.
9. PROPOSED 4" WIDE PAVEMENT STRIPING.
10. PROPOSED ASPHALT PAVEMENT.
11. PROPOSED MOTORCYCLE PARKING SIGN. SEE DETAIL 10/SP-2.
12. PROPOSED CONCRETE PAVEMENT @ DRIVE-THRU SEE DETAIL 6/SP-2.
13. PROPOSED CONCRETE PEDESTRIAN CONNECTION.
14. NEW CONCRETE DRIVEPAD PER C.O.A. STD. DETAIL 2425.
15. EXISTING FREE STANDING SIGN TO BE REFACED AND PERMITTED BY SIGN SUPPLIER. SIGN SUPPLIER TO FOLLOW CoA ZONING AND PERMITTING REQUIREMENTS.
16. NEW PRIVATE ENTRANCE PER C.O.A. STD. DETAIL 2426.
17. EXISTING FIRE HYDRANT TO REMAIN.
18. EXISTING SIDEWALK TO REMAIN. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER PER C.O.A. STD. DETAILS 2430 & 2415A.
19. EXISTING ACCESS DRIVEWAY TO REMAIN.
20. PROPOSED "DO NOT ENTER" PAVEMENT MARKING AND SIGN. SEE DETAIL 11/SP-2.
21. PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
22. PROPOSED OUTDOOR PATIO, SEE DETAIL #1 SHEET SP-4.
23. PROPOSED 2-BIKE CAPACITY HOOP RACK. SEE DETAIL 9/SP-2.
24. PROPOSED ILLUMINATED "EXIT" DIRECTIONAL SIGN.

FINISH MATERIAL SCHEDULE - Traffic Striping Paint

Checked: 12/18/2014				
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS
TP-01	PAINT	SHERWIN WILLIAMS	Pro Park	"White": B97WD2434
TP-02	PAINT	SHERWIN WILLIAMS	Pro Park	"Blue": B97LD2022
TP-03	PAINT	SHERWIN WILLIAMS	Pro Park	"Yellow": B97YD2467
TP-04	PAINT	SHERWIN WILLIAMS	Pro Park	"Orange": Custom Mix B97YD2467
				CCE* Colorant 02 32 64 128
				W1-White - 6 1 ---
				R4-New red 4 53 1 ---
TP-05	PAINT	SHERWIN WILLIAMS	Pro Park	Y3-Deep Gold - 06 - 1
				"Pink": Custom Mix B97RD2012
				CCE* Colorant 02 32 64 128
				W1-White 6 -- -- --
				L1-Blue - 6 -- --

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"

THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS, INC. UNDER RESTRICTED ACCESS.



SET REVISIONS		DATE	01-21-16
NO	DESCRIPTION	DATE	AS SHOWN
1	INITIAL ISSUE	4-1-13	MT
2	DMB UPDATE	7-2-13	MT
3	GENERAL UPDATES	2-10-14	MT
SHEET REVISIONS			
ADDENDUM #2		01-26-16	CDC
ADDENDUM #3		02-10-16	SAD

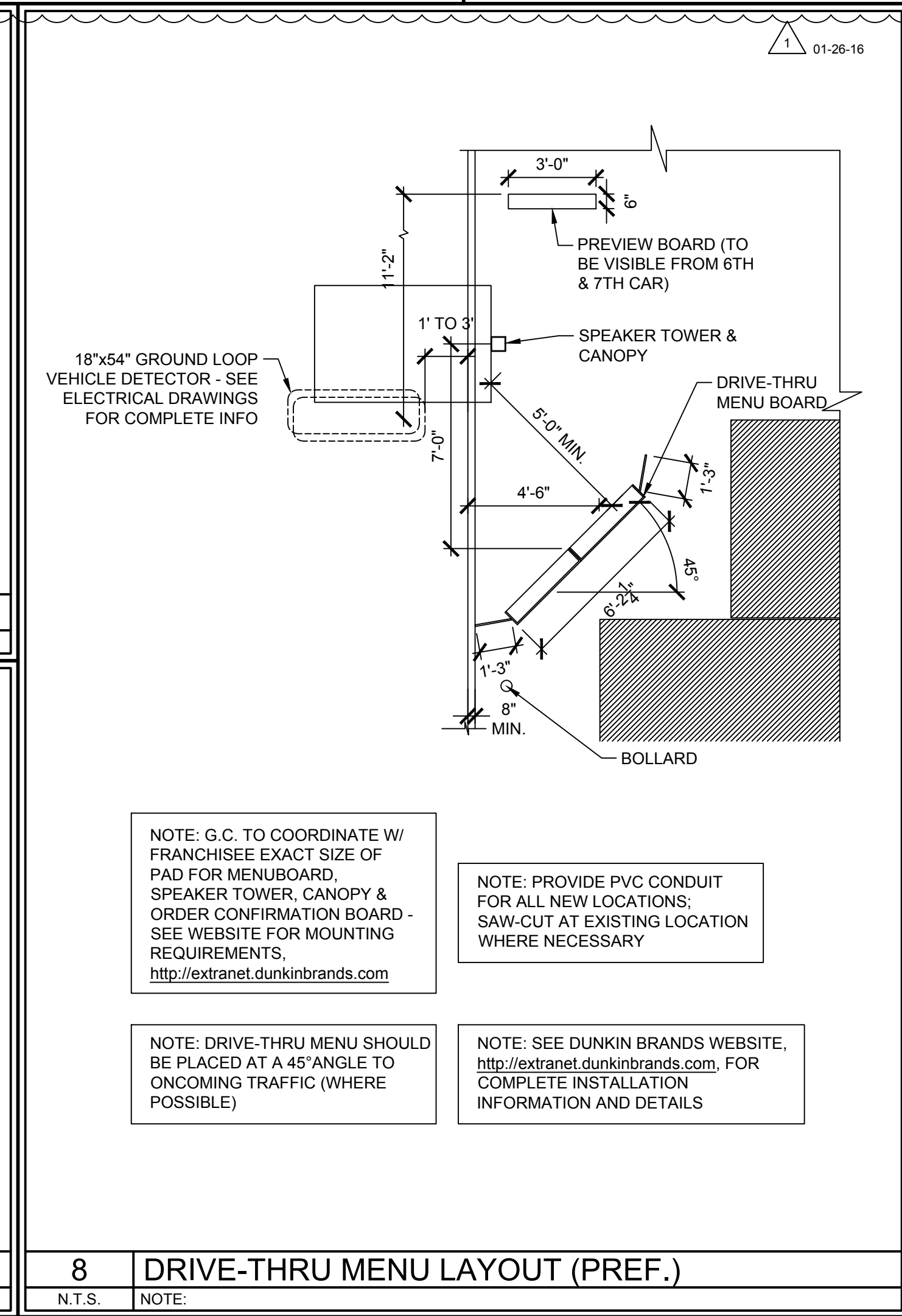
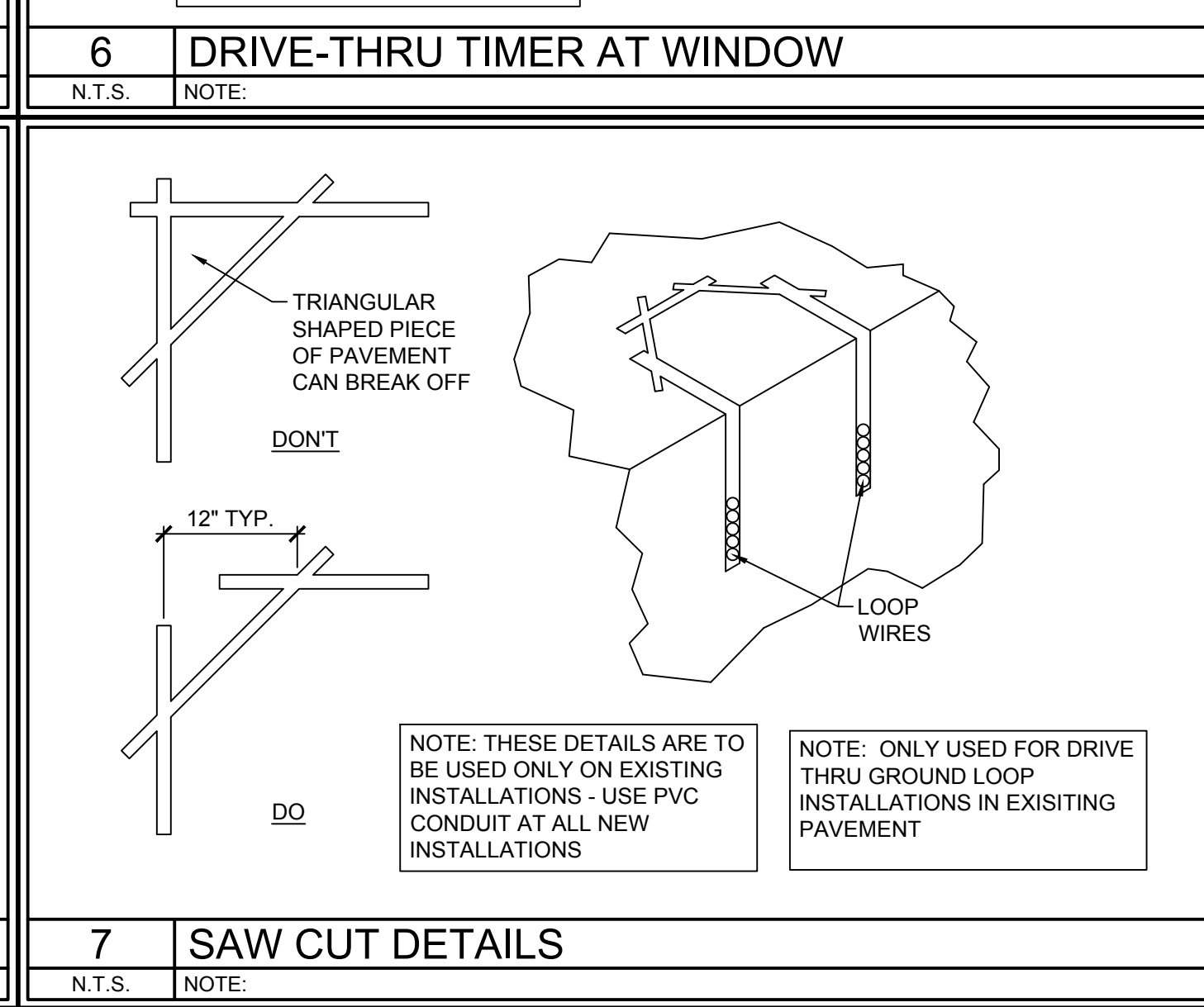
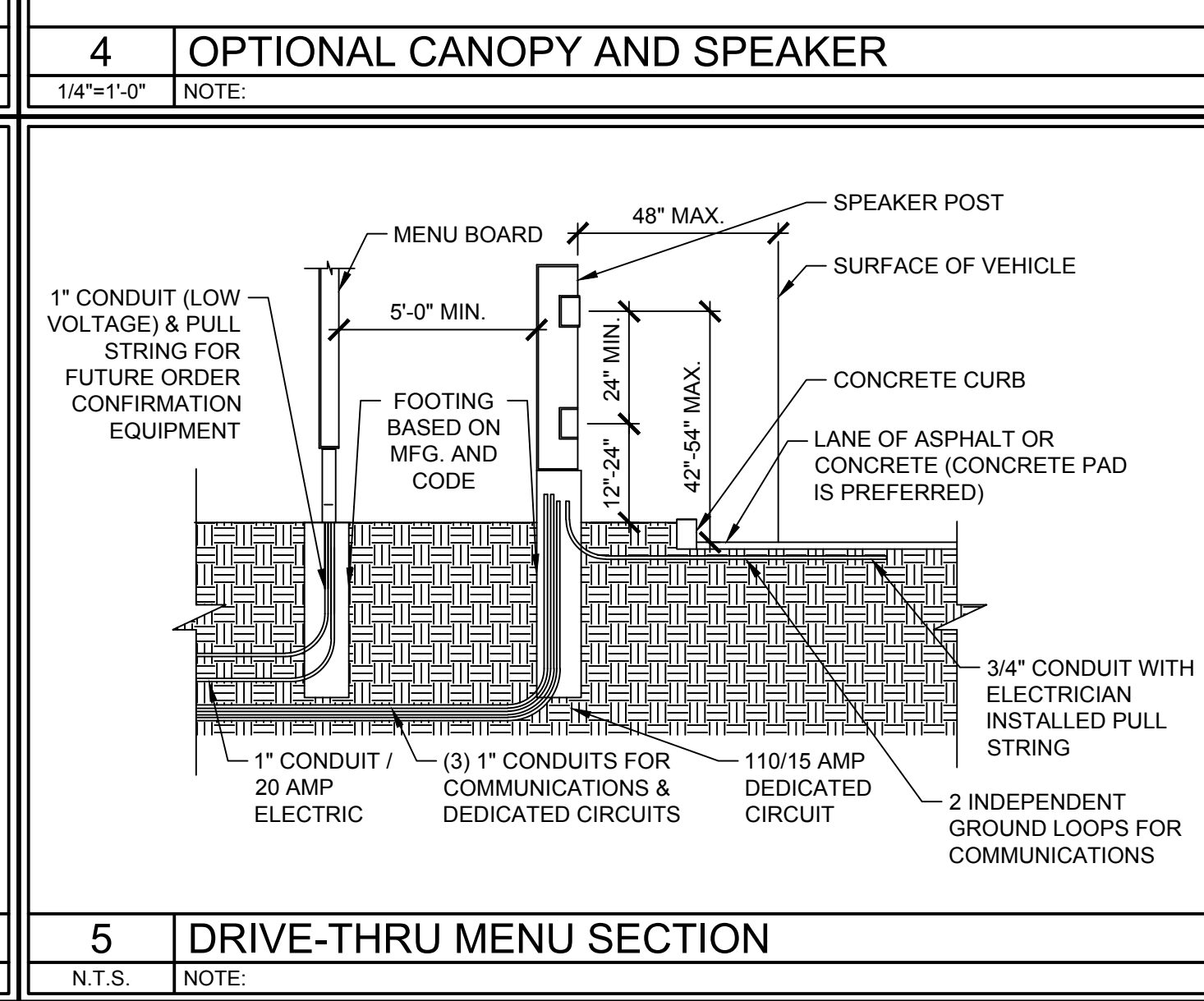
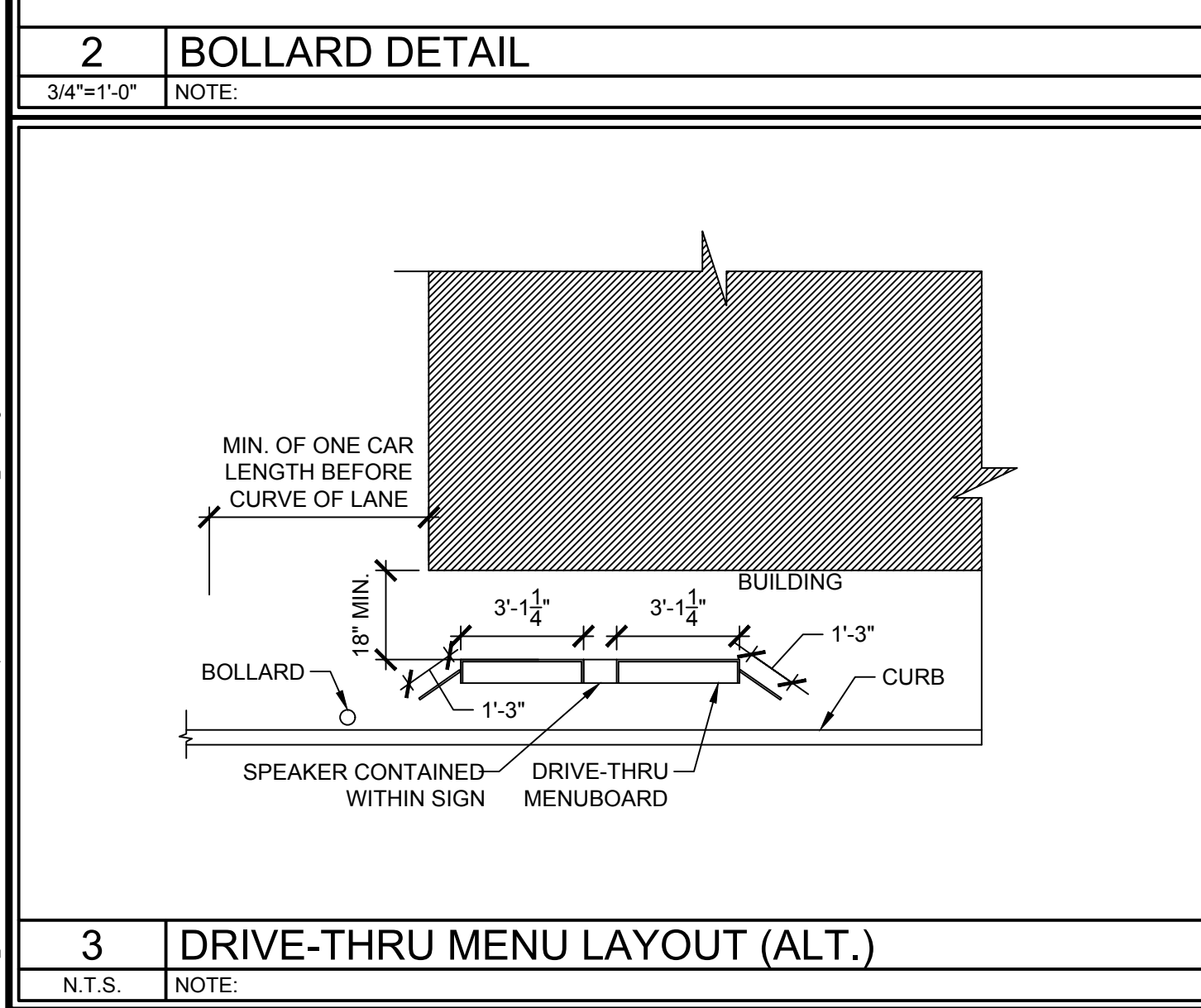
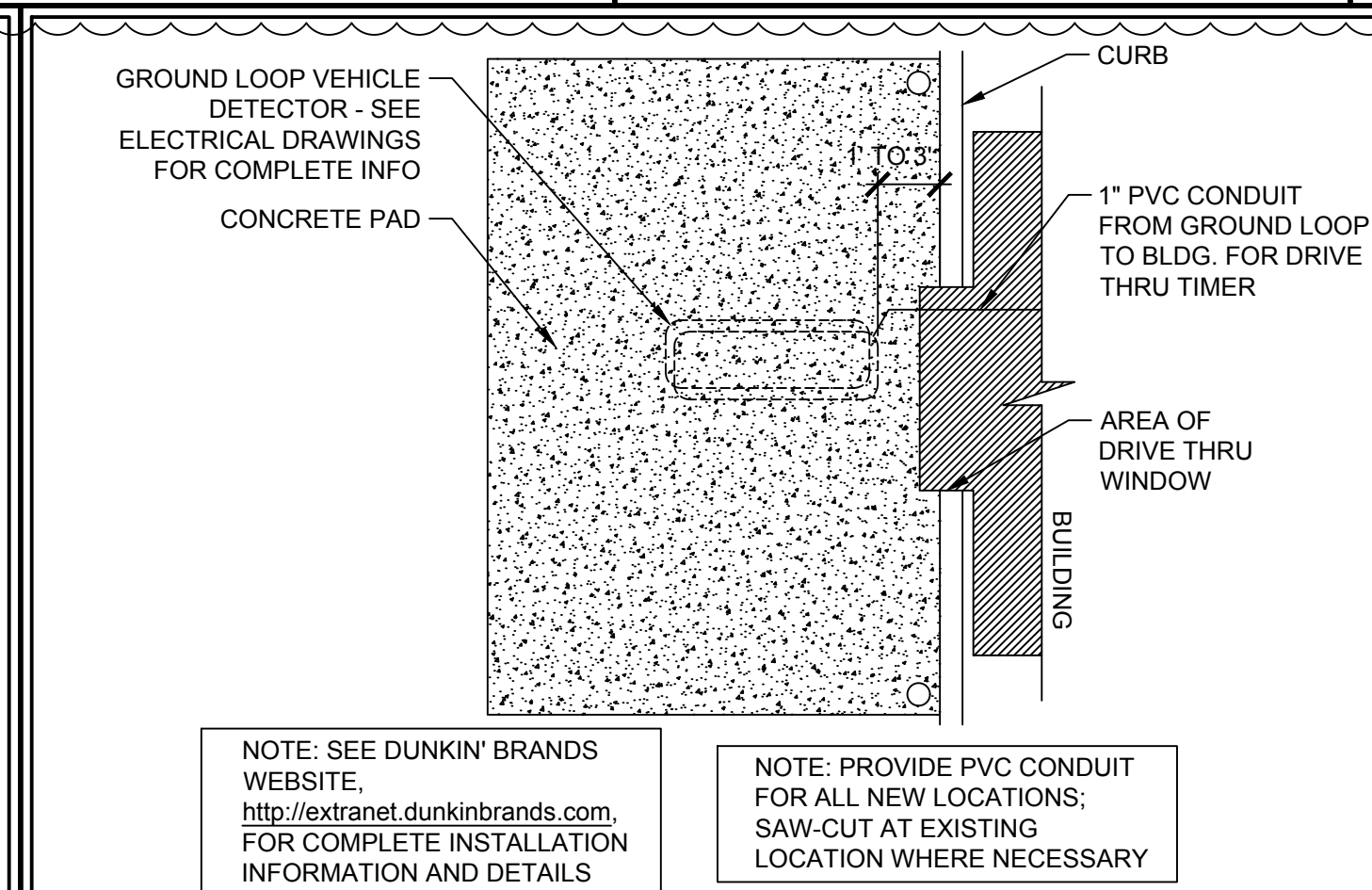
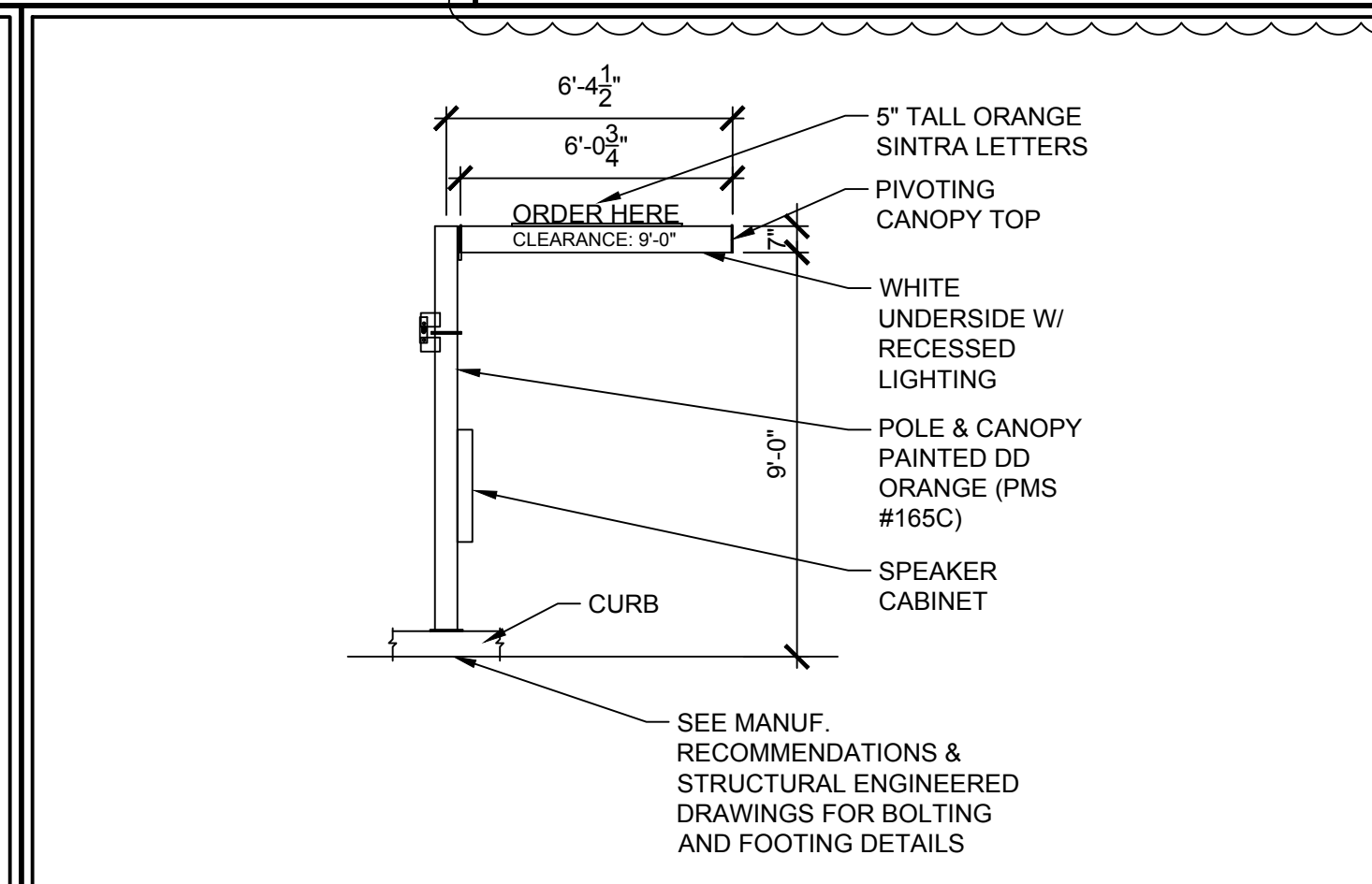
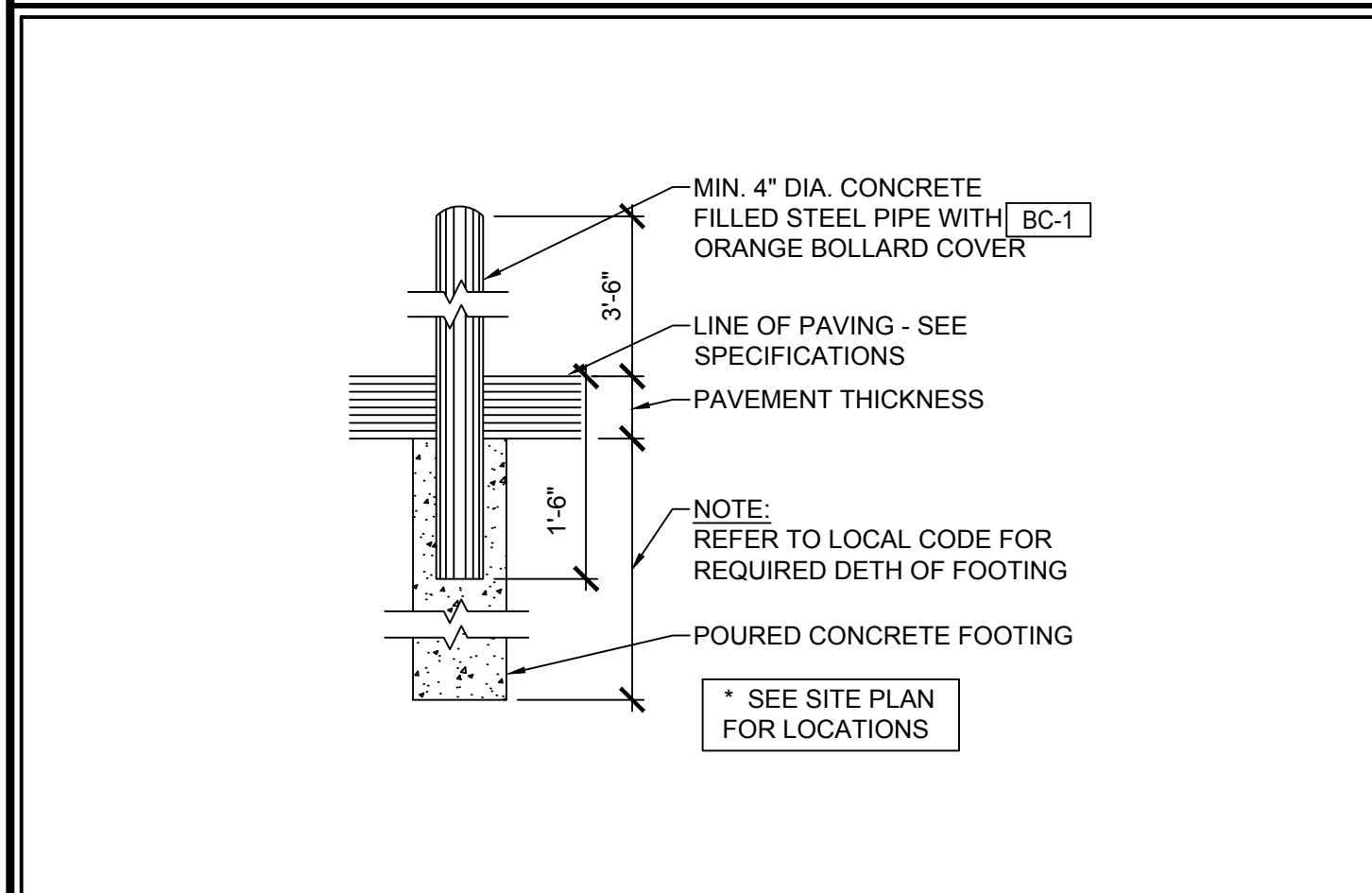
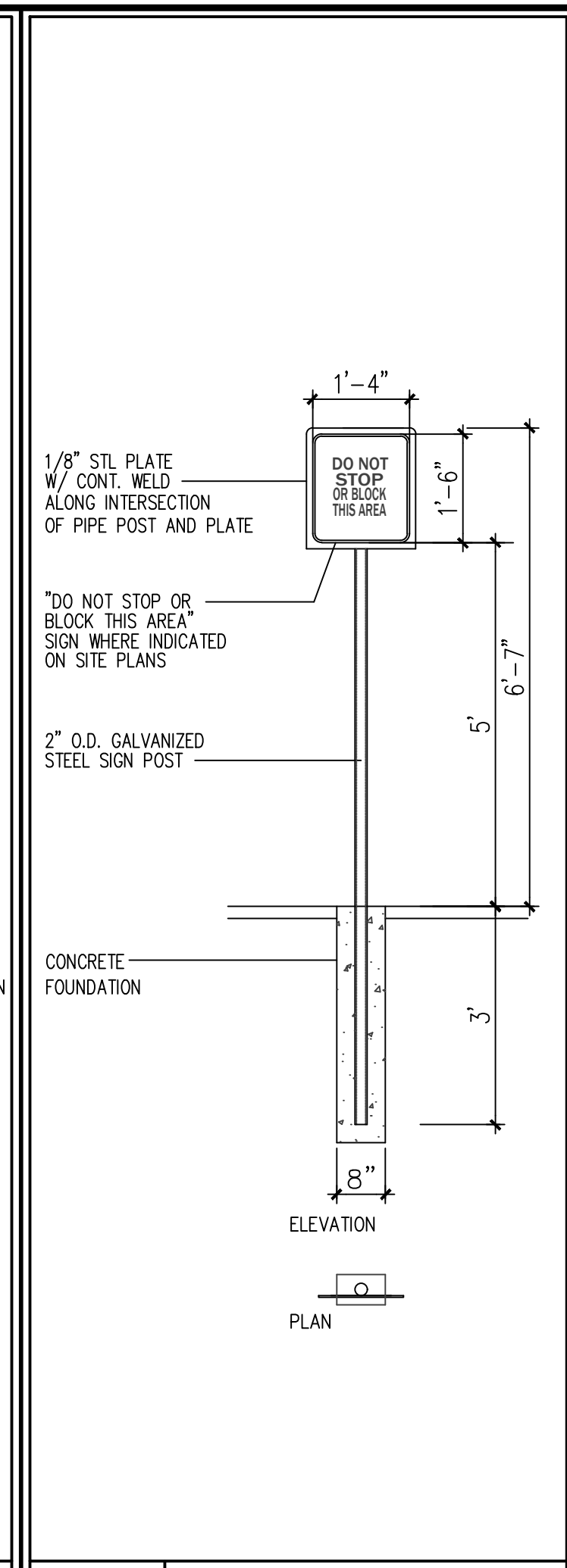
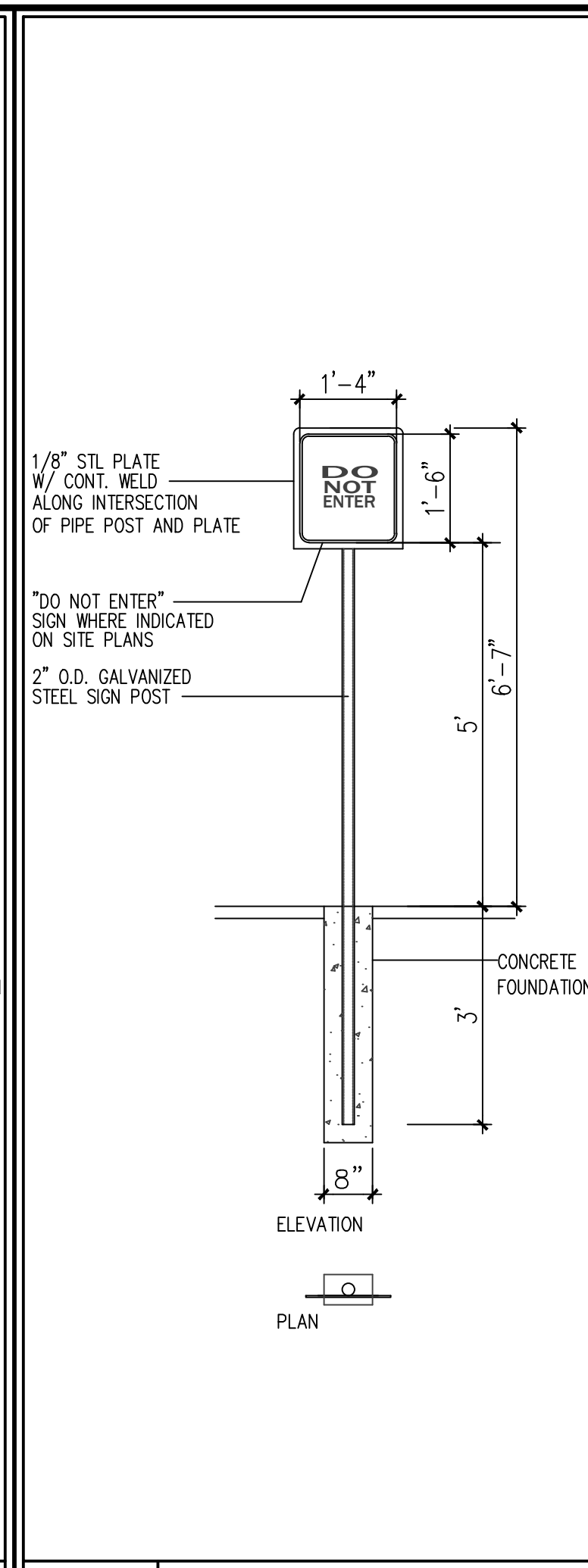
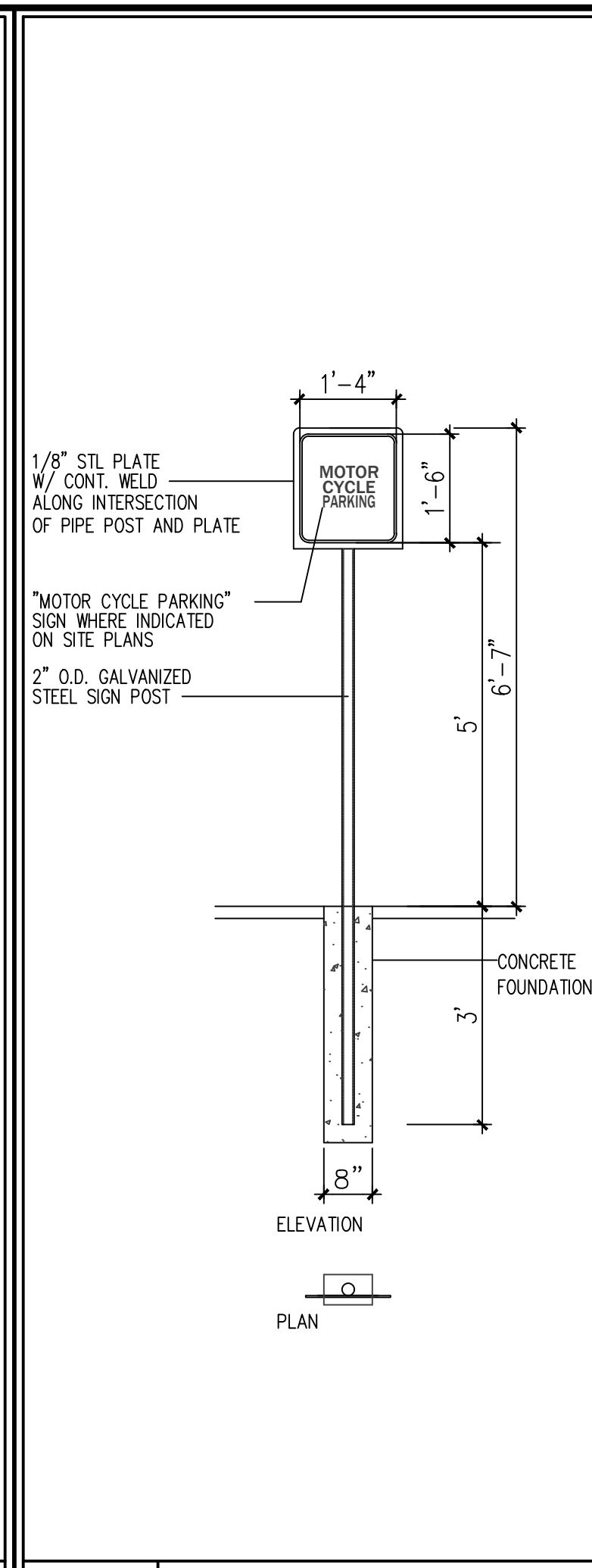
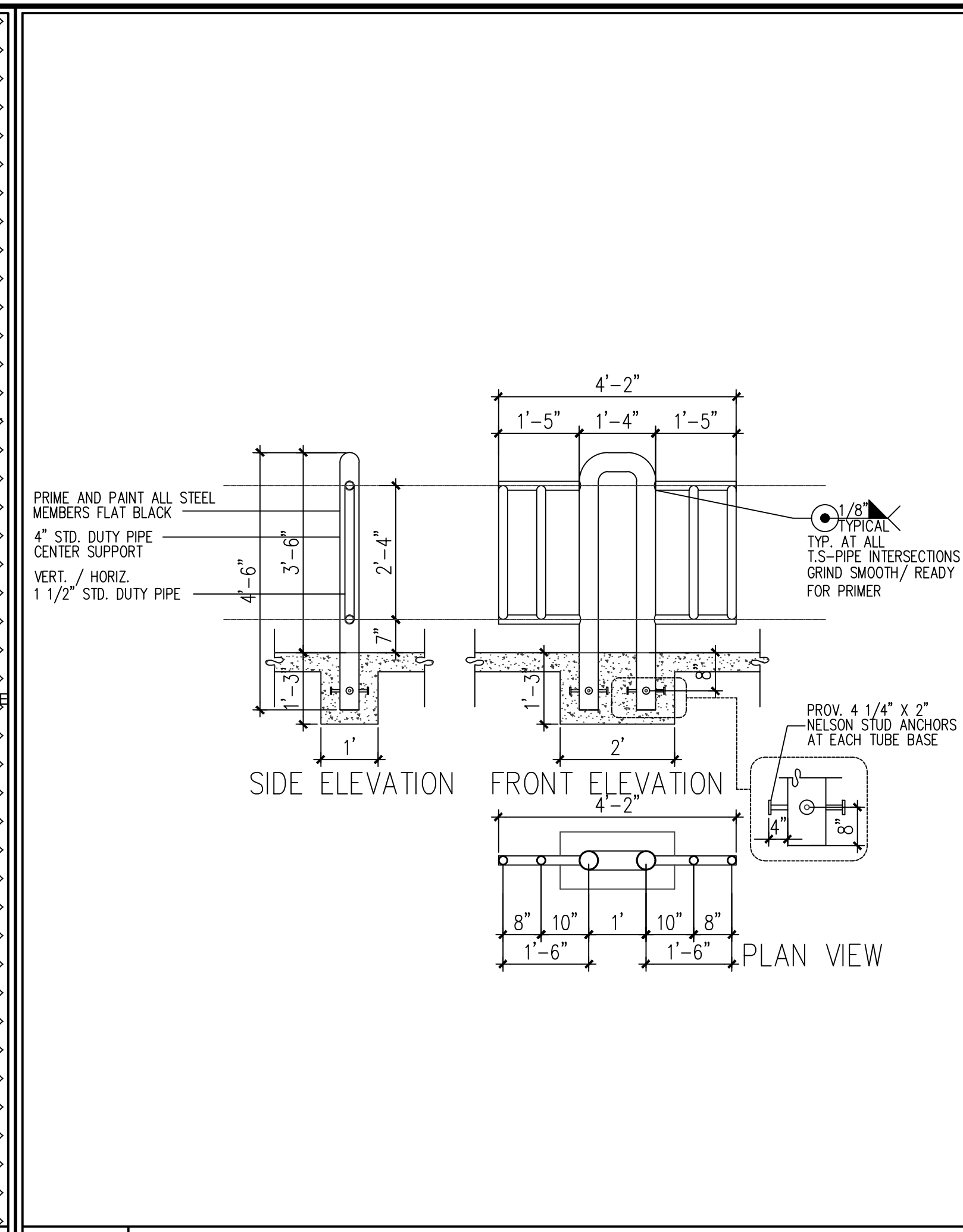
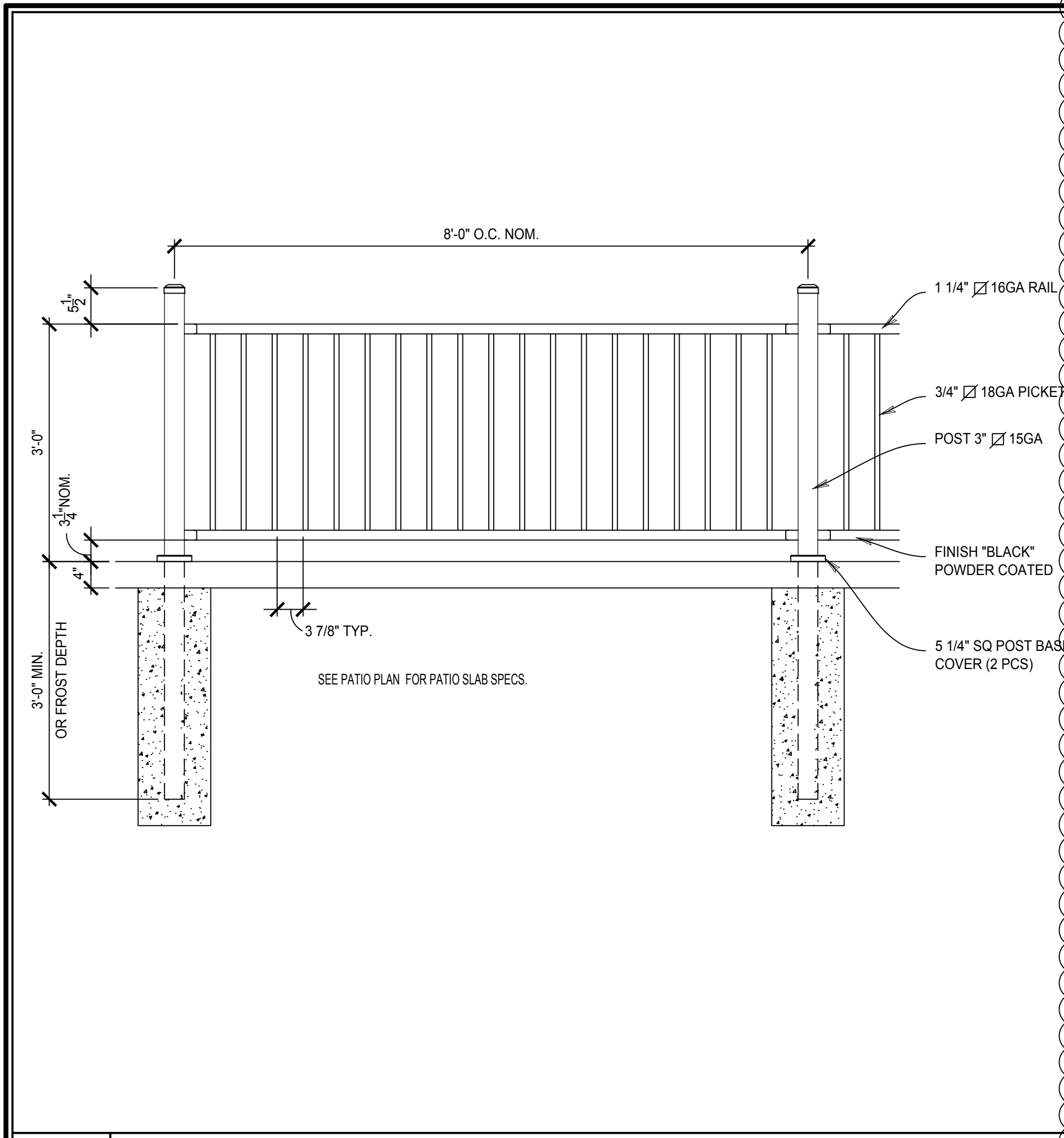
NEW DUNKIN DONUTS
2301 JUAN TABO BLVD NE

SITE PLAN, SITE DATA
AND TCL

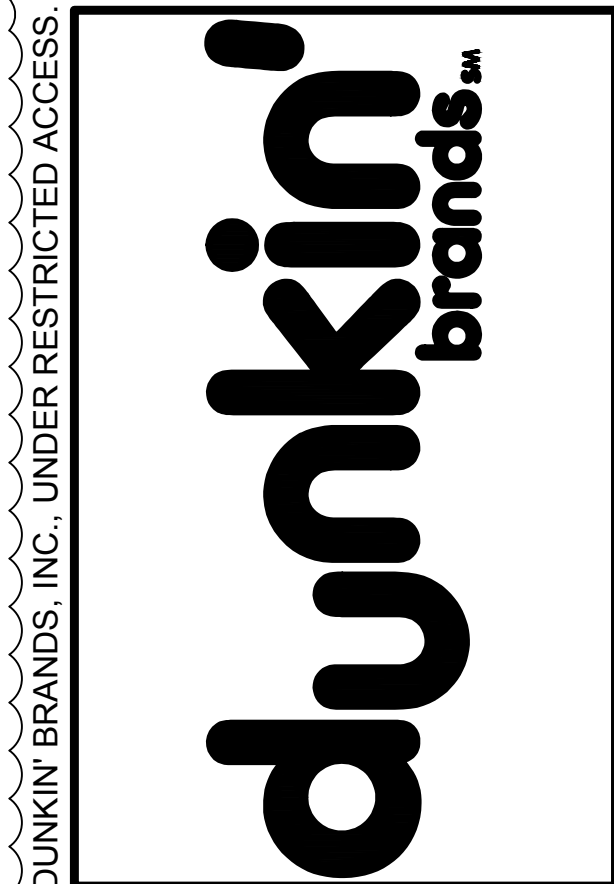
PC NUMBER

SP-1

HOWTO: ACTIVE DUNKIN DONUTS SIGNAGE - Copyright © Dunkin' Brands, Inc. 2016



THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS, INC. - UNDER RESTRICTED ACCESS



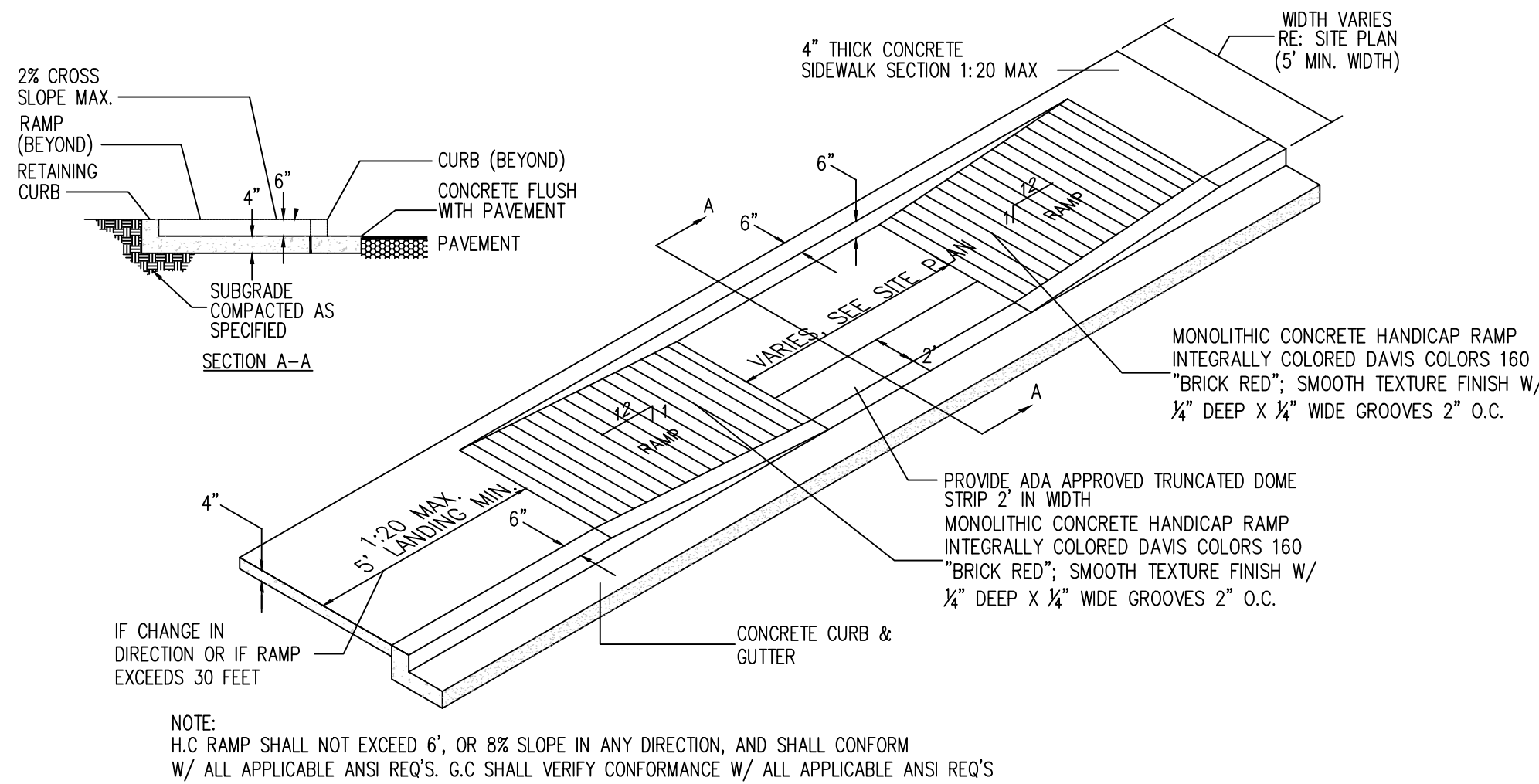
01-08-16

SET REVISIONS		DATE	01-21-16
NO	DESCRIPTION	DATE	
1	INITIAL ISSUE	4-1-13	AS SHOWN
2	DMB UPDATE	7-2-13	
3	GENERAL UPDATES	2-10-14	MT
SHEET REVISIONS			
Δ	ADDENDUM #2	01-26-16	CKD
-	-	-	CDC
-	-	-	SAD
-	-	-	APPD

NEW DUNKIN DONUTS 2301 JUAN TABO BLVD NE		PC NUMBER
SITE DETAILS		
SP-2		

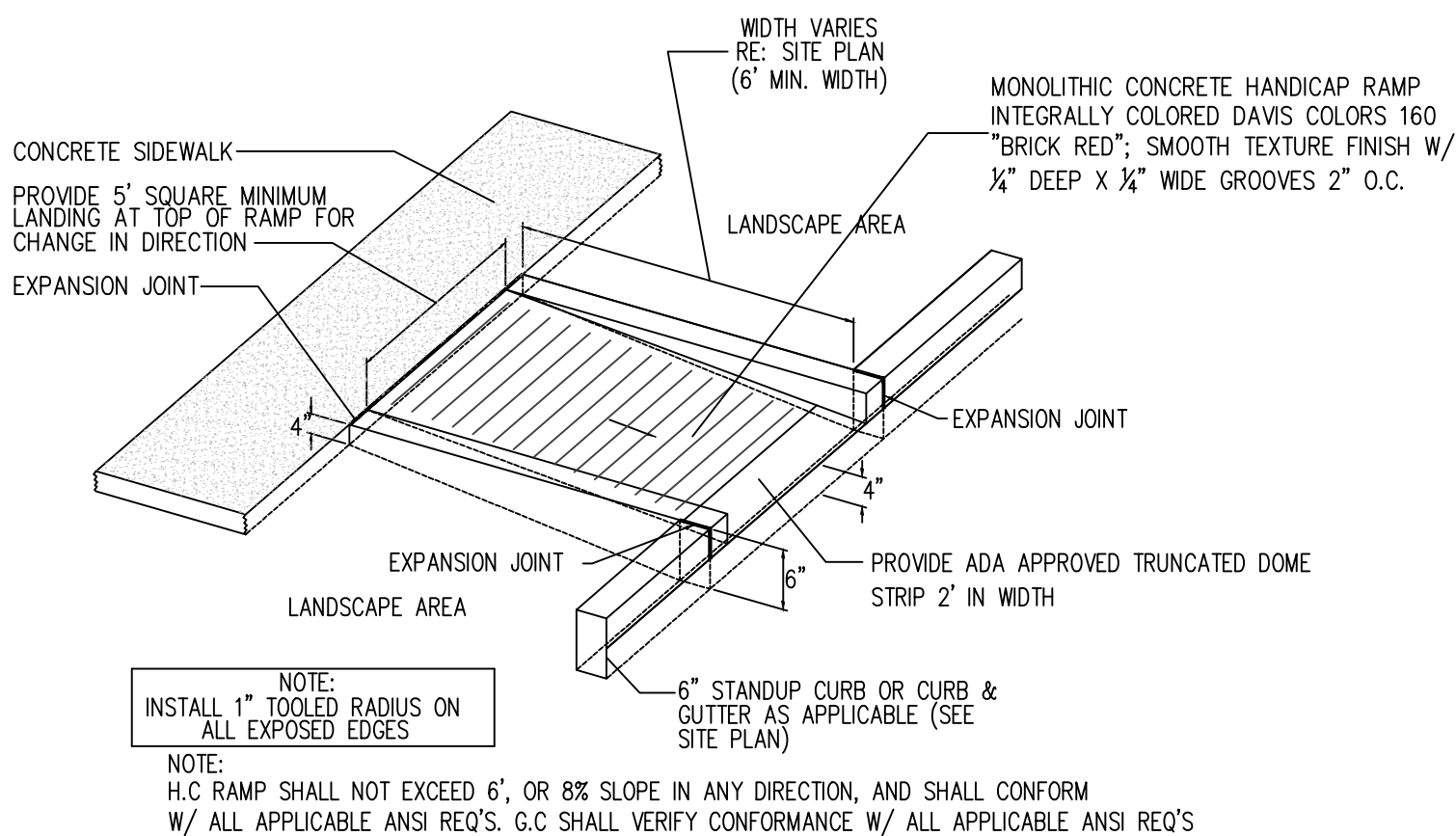
NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"

HOWS: ACTIVE/DUNKIN DONUTS/Juan Tabo - Copyright © Currents - DWG004a, SP-5.dwg



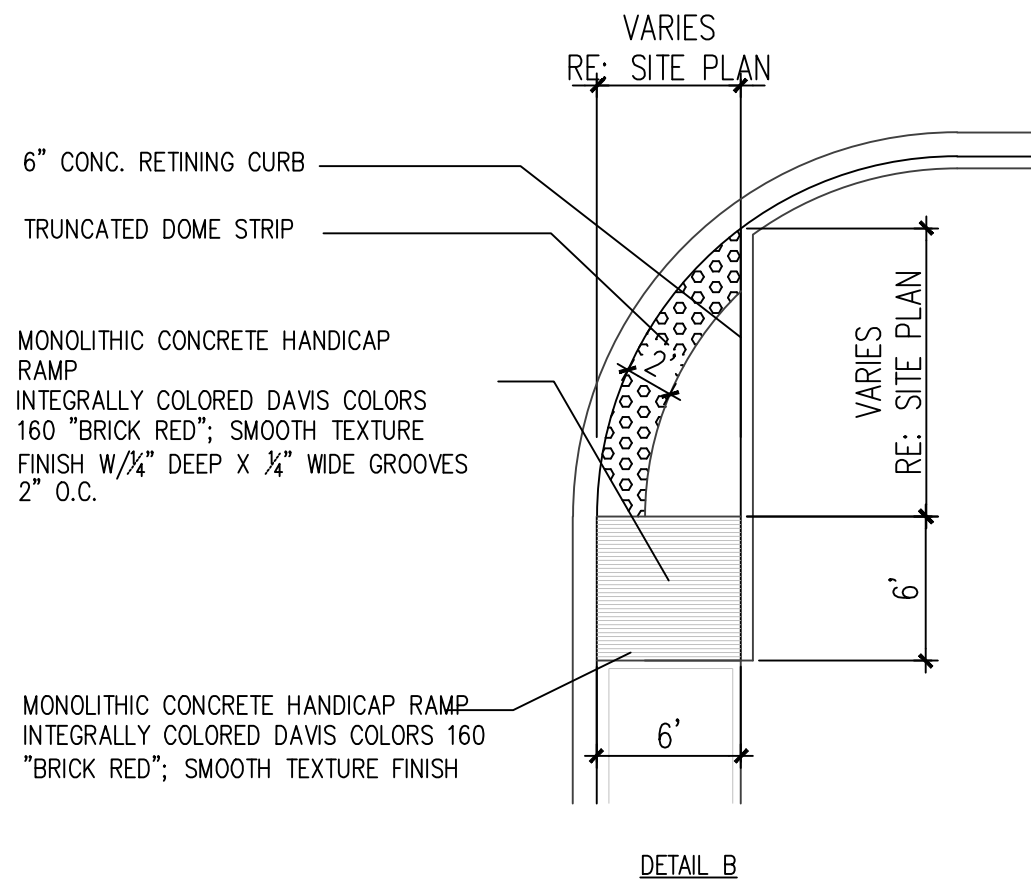
1 TAPERED RAMP DETAIL

N.T.S. NOTE:



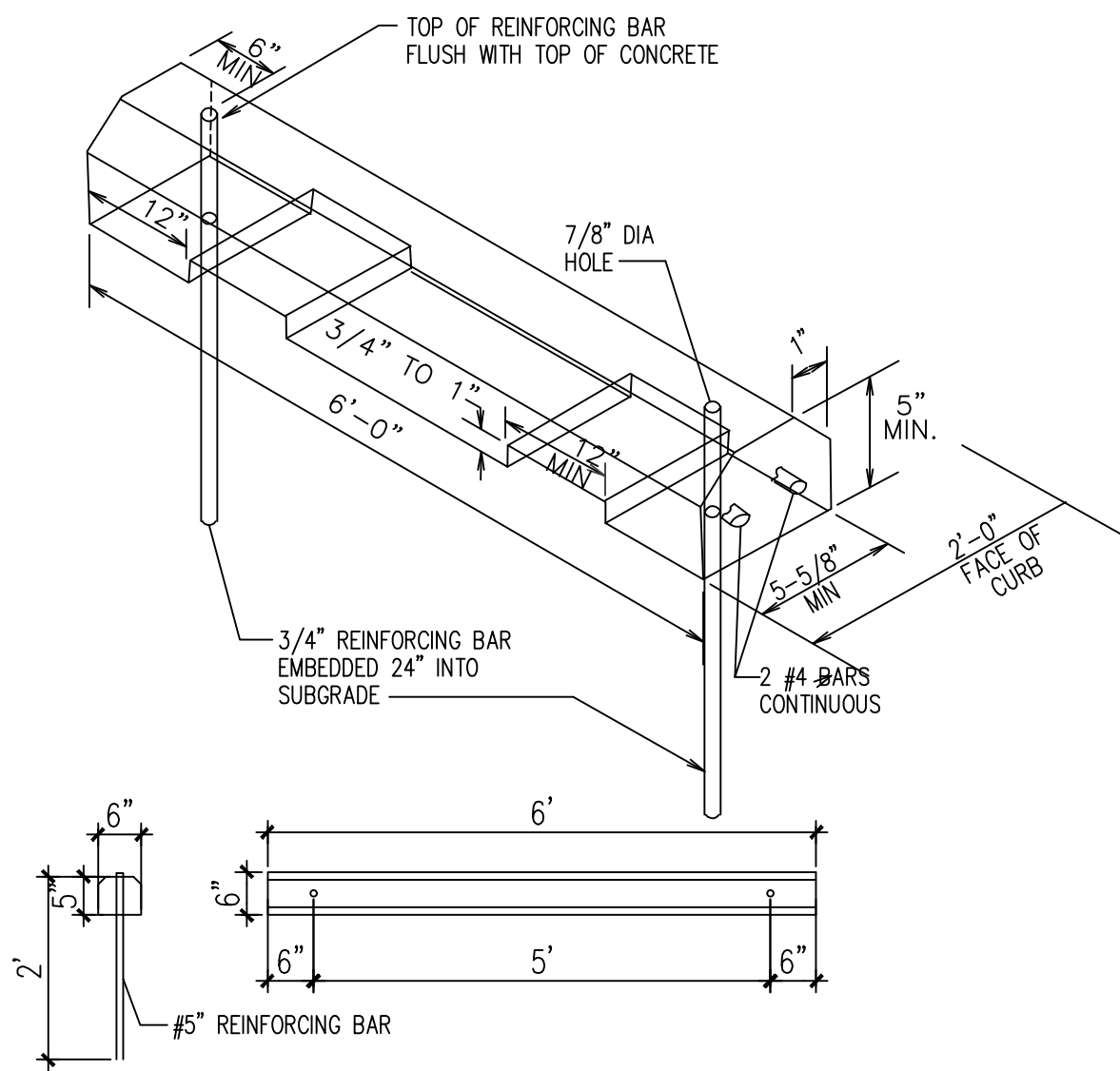
2 CURBED RAMP DETAIL

N.T.S. NOTE:



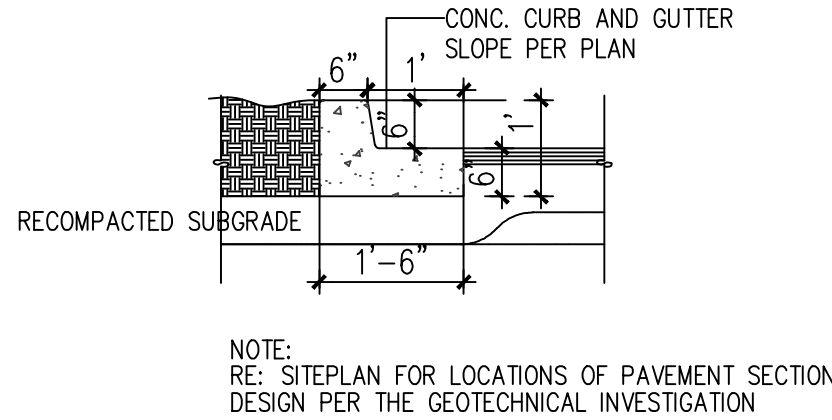
3 SIDEWALK CURBED RAMP DETAIL

N.T.S. NOTE:



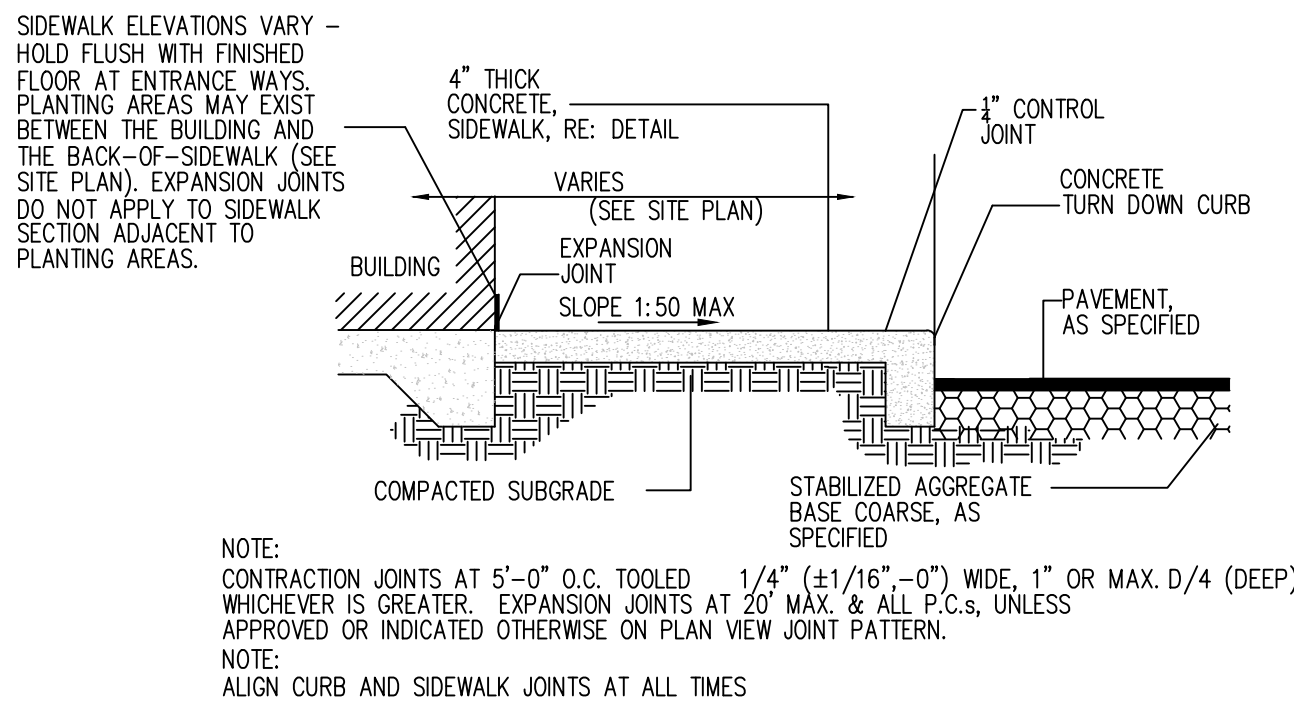
4 WHEEL STOP DETAIL

N.T.S. NOTE:



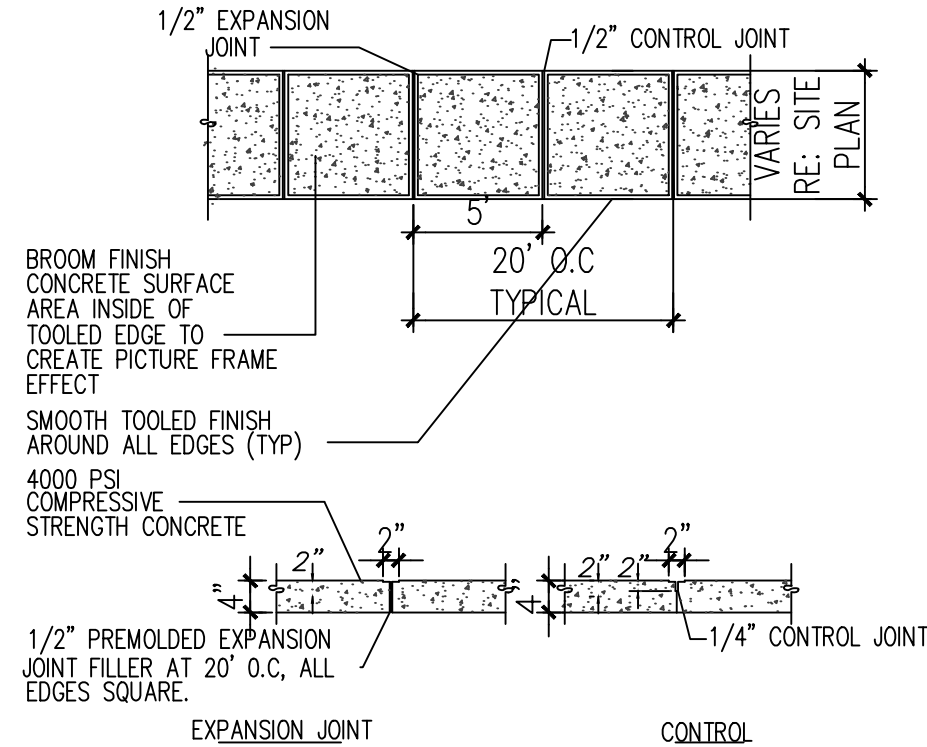
5 TYPICAL CURB DETAIL

N.T.S. NOTE:



6 SIDEWALK WITH TURNDOWN CURB SECTION

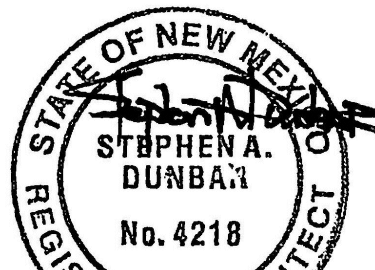
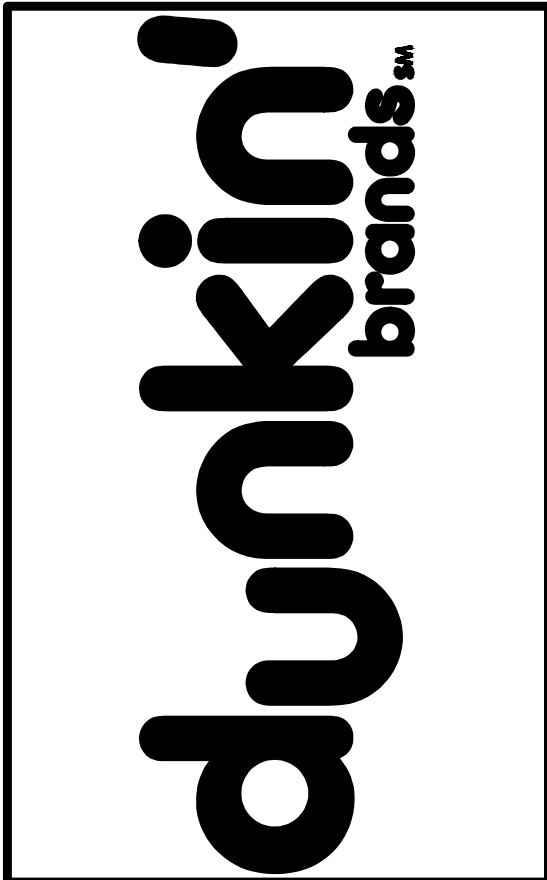
N.T.S. NOTE:



7 TYPICAL SIDEWALK DETAIL

N.T.S. NOTE:

THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS, INC., UNDER RESTRICTED ACCESS.



01-08-16

NO	DESCRIPTION	DATE	DATE	SCALE	AS SHOWN	DRAWN	MT	CDC	SAD
1	INITIAL ISSUE	4-1-13	01-21-16	1/4" = 1'-0"	AS SHOWN	MT	MT	CDC	SAD
2	DMB UPDATE	7-2-13							
3	GENERAL UPDATES	2-10-14							
SHEET REVISIONS									
ADDENDUM #2									

NEW DUNKIN DONUTS 2301 JUAN TABO BLVD NE	SITE DETAILS	PC NUMBER
---	--------------	-----------

SP-5

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"