

CITY OF ALBUQUERQUE



June 3, 2019

Cinelli Architect
Roger Cinelli
2418 Manuel Torres Ln NW
Albuquerque NM

Re: Norman Townhouses
10101 Norman Ave NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 05-29-2019 (H21D054)

Dear Mr. Cinelli,

The TCL submittal received 05-31-2019 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

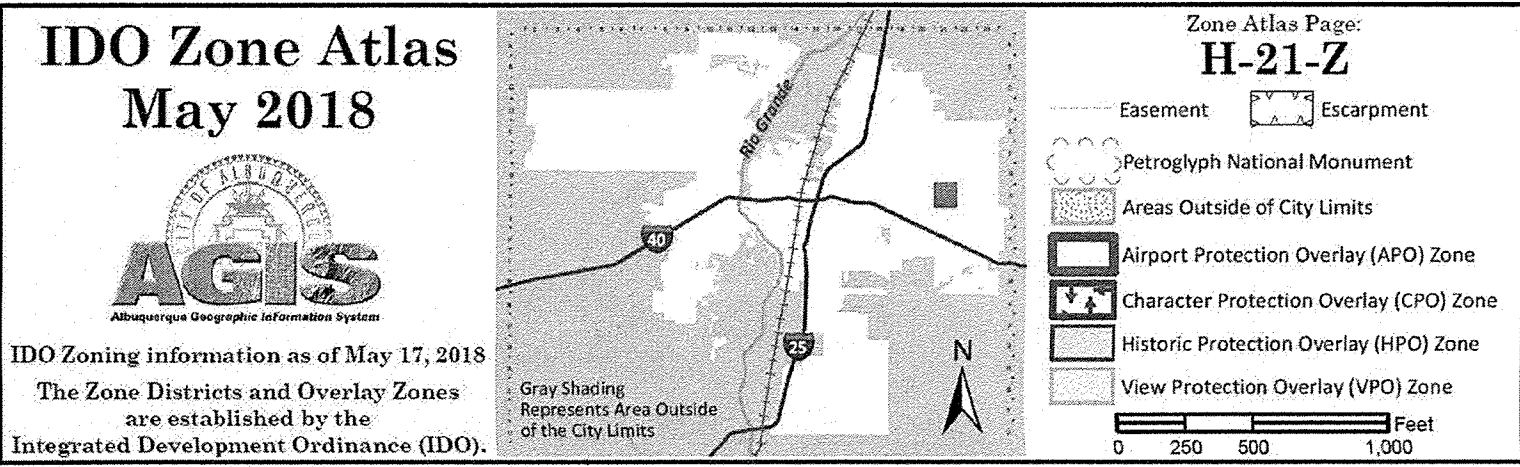
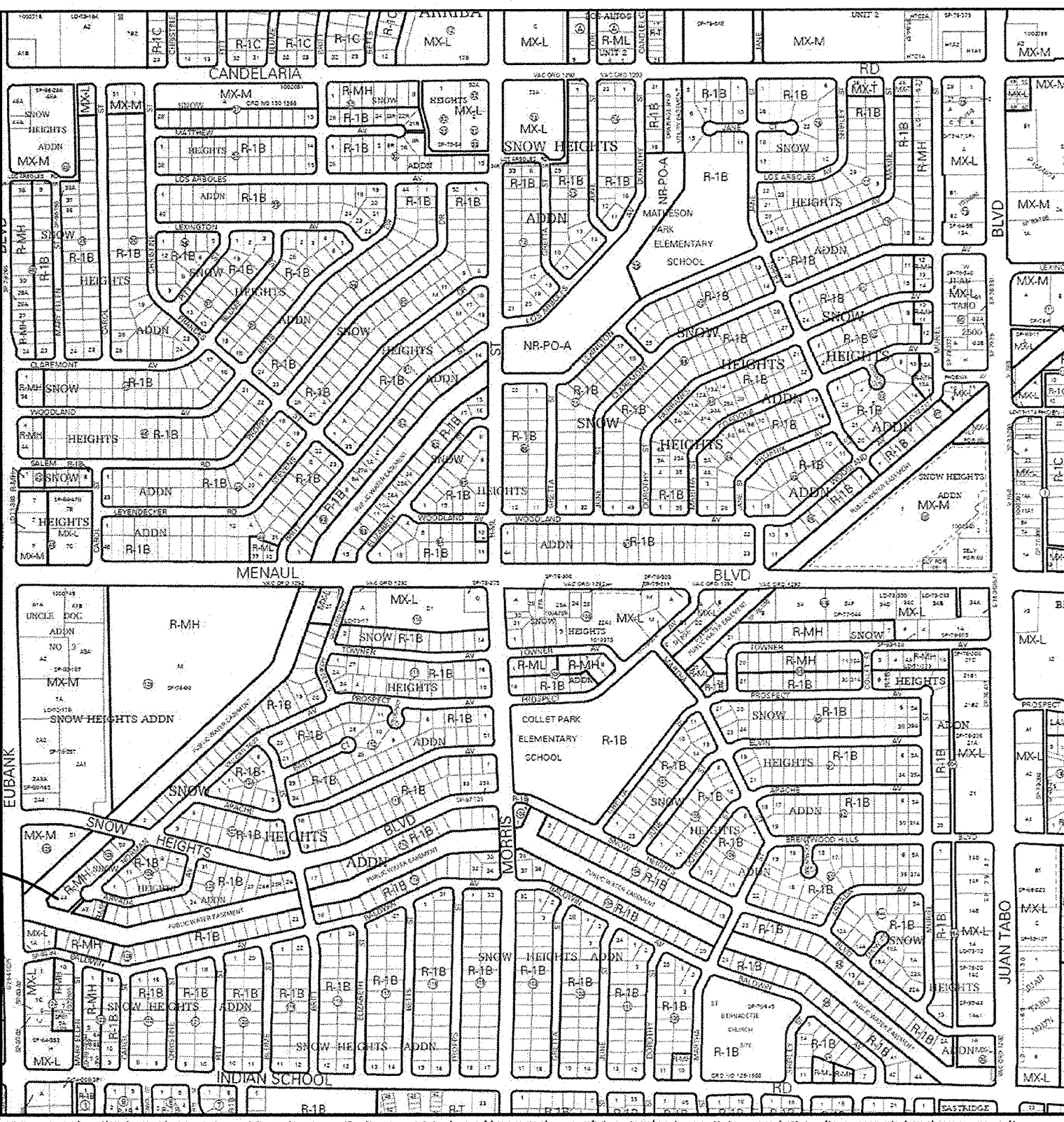
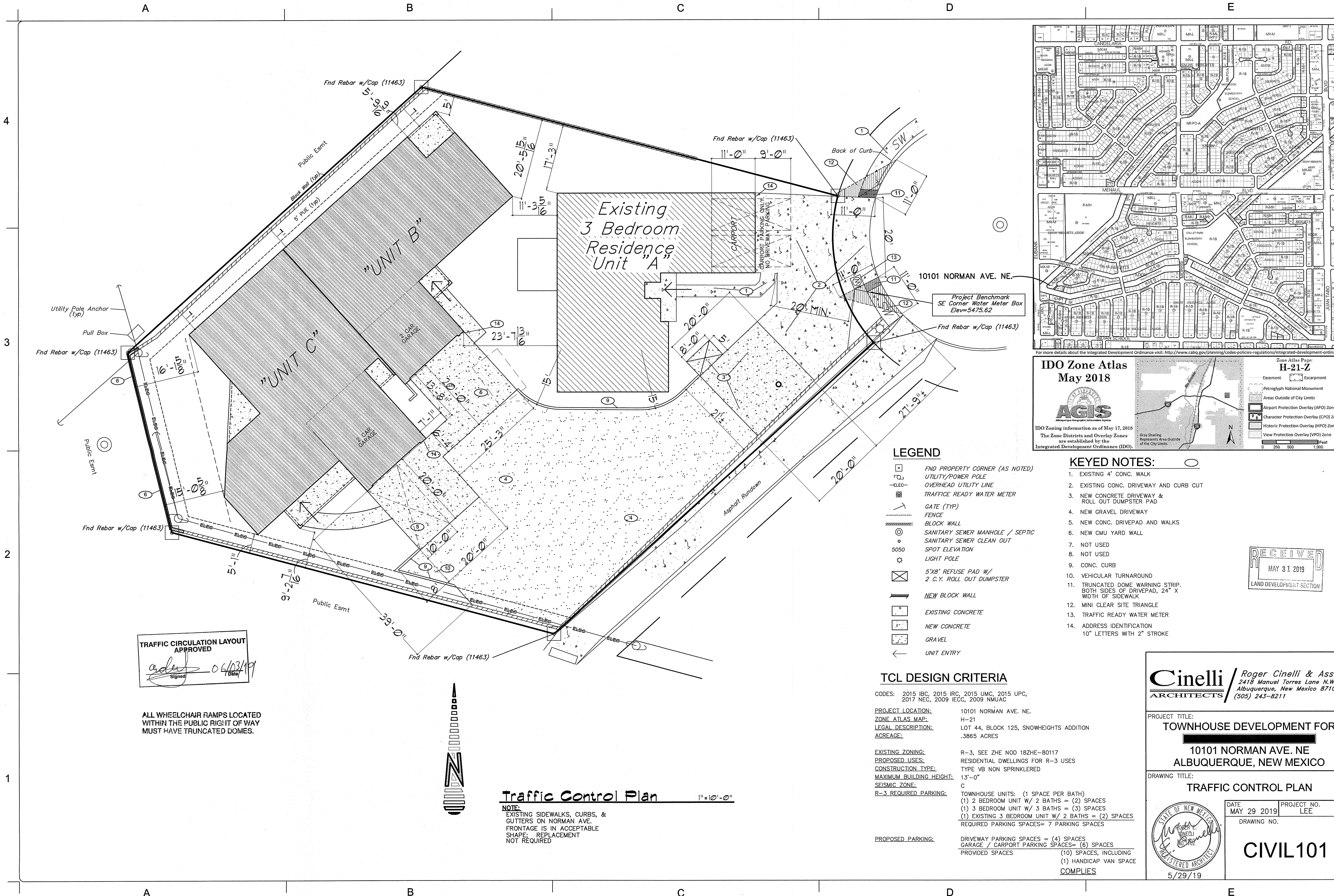
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

/MM via: email
C: File



LEGEND

- FND PROPERTY CORNER (AS NOTED)
- UTILITY/POWER POLE
- OVERHEAD UTILITY LINE
- TRAFFIC READY WATER METER
- GATE (TYP)
- FENCE
- BLOCK WALL
- SANITARY SEWER MANHOLE / SEPTIC
- SANITARY SEWER CLEAN OUT
- SPOT ELEVATION
- LIGHT POLE
- 5'X8' REFUSE PAD W/ 2 C.Y. ROLL OUT DUMPSTER
- NEW BLOCK WALL
- EXISTING CONCRETE
- NEW CONCRETE
- GRAVEL
- UNIT ENTRY

TCL DESIGN CRITERIA

CODES: 2015 IBC, 2015 IRC, 2015 UMC, 2015 UPC, 2017 NEC, 2009 IECC, 2009 NMJAC

PROJECT LOCATION: 10101 NORMAN AVE. NE.

ZONE ATLAS MAP: H-21

LEGAL DESCRIPTION: LOT 44, BLOCK 125, SNOWHEIGHTS ADDITION

ACREAGE: .3865 ACRES

EXISTING ZONING: R-3, SEE ZHE NOD 18ZHE-80117

PROPOSED USES: RESIDENTIAL DWELLINGS FOR R-3 USES

CONSTRUCTION TYPE: TYPE VB NON SPRINKLERED

MAXIMUM BUILDING HEIGHT: 13'-0"

SEISMIC ZONE: C

R-3 REQUIRED PARKING: TOWNHOUSE UNITS: (1 SPACE PER BATH)
(1) 2 BEDROOM UNIT W/ 2 BATHS = (2) SPACES
(1) 3 BEDROOM UNIT W/ 3 BATHS = (3) SPACES
(1) EXISTING 3 BEDROOM UNIT W/ 2 BATHS = (2) SPACES
REQUIRED PARKING SPACES= 7 PARKING SPACES

PROPOSED PARKING: DRIVEWAY PARKING SPACES = (4) SPACES
GARAGE / CARPORT PARKING SPACES= (6) SPACES
PROVIDED SPACES (10) SPACES, INCLUDING
(1) HANDICAP VAN SPACE
COMPLIES

TRAFFIC CIRCULATION LAYOUT
APPROVED

[Signature] 06/03/19
Signed Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Traffic Control Plan

NOTE:
EXISTING SIDEWALKS, CURBS, &
GUTTERS ON NORMAN AVE.
FRONTAGE IS IN ACCEPTABLE
SHAPE. REPLACEMENT
NOT REQUIRED

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
TOWNHOUSE DEVELOPMENT FOR
10101 NORMAN AVE. NE
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TRAFFIC CONTROL PLAN

DATE: MAY 29 2019 PROJECT NO. LEE
DRAWING NO.

CIVIL101

5/29/19