

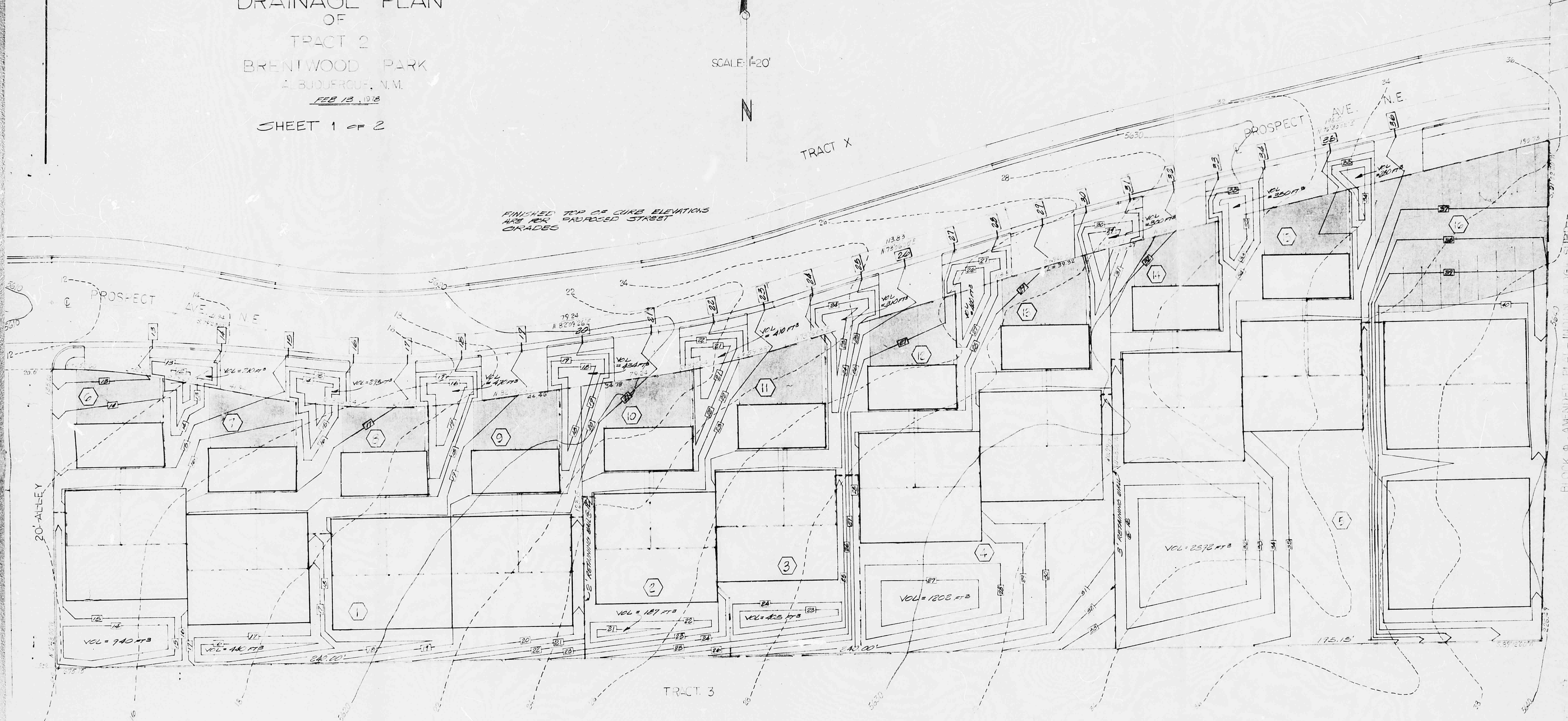
DRAINAGE PLAN
OF
TRACT 2
BRENTWOOD PARK
ALBUQUERQUE, N.M.
FEB 13, 1978
SHEET 1 OF 2

SCALE: 1"=20'



TRACT X

FINISHED TOP OF CURB ELEVATIONS
AND PER PROPOSED STREET
GRADES



TRACT 3

- 32 --- EXISTING CONTOURS
- 27 --- PROPOSED CONTOURS
- INTERNAL DRAINAGE BOUNDARY

ALL ROOFS ARE FLAT.

Jim Little

DRAINAGE CALCULATIONS
TRACT 2
BRENTWOOD PARK
SHEET 2 OF 2
FEB. 13, 1978

DRAINAGE AREA 1

AREA UNDER CONSIDERATION 0.250 AC.
NATURAL RUNOFF COEFF. 0.40
EXIST. SLOPE 4.8%
TIME OF CONCENTRATION 18.5 MIN.
INTENSITY 3.04 IN./HR.
100-YEAR 6-HOUR PRECIP. 2.5 IN.
RATE OF NATURAL RUNOFF 0.504 CFS
VOLUME OF NATURAL RUNOFF 0.0008 AC-FT.

DEVELOPED CONDITIONS

ASSUME I = 5.4 IN./HR.

AREA (AC)	C	A+C	RATE (CFS)	VOL. (AC-FT)
ROOF	0.125	.875	.5756	.0030
OPEN	0.130	.40	.0615	.0103
			.8764	.0336

REQUIRED SITE RETENTION

$$0.0336 \text{ (DEV.)} - 0.0008 \text{ (NAT.)} = 0.0130 \text{ AC-FT}$$

(566 FT³)

AVAILABLE POND VOLUME

$$140 + 140 = 13.80 \text{ FT}^3 \text{ (N)}$$

DRAINAGE AREA 2

AREA UNDER CONSIDERATION 0.072 AC.
NATURAL RUNOFF COEFF. 0.40
EXIST. SLOPE 3.5%
TIME OF CONCENTRATION 10 MIN.
INTENSITY 5.4 IN./HR.
100-YEAR 6-HOUR PRECIP. 2.5 IN.
RATE OF NATURAL RUNOFF 0.156 CFS
VOLUME OF NAT. RUNOFF 0.0000 AC-FT.

DEVELOPED CONDITIONS

AREA (AC)	C	A+C	RATE (CFS)	VOL. (AC-FT)
ROOF	0.081	.875	.0851	.0052
OPEN	0.133	.40	.0154	.0036
			.0220	.0088

REQUIRED SITE RETENTION

$$0.0088 \text{ (DEV.)} - 0.0000 \text{ (NAT.)} = 0.0088 \text{ AC-FT}$$

(106 FT³)

AVAILABLE POND VOLUME

$$187 \text{ FT}^3$$

DRAINAGE AREA 3

AREA UNDER CONSIDERATION 0.0861 AC.
NATURAL RUNOFF COEFF. 0.40
EXIST. SLOPE 3.5%
TIME OF CONCENTRATION 10 MIN.
INTENSITY 5.4 IN./HR.
100-YEAR 6-HOUR PRECIP. 2.5 IN.
RATE OF NATURAL RUNOFF 0.187 CFS
VOLUME OF NAT. RUNOFF 0.0078 AC-FT.

DEVELOPED CONDITIONS

AREA (AC)	C	A+C	RATE (CFS)	VOL. (AC-FT)
ROOF	0.087	.875	.0851	.0052
OPEN	0.130	.40	.0615	.0045
			.2660	.0100

REQUIRED SITE RETENTION

$$0.0100 \text{ (DEV.)} - 0.0078 \text{ (NAT.)} = 0.0022 \text{ AC-FT}$$

(122 FT³)

AVAILABLE POND VOLUME

$$105 \text{ FT}^3$$

DRAINAGE AREA 4

AREA UNDER CONSIDERATION 0.017 AC.
NATURAL RUNOFF COEFF. 0.40
EXIST. SLOPE 3.7%
TIME OF CONCENTRATION 10 MIN.
INTENSITY 5.4 IN./HR.
100-YEAR 6-HOUR PRECIP. 2.5 IN.
RATE OF NATURAL RUNOFF 0.157 CFS
VOLUME OF NATURAL RUNOFF 0.0181 AC-FT.

DEVELOPED CONDITIONS

AREA (AC)	C	A+C	RATE (CFS)	VOL. (AC-FT)
ROOF	0.081	.875	.0851	.0115
OPEN	0.137	.40	.0615	.0125
			.6306	.0243

REQUIRED SITE RETENTION

$$0.0243 \text{ (DEV.)} - 0.0181 \text{ (NAT.)} = 0.0062 \text{ AC-FT}$$

(270 FT³)

AVAILABLE POND VOLUME

$$1202 \text{ FT}^3$$

DRAINAGE AREA 5

AREA UNDER CONSIDERATION 0.603 AC.
NATURAL RUNOFF COEFF. 0.40
EXIST. SLOPE 4.1%
TIME OF CONCENTRATION 10 MIN.
INTENSITY 5.4 IN./HR.
100-YEAR 6-HOUR PRECIP. 2.5 IN.
RATE OF NATURAL RUNOFF 1.342 CFS
VOLUME OF NATURAL RUNOFF 0.0517 AC-FT.

DEVELOPED CONDITIONS

AREA (AC)	C	A+C	RATE (CFS)	VOL. (AC-FT)
ROOF	0.1730	.875	.1687	.0350
OPEN	0.1300	.40	.0615	.0336
			1.441	0.0710

REQUIRED SITE RETENTION

$$0.0710 \text{ (DEV.)} - 0.0517 \text{ (NAT.)} = 0.0191 \text{ AC-FT}$$

(834 FT³)

AVAILABLE POND VOLUME

$$2872 \text{ FT}^3$$

DRAINAGE AREA 6

AREA UNDER CONSIDERATION 0.1781 AC.
NATURAL RUNOFF COEFF. 0.40
EXIST. SLOPE 4.3%
TIME OF CONCENTRATION 10 MIN.
INTENSITY 5.4 IN./HR.
100-YEAR 6-HOUR PRECIP. 2.5 IN.
RATE OF NAT. RUNOFF 0.156 CFS
VOL. OF NATURAL RUNOFF 0.0060 AC-FT.

DEVELOPED CONDITIONS

AREA (AC)	C	A+C	RATE (CFS)	VOL. (AC-FT)
ROOF	0.137	.875	.0851	.0060
PAVEMENT	0.1187	.75	.0144	.0036
OPEN	0.1205	.40	.0615	.0017
			.2511	.0113

REQUIRED SITE RETENTION

$$0.0113 \text{ (DEV.)} - 0.0060 \text{ (NAT.)} = 0.0053 \text{ AC-FT}$$

(231 FT³)

THIS AREA TO DRAIN TO STREET

DRAINAGE AREAS 7, 9, 11, 13 & 15

(DRAINAGE AREAS LISTED ABOVE ARE ALL THE SAME)

AREA UNDER CONSIDERATION 0.1075 AC./DRAINAGE AREA
NATURAL RUNOFF COEFF. 0.40
EXIST. SLOPE (AVG.) 3.5%
TIME OF CONCENTRATION 10 MIN.
INTENSITY 5.4 IN./HR.
100-YEAR 6-HOUR PRECIP. 2.5 IN.
RATE OF NATURAL RUNOFF 0.236 CFS
VOLUME OF NAT. RUNOFF 0.0070 AC-FT.

DEVELOPED CONDITIONS

AREA (AC)	C	A+C	RATE (CFS)	VOL. (AC-FT)
ROOF	0.0525	.875	.0460	.0090
PAVEMENT	0.0174	.75	.0178	.0037
OPEN	0.0353	.40	.0141	.0029
			.1217	0.0162

REQUIRED SITE RETENTION

$$0.0162 \text{ (DEV.)} - 0.0070 \text{ (NAT.)} = 0.0092 \text{ AC-FT}$$

(313 FT³)

AVAILABLE POND VOLUMES

DRAINAGE AREA 7	=	210 FT ³
DRAINAGE AREA 9	=	170 FT ³
DRAINAGE AREA 11	=	110 FT ³
DRAINAGE AREA 13	=	100 FT ³
DRAINAGE AREA 15	=	350 FT ³

DRAINAGE AREAS 8, 10, 12 & 14

AREA UNDER CONSIDERATION 0.0954 AC./DRAINAGE AREA
NATURAL RUNOFF COEFF. 0.40
EXIST. SLOPE (AVG.) 3.5%
TIME OF CONCENTRATION 10 MIN.
INTENSITY 5.4 IN./HR.
100-YEAR 6-HOUR PRECIP. 2.5 IN.
RATE OF NATURAL RUNOFF 0.206 CFS
VOLUME OF NATURAL RUNOFF 0.0090 AC-FT.

DEVELOPED CONDITIONS

AREA (AC)	C	A+C	RATE (CFS)	VOL. (AC-FT)
ROOF	0.0471	.875	.0412	.0086
PAVEMENT	0.0174	.75	.0178	.0037
OPEN	0.0287	.40	.0116	.0024
			.3816	.0147

REQUIRED SITE RETENTION

$$0.0147 \text{ (DEV.)} - 0.0090 \text{ (NAT.)} = 0.0057 \text{ AC-FT}$$

(272 FT³)

AVAILABLE POND VOLUMES

DRAINAGE AREA 8	=	275 FT ³
DRAINAGE AREA 10	=	434 FT ³
DRAINAGE AREA 12	=	310 FT ³
DRAINAGE AREA 14	=	300 FT ³

DRAINAGE AREA 16

AREA UNDER CONSIDERATION 0.1773 AC.
NATURAL RUNOFF COEFF. 0.40
EXIST. SLOPE 4.5%
TIME OF CONCENTRATION 10 MIN.
INTENSITY 5.4 IN./HR.
100-YEAR 6-HOUR PRECIP. 2.5 IN.
RATE OF NATURAL RUNOFF 0.1825 CFS
VOLUME OF NATURAL RUNOFF 0.0160 AC-FT.

DEVELOPED CONDITIONS

AREA (AC)	C	A+C	RATE (CFS)	VOL. (AC-FT)
ROOF	0.0433	.875	.0371	.0077
PAVEMENT	0.1115	.75	.0126	.0044
OPEN	0.0445	.40	.0178	.0037
			.2547	.0330

REQUIRED SITE RETENTION

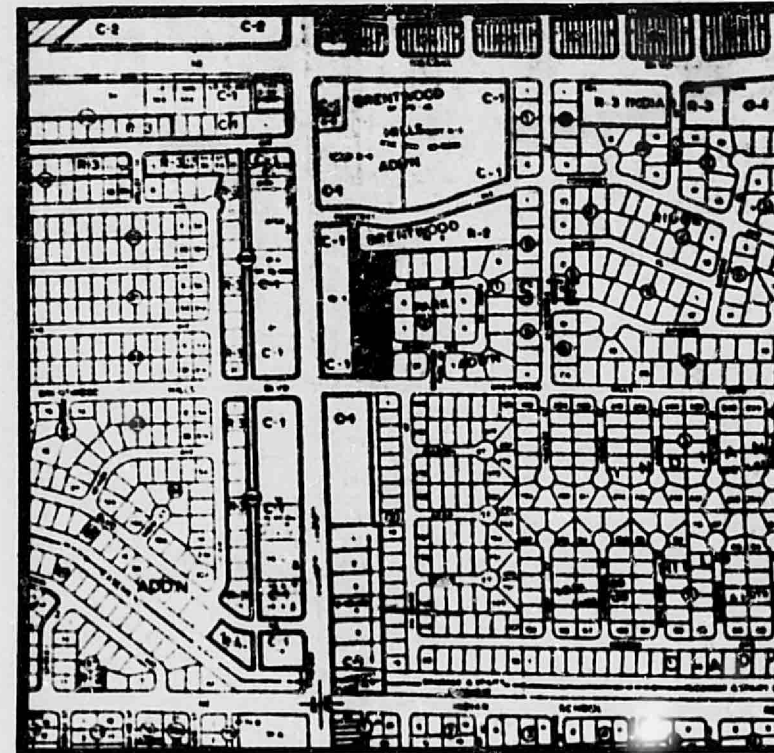
$$0.0330 \text{ (DEV.)} - 0.0160 \text{ (NAT.)} = 0.0164 \text{ AC-FT}$$

(114 FT³)

AVAILABLE POND VOLUME

$$280 \text{ FT}^3$$





VICINITY MAP

GENERAL NOTES:

1. BEARING BASIS - Recorded plat of BRENTWOOD PARK BLOCKS 1-A & 2-A, Albuquerque, New Mexico Filed March 5, 1979 (Vol. D9, Fol. 76)
2. Purpose of this Replat is to create 10 new Lots.

BRENTWOOD PARK TRACT 2

FILED DEC 14, 1977 DB-55

SCALE 1"=50'

25' DRAINAGE & PUBLIC UTILITY EASEMENT DEDICATED BY PLAT (3-5-79 VOL. D9, FOL. 76)
25' ACCESS EASEMENT DEDICATED BY THIS PLAT

BRENTWOOD PARK TRACT 1

FILED DEC 14, 1977 DB-55

7' UTILITY EASEMENT
10' UTILITY EASEMENTS SHOWN ON BRENTWOOD PARK PLAT (09-76) TO BE VACATED BY UTILITY COMPANIES.

Replat Data

D.R.B. Case Number 83-472
Zone Atlas Number H-22
Gross Acreage 1.3178 Ac.
Total Number Tracts Created 10
Total Mileage of Streets Created 0
Date of Survey N/A

APPROVED BY:

Traffic Engineer, Transportation Department Date

Parks and Recreation Department Date

Chief City Surveyor, Engineering Division Date

Water Resources Department Date

Property Management Date

Albuquerque Metropolitan Arroyo Flood Control Authority Date

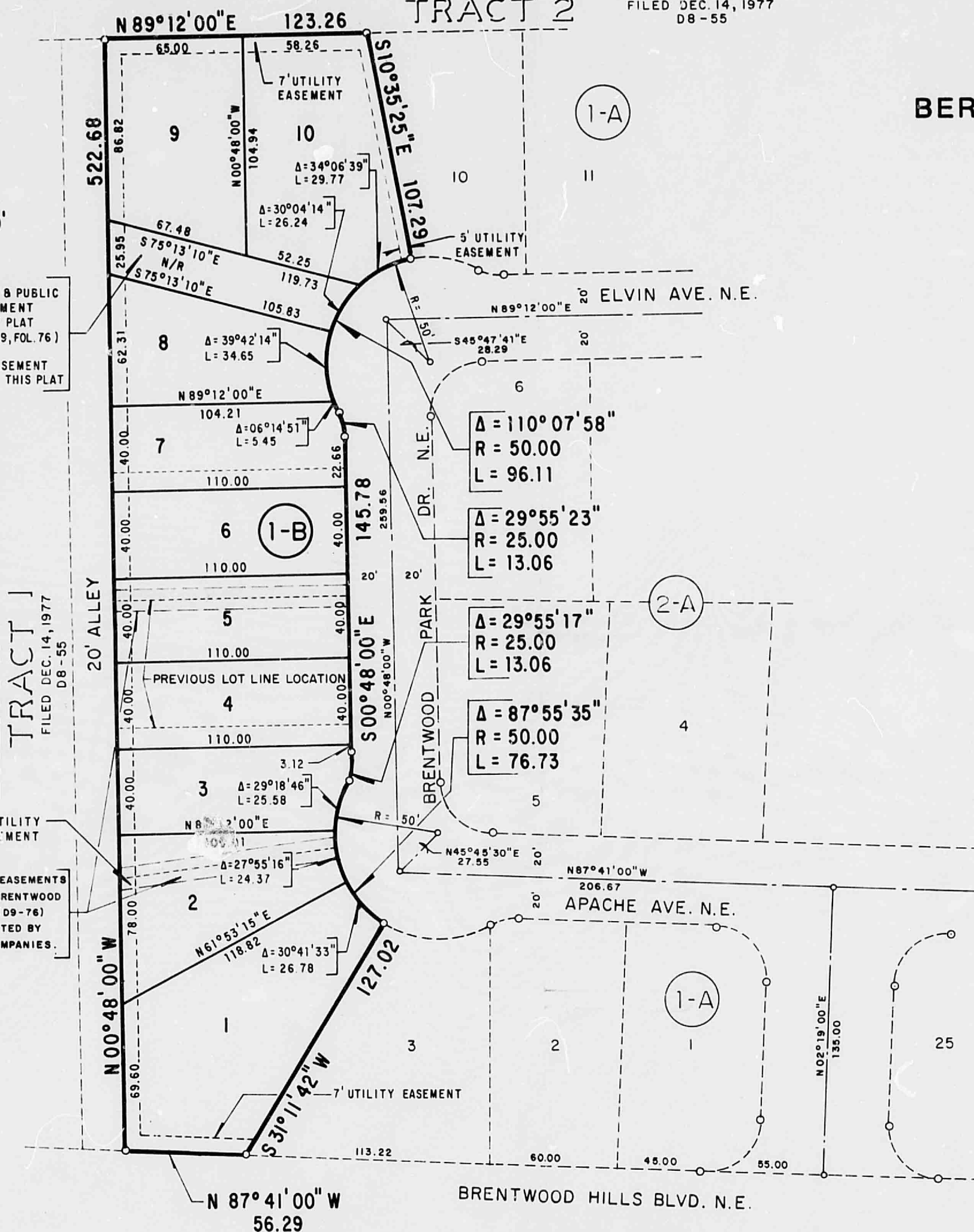
City Engineer, Engineering Division Date

City Planner, Albuquerque/Bernalillo County Planning Division Date

Roy Hendon 9/13/83
Public Service Company of New Mexico Date

Mountain Bell Date

Gay Henry 9-13-83
Gas Company of New Mexico Date



CERTIFICATION

I, George L. Mundell, New Mexico Registered Land Surveyor Number 8454, certify this replat was prepared by me or under my supervision from existing Plat records and that no field work was performed. This Replat shows all easements of record and meets the minimum requirements of the Albuquerque Subdivision Ordinance, and is true to the best of my knowledge and belief.

George L. Mundell
George L. Mundell NMRLS No. 8454
For MSM/SP Group

9/14/83 Date

BRENTWOOD PARK

BLOCK 1-B

LOTS 1 THRU 10

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

BEING A REPLAT
OF

LOTS 4 THRU 9

BLOCK 1-A

BRENTWOOD PARK

DEDICATION AND DESCRIPTION

The Undersigned Owner of the land hereon shown does hereby consent to the Replat of the land shown hereon, Lots 4 thru 9, Block 1-A of Brentwood Park, Blocks 1-A and 2-A, Albuquerque, New Mexico as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County, New Mexico on March 5, 1979 (Volume D9, Folio 76). Now comprising BRENTWOOD PARK, BLOCK 1-B, LOTS 1 THRU 10. The plat shown hereon is with the free consent and in accordance with the undersigned Owner and said owner does hereby dedicate all easements shown hereon, including the right of ingress and egress, maintenance and the right to trim interfering trees.

CASA ALEGRE

T. D. Howe, President Date

State of New Mexico) ss.
County of Bernalillo)

The foregoing instrument was acknowledge before me this day of 1983, by T. D. Howe, President of CASA ALEGRE, a New Mexico Corporation, on behalf of said Corporation.

MSM/SP Group CONSULTING ENGINEERS • SURVEYORS • PLANNERS 2601 Wyoming Blvd., N.E. Albuquerque, New Mexico 87112 805 292-1936	
DRAWN BY: G.M.	FILE NO. 0640646
DESIGNED BY:	SCALE 1"=50'
CHECKED BY: <i>[Signature]</i>	DATE 9-14-83
APPROVED BY: <i>[Signature]</i>	SHEET NO. 1 of 1
BRENTWOOD PARK BLOCK 1-B LOTS 1 THRU 10	

UNDEVELOPED
Area under consideration 8.2708 Acres
Existing (Natural) Slope 4.06%
Natural Runoff Coefficient .04
Time of concentration 1.5 minutes
Intensity 1.25
100 year 24 hour Precipitation 2.8 inches
Rate of Natural Runoff 17.62 cfs
Volume of Natural Runoff 9.7720 Acre-Feet

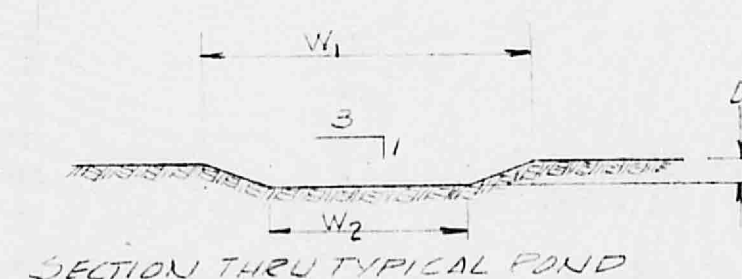
DEVELOPED	Area	C	A/C	I	24 hr. P	Volume (A.F.)
Shed Roof	1.4105	.30	2.170	5.4	11.718	1.5368
Pavement	1.5800	.30	1.423	5.4	7.883	1.0020
Landscaping	4.2795	.30	1.712	5.4	3.245	1.0378
Natural Runoff						17.62
Required Retention						46.5804 (21,200 cu ft)

NOTE:

POND DENOTES POND CAPACITY IN CUBIC FEET.
Q-F DENOTES DRAINAGE FLOW.
Q100 DENOTES TOTAL Q FOR 100 YEAR 24 HOUR
PRECIPITATION, CALCULATED FROM FRONT
YARDS, ADJACENT WALKS & PAVEMENT.
(SEE NOTE BELOW)

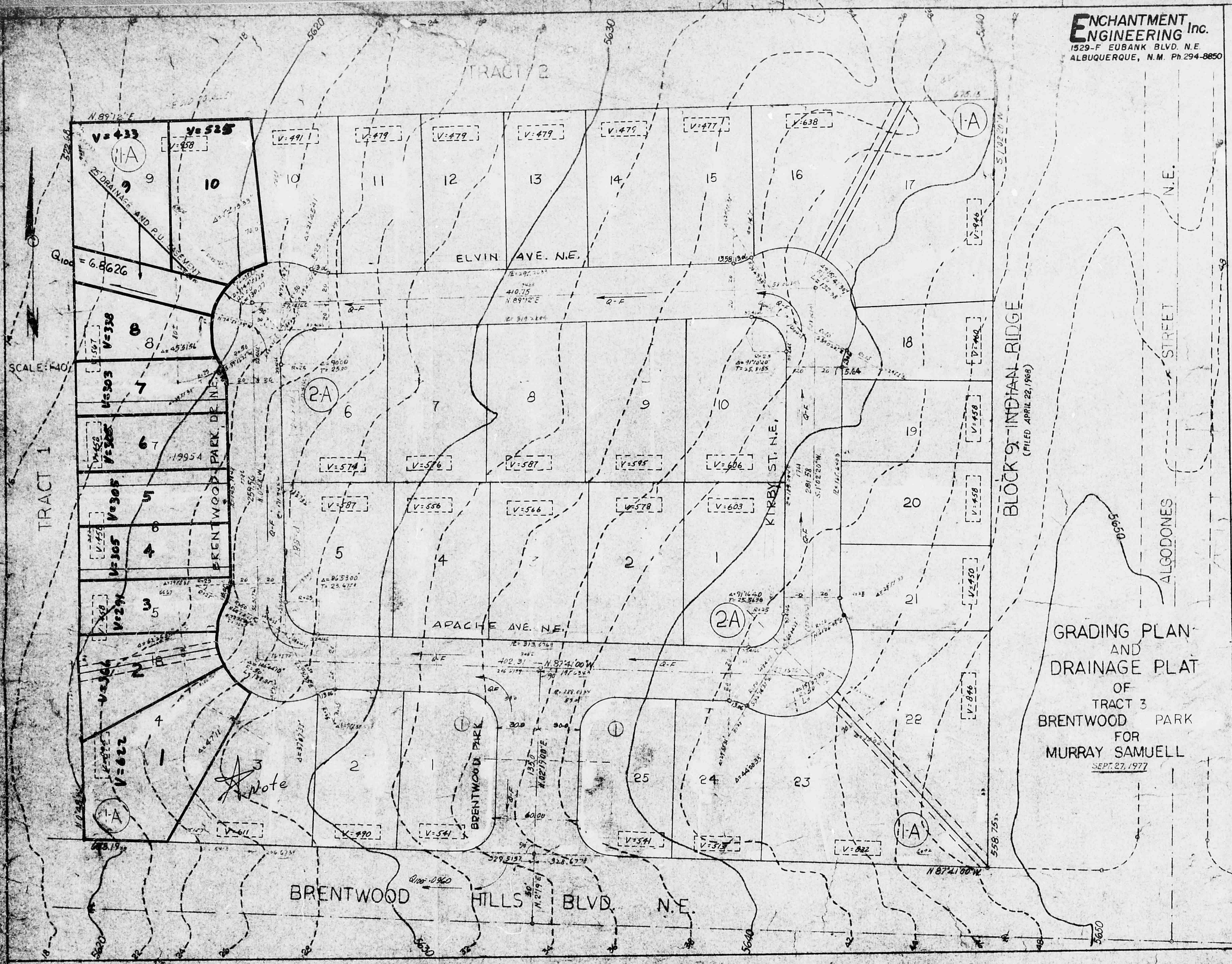
NOTE:

Q FLOW IS CALCULATED FROM FRONT YARDS, DRIVE-
WAYS, WALKS & PAVEMENT ADJACENT TO EACH
LOT. LOT DRAINAGE IS POUNDED, BASED ON TOTAL
RETENTION REQUIREMENT. LOT COVERAGE BY
PAVING & DRIVEWAYS ASSUMED TO BE 30.00% ±.



NOTE:

DRAINAGE FROM EASTERLY DIRECTION
OVERTURNED NORTH & SOUTH ALONG
ALGODONES.

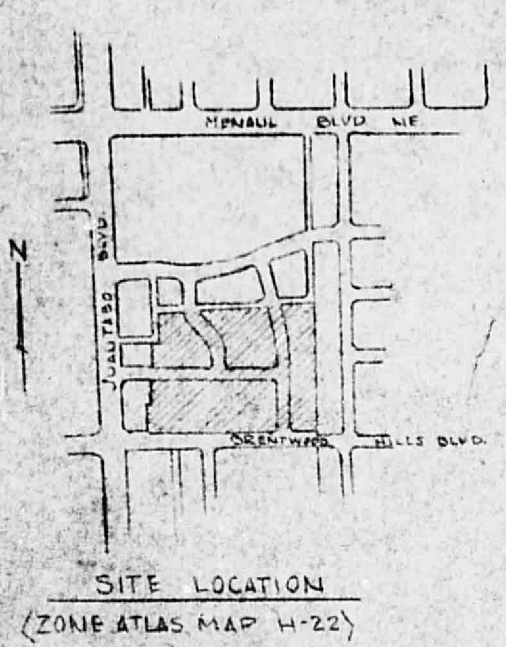


GRADING PLAN
AND
DRAINAGE PLAT
OF
TRACT 3
BRENTWOOD PARK
FOR
MURRAY SAMUEL
SEPT. 27, 1977

★ Note

See DRB 85-784

3A mit contain $\frac{611CF}{2} = 305CF$
3B " " " = 305CF



submitted
9/12/83 DgX

SAS-128-77
W - 176-77
P - 83-77

APPROVALS - REVISION	
City Engineer	Date 3/2/78
Hydrology	Date 12/6/78

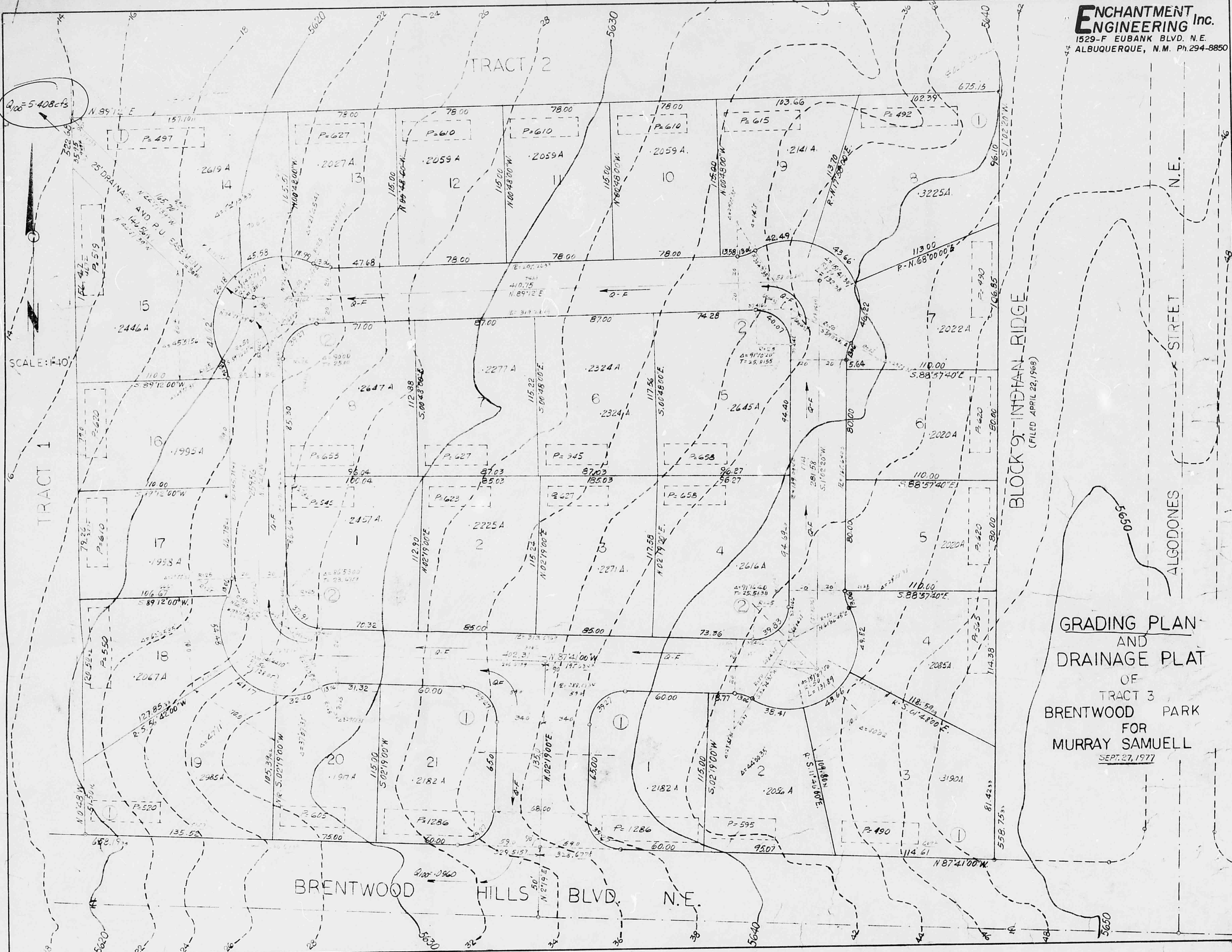
NO.	DESCRIPTION	DATE	BY
1	REVISION		



C-83-77

SHT. 11 of 12

361 0001



ENCHANTMENT ENGINEERING Inc.
1529-F EUBANK BLVD. N.E.
ALBUQUERQUE, N.M. PH. 294-8850

UNDEVELOPED

Area under consideration 8.2709 Acres
Existing (Natural) Slope 4.56%
Natural Runoff Coefficient 0.6
Time of Concentration 10 minutes
Intensity 1.25
100 Year 6 Hour Precipitation 2.8 inches
Rate of Natural Runoff 17.645 cfs
Volume of Natural Runoff 8.7720 Acre-feet

DEVELOPED

	Area	C	A/C	I	Rate (cfs)	Volume (Acre-ft)
Shed Roof	1.9351	.92	1.838	54	3.5252	.4289
Pavement	1.5809	.92	1.454	54	7.854	.3594
Landscaping	4.6519	.4	1.877	54	10.135	.4379
					12.062 Acre-ft	
					1.7720	

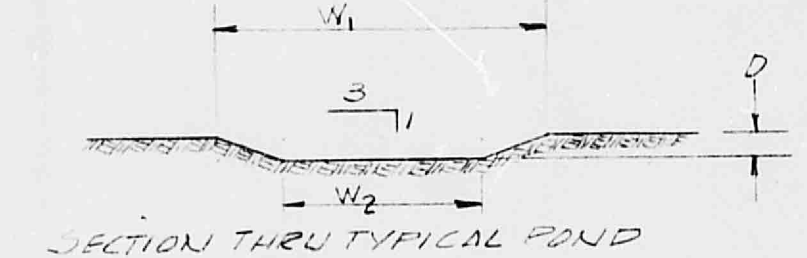
Natural Runoff
Required Retention .4342 Acre-ft (18914 cu ft)

NOTE:

P-625 DENOTES POND CAPACITY IN CUBIC FEET.
Q-F DENOTES DRAINAGE FLOW.
Q100 DENOTES TOTAL Q FOR 100 YEAR 6 HOUR PRECIPITATION.

NOTE:

Q FLOW IS CALCULATED FROM FRONT YARDS, DRIVEWAYS, WALKS & PAVEMENT ADJACENT TO EACH LOT. LOT DRAINAGE IS POUNDED, BASED ON TOTAL RETENTION REQUIREMENT. LOT COVERAGE BY DWELLING & DRIVES ASSUMED TO BE 3000 S.F. ±



Handwritten signature: JMB

GRADING PLAN AND DRAINAGE PLAT OF TRACT 3 BRENTWOOD PARK FOR MURRAY SAMUELL
SEP. 27, 1977