

1/30/84

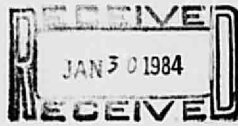
John Armstrong, Hydrology
City of Albuquerque

Re: Brentwood Hills Block 30 B, File H 22 D 4

The attached drawings have the changes you requested.

1. Relocate the Rundown on sheet 2
2. Add header curb at transition on rundown detail Sheet 2
- 2 3. Remove Channel detail sheets 2, 3, & 4
4. Change floor grades and street grades to assure the town house floors are above the street.
5. Correct North arrow sheet 4.

Ray Harrison
Ray Harrison



RESUBMITTED



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 12, 1983

Mr. Ray Harrison
Ray Harrison & Associates
1517-A Girard Blvd. N.E.
Albuquerque, NM 87106

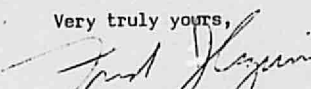
RE: BRENTWOOD HILLS SUBDIVISION (H22-D4)

Dear Mr. Harrison:

In accordance with Brian Burnett's instructions for processing the referenced report, I was to forward a letter of approval with the filing of the encroachment agreement. Please consider this letter your approval for the referenced report. Note: The agreement is in the process of being filed.

If you have any questions regarding the above, please feel free to call me at 766-7467.

Very truly yours,


Fred J. Aguarre, P.E.
Civil Engineer/Hydrology

FJA/tsl

MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

6/23/83

Fred,

Re: Ray Hausas &
Brentwood Hills Subdivision
H22-D4.

a. Hold Harmless is
upstairs for Frank K.
& sign. I've asked
Theresa to monitor

b. Approval can
be forwarded once
signed and filed (we need
copy). Also ask that ^{the} written
notice blank (page 2) must
be filled in.

Bua

CITY OF ALBUQUERQUE

ALBUQUERQUE, NEW MEXICO

INTER-OFFICE CORRESPONDENCE

May 5, 1983

REF. NO. _____

TO: Brian Burnett, Civil Engineer/Hydrology
FROM: Jim Fink, Asst. City Engineer, Hydrology
SUBJECT: ENCROACHMENT AGREEMENT FOR BRENTWOOD HILLS SUBDIVISION

I would like to see more detail on the sketch supplied with this Agreement such as X-section line drawn, elevations indicated and proposed road shown. We will also want a plan to re-vegetate the proposed fill area.

JF/tsl

CITY OF ALBUQUERQUE

ALBUQUERQUE, NEW MEXICO

INTER-OFFICE CORRESPONDENCE

May 4, 1983

REF. NO. _____

TO: Distribution List
FROM: Brian Burnett, Civil Engineer/Hydrology *BB*
SUBJECT: ENCROACHMENT AGREEMENT FOR BRENTWOOD HILLS SUBDIVISION

Enclosed is a request for encroachment along the Piedra Lisa Channel, south of Candelaria and west of Nakomis. Before approving or denying the request I would appreciate your comments. Please return them by 5/9/83. Thank you.

BB/tal

Distribution:

George Paul, Street Maint. Engineer
Bob Fosnaugh, Traffic Engineer
Bob Kielich, Asst. City Engineer, Design
Jim Fink, Asst. City Engineer, Hydrology

5-4-83

*Don't like what is pictured here ..
I think the owner should clear dirt
now or build retaining wall, to provide
truck access thru the affected area!*
Safe & comfortable
*(Comments in blue, on attached
sheets)*

GP Paul

REAL PROPERTY ENCROACHMENT AGREEMENT

THIS AGREEMENT made this _____ day of _____, 19____ by and between the City of Albuquerque, a New Mexico municipal corporation, (City) and _____ (User).

RECITAL

The User is the Owner of certain real property located at 2801 Nakomis Dr., N.E. in Albuquerque, New Mexico, and more particularly described as follows:

Block 30B, Brentwood Hills Subdivision, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on Plat filed in the Office of the Bernalillo County Clerk on June 24, 1977.

The City is the owner of certain real property, easement, or public right-of-way adjoining or abutting the above described property of the User. The User wishes to encroach upon the City's property by constructing an improvement thereon or has already encroached upon the City property as follows:

Road and Utility Easement Encroachment and Fill Encroachment

A sketch of the proposed or existing improvement is attached hereto and made a part of this Agreement.

The City is agreeable to the encroachment of said improvement provided that the User comply with the provisions and covenants contained herein.

NOW THEREFORE, in consideration of the mutual covenants contained herein, it is agreed by and between the City and User that the User may construct and/or maintain, at his own expense, the improvement described herein.

RESPONSIBILITY

The User shall be responsible for the construction and/or maintenance of said improvement and it shall conform to all laws and ordinances and administrative regulations applicable thereto. Said improvement shall not constitute a hazard to the health or safety of the general public and shall not interfere with the City's use of the property.

INDEMNIFICATION AND HOLD HARMLESS

The User shall agree to defend, indemnify, and hold harmless, the City, its officials, agents and employees from and against any and all claims, actions, suits or proceedings of any kind brought against said parties for or on account of any matter arising from the encroachment by the User or the User's failure to maintain, modify, or remove the encroachment under this Agreement.

REMOVAL

The User shall remove, modify, maintain, or cause same to be done and cause the premises to be returned to its original condition within _____ after receipt of written Notice from the City. Notice shall be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt. In the event the User shall fail to comply with the Notice after the receipt of same, the City may undertake the project, at the expense of the User, and enter upon the property of the User as may be necessary to do so. The City shall assess the charge for same and any other expenses and damages arising therefrom to the User and file a lien therefore on the real property of the User.

LIABILITY

The City shall not be liable for any damages to the User's property or the improvement that may result from the maintenance, removal or any modification of the improvement.

NOTICE

The written notice provided for herein shall be accomplished by mailing same to:

The User may change said address by giving written notice, certified mail, return receipt requested, to the City Engineer, at 400 Marquette, N.W., Albuquerque, New Mexico 87102.

COVENANT RUNNING WITH THE PROPERTY

The obligation of the User set forth herein shall be binding upon the User, his heirs, and assigns, and the property of the User as described herein and will run with said property until released by the City.

President of what?

USER

By: Joseph Santangelo

Title: President

REVIEWED BY THE LEGAL DEPARTMENT

CITY OF ALBUQUERQUE

Assistant City Attorney

Chief Administrative Officer

ACKNOWLEDGEMENTS

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me by _____
Joseph Santangelo, on this 18th day of April, 1983.

Gina Seeley
Notary Public

My Commission Expires:

3-12-84



OFFICIAL SEAL
GINA SEELEY
NOTARY PUBLIC - NEW MEXICO
Notary Bond Filed with Secretary of State
My Commission Expires 3-12-84

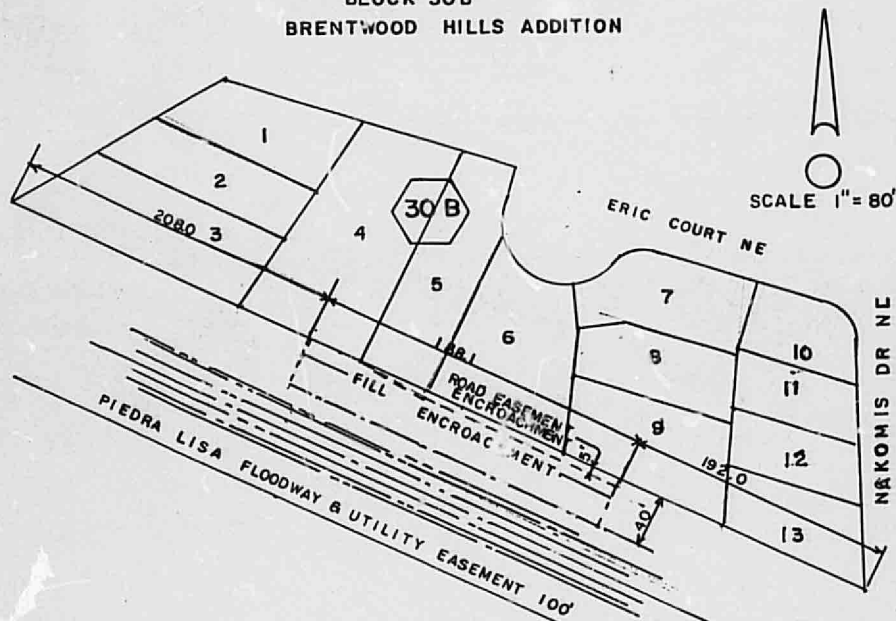
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me on this _____ day
of _____, by _____, Chief
Administrative Officer, of the City of Albuquerque, municipal corporation, on
behalf of said corporation.

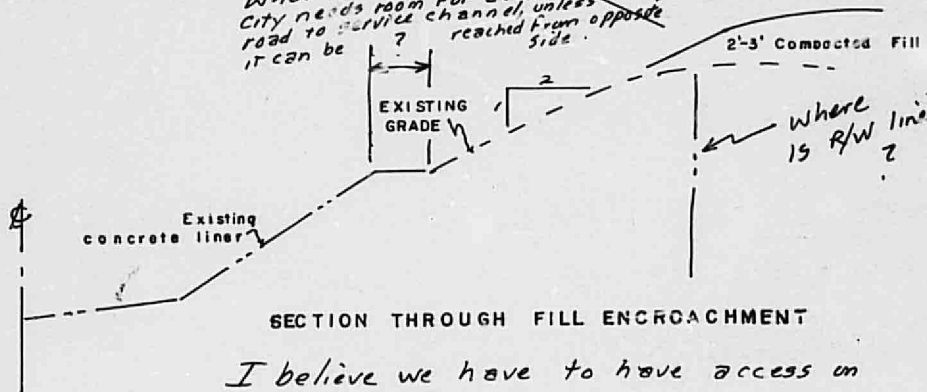
Notary Public

My Commission Expires:

ENCROACHMENT
SKETCH
BLOCK 30B
BRENTWOOD HILLS ADDITION



What is this dimension?
City needs room for access
road to service channel, unless
it can be reached from opposite
side.

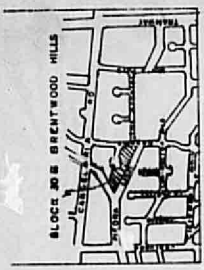


I believe we have to have access on
N. side of Piedra Lisa, to gain access
to E. side of Glenwood S. channel!

BLOCK 306 BRENTWOOD HILLS

SCALE 1"=80'
H-22

LOCATION PLAN



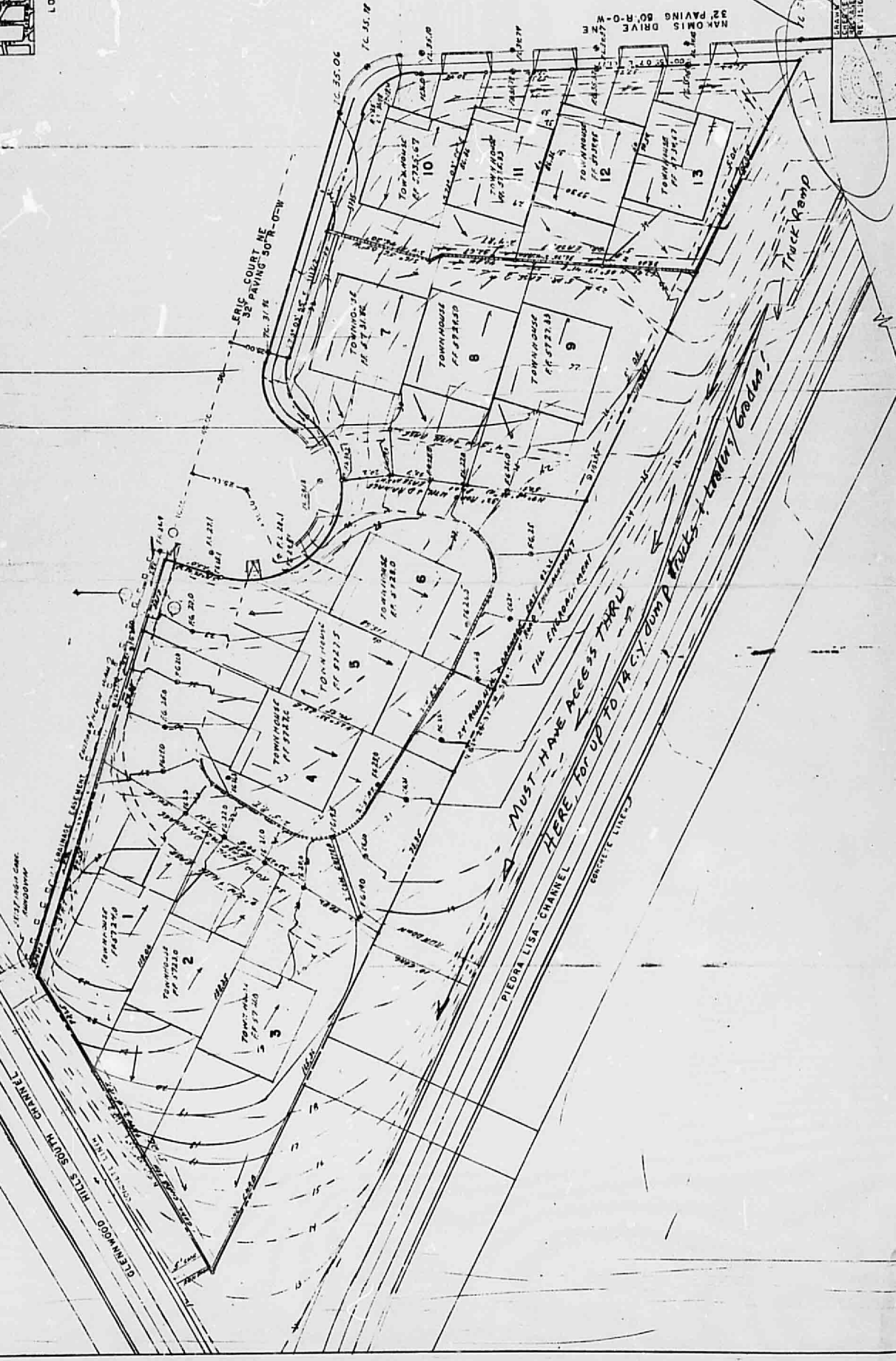
NOT: SEE SHEET FOR LIVING QUARTERS GARAGE & DRIVE

LEGEND
TOWNHOUSE FOUNDATION AT
FOUNDATION WALL AT
FOUNDATION (2'-2") AT
FOUNDATION (2'-2") AT
FOUNDATION (2'-2") AT
FOUNDATION (2'-2") AT
FOUNDATION (2'-2") AT
FOUNDATION (2'-2") AT
FOUNDATION (2'-2") AT
FOUNDATION (2'-2") AT

which side
is access to
gate to Lisa's
get to Lisa?
TERRACE SOUTH BOLT ON
FIRE RESTRAINT BOUNDARY
215-3-88

LOS ARBOLES AVE

GRADING PLAN
REPLAT OF BLOCK 306
BRENTWOOD HILLS
SUNSHINE TOWNHOUSES



MUST HAVE ACCESS THROUGH
HERE FOR UP TO TRUCK RAMP

TRUCK RAMP

PIEDRA LISA CHANNEL
CONCRETE LINED

BRICK WALLS

RECEIVED
MAY 10 1988
ENGINE

DATE: 5/11/88
SCALE: 1/4"=1'-0"

CITY OF ALBUQUERQUE

ALBUQUERQUE, NEW MEXICO

INTER-OFFICE CORRESPONDENCE

May 4, 1983

REF. NO. _____

TO: Distribution List

FROM: Brian Burnett, Civil Engineer/Hydrology

BB

SUBJECT: ENCROACHMENT AGREEMENT FOR BRENTWOOD HILLS SUBDIVISION

Enclosed is a request for encroachment along the Piedra Lisa Channel, south of Candelaria and west of Nakomis. Before approving or denying the request I would appreciate your comments. Please return them by 5/9/83. Thank you.

BB/tsl

Distribution:

George Paul, Street Maint. Engineer
Bob Fosnaugh, Traffic Engineer
Bob Kielich, Asst. City Engineer, Design
Jim Fink, Asst. City Engineer, Hydrology



RAY L. HARRISON & ASSOCIATES
CONSULTING ENGINEERS

H 22-04

1517-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

May 3, 1983

Brian Burnett, Civil Engineer/Hydrology
City of Albuquerque
Post Office Box 1293
Albuquerque, New Mexico 87103

RECEIVED

RE: SUNSHINE TOWN HOUSES DRAINAGE PLAN (Replat of Block 30 B
Brentwood Hills) MAY 04 1983

REF: Memorandum Brian Burnett to Ray Harrison on Referenced
Subject dated April 13, 1983 ENGINEERING

Dear Brian:

The following are replies to the referenced memorandum by
item number:

Items 1 and 2. The required form has been submitted to the
Assistant City Engineer for Design and is under review. It will
be modified to meet the standards of K - 10 - 2 (6 feet wide when
the length is less than 270 feet.) and other comments incorporated.

Item 3. An encroachment agreement has been submitted to you
for your approval.

Item 4. A note requiring vegetation has been added to the
grading plan.

Item 5. The drainage of lots 10-13 to 9 has been clarified
on the grading plan.

Item 6. A concrete curb and wall will be installed at the
west and north side of lots 1, 2, & 3 to prevent erosion of the
ditch bank.

Item 7. The Assistant City Engineer for design did not know
of any rundown standards.

Item 8. The street is private, the rundown is included on the
S.O 19 drawing.

Item 9. All easements except the easement that conveys drainage
from Eric Court will be private.

Item 10. A drainage pipe will be placed under the driveways to
convey the drainage under the driveways.

Item 11. The encroachment agreement has been submitted for your
approval, and the new grading plan covers the erosion control plan,

The ortho photomap is for record of the off-site drainage area.

I request permission to fill Lots 9-13 immediately with the installation of the berm. No city property will be filled until approval of the encroachment agreement and street design approval.

Sincerely,

Ray Harrison



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 13, 1983

Mr. Ray Harrison
Harrison & Associates
1517-A Girard
Albuquerque, NM 87106

RE: SUNSHINE TOWNHOUSES DRAINAGE PLAN (REPLAT OF BRENTWOOD HILLS BLOCK 30B)

Dear Ray:

I have made an initial review of the referenced project and forward the following comments:

1. I concur with your request to convey runoff from Eric Court to the Glenwood Hills South Channel by means of a concrete rundown section. The 5' channel also appears appropriate. However, the detail should be consistent with the Block-to-Block K-10-2. I also suggest placing an expansion joint between the new channel and the existing wall.

2. Approved copies of "Construction of Private Drainage Facilities in Public Right-of-Way" are required for:

- a. The 5' concrete rundown from Eric Ct. to the Glenwood Hills South Channel.
- b. The 5' concrete rundown from the SW corner to the Glenwood Hills South Channel.
- c. The 10' concrete rundown from the access road to the Piedra Lisa Channel.

Bob Kielich, Asst. City Engineer-Design should be contacted for designing these details.

3. Please clarify the extent of grading and filling that must take place in the Piedra Lisa Channel Right-of-Way. The encroachment, including the roadway, must be approved by this office.

MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION


Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

Letter to Ray Harrison
SUNSHINE TOWNHOUSES DRAINAGE PLAN (REPLAT OF BRENTWOOD HILLS BLOCK 30B)
PAGE 2

4. Revegetation, or some other acceptable erosion control measure, must be provided for the area graded in the public right-of-way.
 5. How is runoff going to be conveyed from Lots 10-13 to Lot 9?
 6. Is the retaining wall along the north boundaries of 1 and 2 going to be extended to lot 3 (north and west side)? It may be more appropriate to place a concrete wall in lieu of a concrete curb in order that a wooden fence could be placed on top of the wall for privacy. Your thoughts?
 7. Since the 5' concrete channels and rundowns are non-standard, the developer will be responsible for maintenance of these facilities.
 8. Is the street to be public? If so, the rundown between the street surface and the south property line must be designed and constructed to City Standards.
 9. I have indicated on the grading plan which easements should be public or private.
 10. How are the driveways along Nakomis going to be graded to insure that runoff enters the private easement?
 11. An encroachment agreement and erosion control plan must be approved prior to permission being granted to place fill material on the site.
- Please contact me if you have any questions on these matters.

Very truly yours,


Brian G. Burnett
Civil Engineer/Hydrology

BGB/tsl



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DRAINAGE REPORT INFORMATION SHEET

PROJECT TITLE REPLAT OF BLOCK 30B, BRENTWOOD HILLS, SUNSHINE TOWNHOUSES
ZONE ATLAS PAGE NO. H-22 ⁰⁴ CITY ADDRESS 2911 Nakomis NE
LEGAL ADDRESS Block 30B Brentwood Hills
ENGINEERING FIRM Ray Harrison & Associates CONTACT Ray Harrison
ADDRESS 1517 A Girard NE PHONE 265 4276
OWNER Joe Sangangelo CONTACT Joe Sangangelo
ADDRESS 257 Juan Tabo NE 87123 PHONE 296 3188
ARCHITECT/SURVEYOR same CONTACT _____
ADDRESS _____ PHONE _____
DATE SUBMITTED 3/28/83
BY Ray Harrison



MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller P.E. City Engineer

ENGINEERING DIVISION

Telephone (505) 756-7467

Ray Harrison & Associates
1517 A Girard Blvd. NE
Albuquerque, NM 87106

January 13, 1983

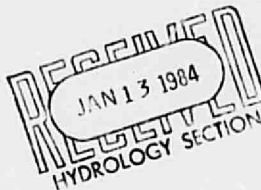
John Armstrong, Civil Engineer Hydrology
City of Albuquerque
Box 1293
Albuquerque, NM 87103

RE REPLAT OF BRENTWOOD HILLS (H22-D4)

As per our previous discussion, modification of the Brentwood Hills Drainage Report is requested as follows:

The approved Drainage Report called for the OFFSITE flows from Eric Court to drain through a channel, west to the Glenwood Hills South Channel. It is proposed that the flow be diverted into the new street to a rundown into the Piedra Lisa Channel. A calculation sheet, drawings to justify this is attached. This change is requested to save the cost of the channel.

Ray L. Harrison
Ray L. Harrison



ADDENDUM TO
DRAINAGE REPORT
REPLAT OF BLOCK 30B
BRENTWOOD HILLS
SUNSHINE TOWNHOUSES

OFFSITE FLOWS:

The offsite flow area as shown by the attached ortho photo topo map is 1.2 acres 90% pave $C = .9$

$$Q_{100\text{yr peak}} = .9 \times 2.5 \times 2.5 \times 1.2 = 6.75 \text{ CFS}$$

The drainage will flow off the West end of Eric Court through two sidewalk culverts to the street, down the street to a rundown and into the Piedra Lisa Channel.

Capacity of a 24" sidewalk culvert

Entrance using the broad crested weir formula

$$Q = CLH^{2/3} \quad C = 3.06 \text{ Table 5-5 K \& B L} = 2 \quad H = 0.6$$

$$Q = 4.35 \times 2 = 8.7 \text{ CFS entrance capacity}$$

$$\text{Channel flow is } 8.4 \text{ CFS per culvert} = 16.8 \text{ CFS}$$

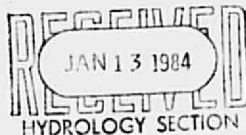
Street Capacity 30 Ft paving inverted crown .33

$$D = .33 \quad e = 15 \quad b = 0 \quad z = 45 \quad x = 0$$

Formula 7-37 K & B K + 42

$$\text{Formula 7-38 } Q = 29\text{CFS}$$

There is more than enough capacity to handle the 6.75 CFS





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 29, 1980

Mr. Ray L. Harrison
Ray L. Harrison & Associates
1517-A Girard Blvd. NE
Albuquerque, NM 87106

Re: Addendum to Drainage Plan, Block 30 B
Brentwood Hills Subdivision, 2801 Nakomis NE

Dear Mr. Harrison:

I have received the revisions made to the plans,
and I find them consistent with the requested noti-
fications.

Very truly yours,

Bruno Conegliano
Asst. City Engineer-Hydrology

BC:lf

MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

422-D4



RAY L. HARRISON & ASSOCIATES

CONSULTING ENGINEERS

RECEIVED

JUL 28 1980

CITY ENGINEER

1517-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

422-04

July 25, 1980

Assistant City Engineer. Hydrology
City of Albuquerque
Box 1293
Albuquerque, New Mexico 87103

Re: Addendum to Drainage Plan, Block 30 B
Brentwood Hills Subdivision, 2801 Nakomis NE

Dear Sir:

Inclosed are revised drawings for the referenced drainage plan incorporating the changes and comments requested by City Engineering in your letter of July 11, 1980.

The requested changes have been handled as follows:

1. (Approval by City Engineering for work in public R-O-W) Drawing has been turned over to the city for approval through normal channels.
2. (Drive pad details) Elevations and notes have been added to the drainage plan drawing.
3. Section C-1 corrected.
4. (Q_s Positive discharge) Drainage plan drawing revised to reflect this change, calculations attached.

Ray L. Harrison

Ray L. Harrison



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 11, 1980

Mr. Ray L. Harrison
1517-A Girard Blvd. NE
Albuquerque, NM 87106

Reference: Block 30 B, Brentwood Hills Subdivision

Dear Mr. Harrison:

The construction plan for the above referenced site is in substantial compliance with City and AMAFCA requirements. However, before final approval can be given, the following items must be addressed:

1. Proposed construction plans for work in public right-of-way must receive complete approval from the City Engineer's Office.
2. Show adequate detail for the proposed drivepads on the grading plan. The drivepads must comply with the City standards.
3. Section C/1 is confusing, it does not agree with the grading plan.
4. What is the expected discharge rate for the pond, and does it meet the Q5 undeveloped discharge rate required in the interim drainage guideline? Show calculations.

If you have any questions concerning the above, please feel free to contact me.

Very truly yours,

Fred Aguirre
Civil Engineer

FA/lc

MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

RAY L. HARRISON & ASSOCIATES

CONSULTING ENGINEERS

1517-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

June 25, 1980

Assistant City Engineer, Hydrology
City of Albuquerque
Box 1293
Albuquerque, New Mexico 87103

Re: Drainage Plan, Block 30 B, Brentwood Hills
Subdivision, 2801 Nakomis NE.

Dear Sir:

Inclosed are revised drawings for the referenced
Drainage Plain incorporating the changes and comments
requested by City Engineering. The marked up
drawings requesting the changes are also inclosed.

Ray L. Harrison
Ray L. Harrison

L.H.H.



R. L. HARRISON & ASSOCIATES

CONSULTING ENGINEERS

1517-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

Swale Capacity
Reference: King's Handbook of Hydraulics
Open Channel Flow

Swale

Formula 7-37 $s = 2\%$ $D = 0.5$ $n = 0.016$ $b = 0$
 $z = e/D = 12$ $x = D/b =$ $1/x = 0$

$$K \frac{1.486 (2 + 1/x)^{5/3}}{[1/x + 2(z^2 + 1)^{1/2}]^{2/3}} = 7.54$$

$$7-38 \quad Q = \frac{K D^{8/3} s^{1/2}}{n} = 9 \text{ CFS}$$

Drainage area of swale approx 1 Ac.

$$Q = CiA = 0.7 \cdot 4.2 \cdot 1 = 2.94 \text{ CFS}$$

Swale is more than adequate



RAY L. HARRISON & ASSOCIATES

CONSULTING ENGINEERS

1517-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

May 16, 1980

Mr. Bruno Conegliano, Assistant City Engineer, Hydrology
City Of Albuquerque
Box 1293
Albuquerque, New Mexico

Re: Addendum to Drainage Plan, Block 30B, Brentwood Hills
Subdivision (2801 Nakomis NE)

Dear Mr. Conegliano,

The referenced Drainage Plan was submitted for your review
on November 15, 1979. Inclosed are revised drawings as
requested in Fred Aguirre's letter of March 13, 1980.

The rundowns have been coordinated with Bohannon & Huston
(Rox Paul Bohannon), and the design of the drainage easement
lining approved by the Assistant City Engineer (Q. R. Kielich).

The letter of March 13, 1980 requested information as to
the Q-100 design of the drainage easement lining. Along
with additional calculation this is shown on the attached
sheet.

Ray L. Harrison
Ray L. Harrison



RAY L. HARRISON & ASSOCIATES

CONSULTING ENGINEERS

1517-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

Addendum to Drainage Plan, Block 30B Brentwood Hills
2801 Nakomis St. NE

Capacity of Drainage Easement Channel

Because of the small drainage area the easement was designed to minimum City Standards. Its capacity is as follows:

Assume a drainage depth of 6" (.5)

$$\frac{D}{b} = .05 \quad K = 27.9 \quad \text{"Kings Handbook of Hydraulics"} \\ s = .025 \quad D = .5 \quad n = .016$$

$$Q = \frac{K}{n} D^{8/3} s^{1/2} = 43 \text{ CFS}$$

$$C = .7 \quad I = 4.2$$

$$Q = CIA \quad A = \frac{Q}{CI} = 14.6 \text{ Acres} \quad \text{Maximum drainage area} \\ \text{by inspection} = 2 \text{ Acres}$$

The capacity of the 18" \emptyset culvert is as follows;

$$\text{Drainage Area} = 2 \text{ ac} \quad C = .7 \quad I = 4.2 \quad Q = CIA = 5.88 \text{ CFS}$$

The capacity of an 18" \emptyset culvert is 7 CFS with no static head at entrance. (Handbook of Drainage Products)

Depth of drainage at pond overflow wall $Q = 100\text{Yr.}$

$$Q = 5.88 \text{ CFS}$$

Assume a broad crested weir

$$Q = CLH^{3/2} \quad C = 2.63 \text{ (Handbook of hydraulics)} \\ L = 11'$$

$$H = \left(\frac{Q}{C}\right)^{2/3} = .34 \text{ feet}$$

Overflow wall will flow approx. 4" deep with a 100 Yr Rain.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 13, 1980

Ray Harrison & Associates
Consulting Engineers
1517-A Girard Blvd., NE
Albuquerque, New Mexico 87106

Reference: Drainage Plan for Block B, Brentwood Hills Subdivision

Dear Mr. Harrison:

Approval of the drainage report will require that the proposed channel for the 10 ft. drainage easement and the proposed rundowns be approved by the Assistant City Engineer-Design Section.

I would recommend that you coordinate the proposed rundown for the pond with Bohannan/Houston, since they are responsible for the design of the channel that you are proposing to drain into.

Would you also submit to me the Q-100 that you designed the channel for.

If you have any questions regarding these matters, please feel free to contact me at your earliest convenience.

Very truly yours,

Fred Aguirre
Civil Engineer

lc

MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467



RAY L. HARRISON & ASSOCIATES

CONSULTING ENGINEERS

1317-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

February 12, 1980

Mr. Bruno Conegliano
Assistant City Engineer/ Hydrology
City of Albuquerque
Box 1293
Albuquerque, New Mexico 87103

Re: Addendum to drainage plan, Block 30 B, Brentwood Hills

Dear Bruno,

Inclosed are revised drawings of the drainage Plan for the referenced project, and new drawings of the Drainage Easement Channel Lining. These drawings incorporate changes and additions verbally requested by you.

Ray L. Harrison
Ray L. Harrison

RECEIVED

FEB 13 1980

CITY ENGINEER

Brentwood Hills

12/12/79
~~12~~

1. A formal drainage report should be submitted. In this report a description of the property should be given as to the existing conditions, the existing runoff, how the property drains currently and if there are any offsite drainage to contend with. The future condition should be discussed as to how the property is to be developed, how much runoff is to be expected, how arrived at and more detail as to how it will be treated.
2. On the ^{drainage} plan submitted the Piedra Lisa Channel should be noted as such.
3. How is the water being channeled to the pond? Faint contours on the plan (if proposed) indicate that it might flow down the street/parking area. However the drawing for the "retaining wall?" indicates the fill behind them are flat and the water might just as well run over the sides of the property and never reach the proposed pond.
Also should show detail for 12" drain under steps as shown.

4. R/W's for Glenwood Hills South Channel and Piedra Lisa Channel need to be shown as indicated
5. What is the required capacity of the pond? Does the pond meet the required? How much is to overflow the wall and has the erosion around the contact of the nappe been accounted for? Cannot verify capacity of pond as shown on plan because runoff expected is not shown. What is the flow through the 3" drain and will it detain the runoff for 24 hrs.
6. Will the flow on the runoff be 5" or less with overflow over the wall? If not has the erosion along the edges been considered and how will it be treated?
7. What about the utility easements shown in the ponding area, has the location of the pond been cleared with the parties concerned?
8. What about maintenance? Will the owner be responsible for this?

9. What about area between Eric Court N.E. and the street/parking area, will the flow be allowed to just run over the proposed wall? Same applies for the area south of the 10' north side channel.

10. Are all the floor elevations above the 100 year flood elevation for both the Glenwood Hills and the Piedra Lisa channels?

Billy Goolaky



RAY L. HARRISON & ASSOCIATES
CONSULTING ENGINEERS

1517-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

RECEIVED

November 15, 1979

NOV 15 1979

CITY ENGINEER

Mr. Bruno Conegliano, Assistant City Engineer-Hydrology
City of Albuquerque
Box 1293
Albuquerque, New Mexico 87103

Re: Drainage Plan, Block 30 F, Brentwood Hills Subdivision
(2801 Nakomis)

Dear Mr Conegliano,

Forwarded for your review is the Drainage Plan for the
referenced project. The construction plans for this project
are in the Building & Inspection Department for Review.

Ray L. Harrison
Ray L. Harrison

Brentwood Hills Subdivision (H22-D4)

- ① Move 10 ft run down to center on inverted corner of street
- ② Correct North Arrow on sheet 4 (top-center)
- ③ Address slope in Piedra Lisa Channel. Will water stay in "Channel" when warped to meet Piedra Lisa?
- ④ How does water get to NW 5' run down in Glenwood Hills South Channel?
- ⑤ Grading Plan needs to show T/C's at critical points and show positive slope away from Buildings!

Block 3013, Brentwood Hills

- 1) Drainage easements 3 sides!
- 2) should the concrete runoff be provided with a cutoff wall
- 3) IS A.M.A.F.C.A approval & inspection needed on the runoff.
- 4) part of the ponding area is in the utility easement, is this allowable
- 5)



RAY L. HARRISON & ASSOCIATES

CONSULTING ENGINEERS

1517-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

DRAINAGE PLAN

BLOCK 30 B, BRENTWOOD HILLS SUBDIVISION

Block 30 B will be developed as three story townhouse apartments. It is adjacent to the confluence of the Piedra Lisa and Glenwood Hills South Drainage Channels.

The grading of the lot will divert all the drainage into the pond at the west end of the lot. Ponding balance will be obtained by overflowing the excess of the design capacity of the pond into the Glenwood Hills South Channel on a concrete runout. The pond will be compacted to hold the drainage and a pipe and orifice installed to drain the pond in twenty four hours. This design will eliminate any chance of damage to the concrete lining of the adjacent channels.

The 10 foot drainage easement at the North edge of the property will be sodded and maintained as agreed on in the Tract D Block 29 B Drainage plan. A concrete runout is designed into the channel at this point.

The drawings for the future lining of the Piedra Lisa and Glenn Hills South Channels are attached for your information.

The elevation Bench Mark used by Bohannon & Huston for the design of the channel lining differed by .03 foot from the elevation Bench Mark set by my Company so the elevations of the two projects are well coordinated.

Ray L. Harrison



CALCULATIONS
DRAINAGE PLAN, BLOCK 30 B
Brentwood Hills Subdivision
2801 Nakomis NE

Q₅ discharge to Glennwood Hills North Arroyo

Design Q

Area = 2 acres ± C = .4 (undeveloped)
I = .47 (10 min duration, 5 year storm X 60/10 = 2.82 "/hr.)

Q = 2.82 x 2 x .4 = 2.25 CFS

Orifice design Ref. "Kings Handbook of Hydraulics"

Standard sheet tube C = 0.82

Average head h = (1.5 - 0)/2 = 0.75 feet

Q = C a √2gh = .395 sq. ft. = 8.5" Dia

Nearest standard pipe size is 8"

Q = 2 CFS @ .75 Head Q = 2.82 @ 1.5 h



RAY L. HARRISON & ASSOCIATES

CONSULTING ENGINEERS

1517-A GIRARD BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-4276

DRAINAGE REPORT
REPLAT OF BLOCK 30B
BRENTWOOD HILLS
SUNSHINE TOWNHOUSES

Block 30B, Brentwood Hills is located at the confluence of the Piedra Lisa and Glenwood Hills South Channels in the far Northeast Heights. These drainage channels are concrete lined adjacent to this property.

Criteria - Criteria was developed at a predesign conference as follows: Drainage can flow into the drainage channels on a concrete rundown with no ponding required, Eric Court will be drained through inlets and a drainage pipe system to the Glenwood Hills South Channel in the existing drainage easement.

Modification of the criteria is requested to allow a concrete channel to carry the Eric Court drainage instead of an underground drainage system.

Planning History - This report is for the approval by the DPM of the Replat of Block 30B, Brentwood Hills into 13 townhouse lots.

Flood Hazard - This tract is not a part of the Master Drainage Study is not in a flood hazard area as shown by the Flood Hazard Boundary Map. Delineation on an ortho photo topo map attached.

Watershed soils - Watershed soils not applicable because watershed area is developed and 90% impervious. The site being developed will be filled which will change its soil classification.

Erosion Control Plan - The existing soil is SCS hydro type B (Emb). There are no erosion control problems at present. The grading plans requires the filling of most of the tract which will change the soil classification to hydro group A which has good resistance to erosion and lower land slopes will also contribute. The land presently drain as sheet flow into the channels, the developed drainage will be diverted into the channels over concrete rundowns.

1983
ENGINEERING

OFF-SITE CONDITIONS

Watershed Area - Delineation of contributing watershed on attached ortho photo topo map.

Storm Flow - Area = 2 acres 90% impervious

Soil hydro group B C = .86

Peak 100 yr I, Tc = 10 min, I = 2.5 X 2.3 * 5.75 "/hr

peak 10 yr. I, Tc = 10 min. I = 5.75 X .445 = 2.6"/hr

$$Q_{100} = .86 \times 5.75 \times 2 = 9.9 \text{ CFS}$$

$$Q_{10} = .85 \times 2.6 \times 2 = 4.47 \text{ CFS}$$

$$100 \text{ yr } 6 \text{ hr } Q = .86 \times 2.5 \times 2 = 4.3 \text{ CFS}$$

$$10 \text{ yr } 6 \text{ hr } Q = .86 \times 1.11 \times 2 = 1.9 \text{ CFS}$$

Other Conditions - There are no other conditions discernible that will affect off-site drainage.

Proposed Treatment - The off-site drainage will be drained from the end (low point) of Eric Court through a concrete channel to the Glennwood Hills South Channel in an existing easement to an existing runoff. Maintenance of this channel will be by owners of the subdivision lot through covenants.

Easement - The easement to accomplish the above is existing.

Flow Depth and Velocity - The Eric Court drainage will enter the drainage channel through a V shaped wing wall design, 8 feet wide and 1 foot deep. Using the weir formula to check the entrance at $h = .67'$ (curb height)

$$Q = CLh^{3/2} \quad C = 2.5 \text{ (K\&B)} \quad L = 8 \text{ ft. } h = .67 \text{ ft.}$$

$$Q = 10.9 \text{ CFS (peak off-site flow 9.9 CFS)}$$

The channel that carries the runoff to the Glennwood Hills South Channel runoff will be 3.75 feet wide 1.0 foot deep. A check of capacity running half full $h = 0.5$ feet

$$s = 2\% \quad n = .017 \quad D/b = .13 \quad K' = .0525 \text{ (K\&B)}$$

$$Q = \frac{K' \cdot b^{8/3} \cdot s^{1/2}}{n} = 11.8 \text{ CFS peak flow 9.9 CFS}$$

$$\text{Running full } h = 1.0 \quad Q = 33.0 \text{ CFS}$$

SUNSHINE TOWNHOUSES 3

ON-SITE CONDITIONS

Flow Volumes and Rates - Area = 1.6 Acres
Undeveloped peak I = 5.75 "/hr 6 hr = 2.5 "/hr.
Soil Hydro group B 0% impervious
C = .34

Peak flow Q = .34 X 5.75 X 1.6 = 3.13 CFS
6 hr flow Q = .34 X 2.5 X 1.6 = 1.36 CFS

Developed 100 yr peak and 100 yr 6 hr Soil group A

44,880 sq. ft paved = 64% impervious C = .52
69,700 sq. ft total

Q = .52 X 5.75 X 1.6 = 4.8 CFS (100yr peak)
Q = .52 X 2.4 X 1.6 = 2.08 CFS (100 yr 6 hr)

Flow Depth and Velocity - The undeveloped flow is sheet flow into the channel so the depth and velocity cannot be determined.

The developed flow will be concentrated at the rundown.

Rundown design s = 10% L = 10ft.
V shaped 10:1 side slope n = .017
e = 5' D = 0.5' $\frac{2}{3} \frac{e}{D} = 10$ x = 0 K = 9.33 (K&B)
Capacity $Q = \frac{KD}{n} s^{3/2} = 27.5$ CFS (peak flow 4.8 CFS)

Verification of adequacy of down stream conditions-
Adequate capacity of down stream conditions verified in predesign conference.

Easements shown on plat.

Nuisance Waters - Landscaped area will have borders to contain nuisance waters.

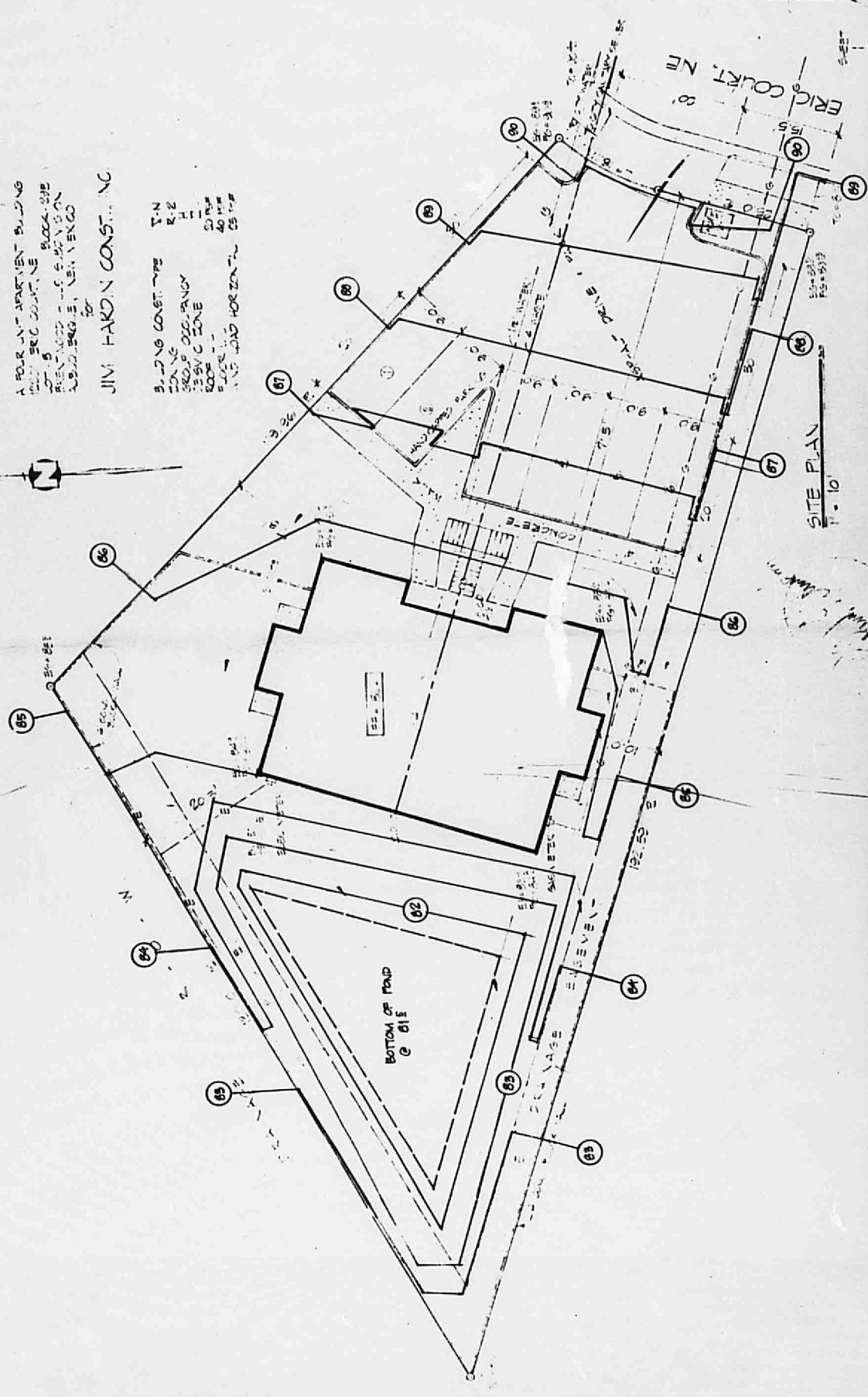
Ray L. Harrison
Ray L. Harrison



A FOUR UNIT APARTMENT BUILDING
 WITH ERIC COURT, NE
 REVENUE E. - 5.5' BY 10' ON
 LOTS 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

JIM HARKON CONST., NC

BUILDING CONSTRUCTION IN
 ZONING DISTRICT R-2
 GROUP OCCUPANCY I
 SEWERAGE SYSTEM 40" DIA
 SLOPE 1%
 AND LOAD HORIZONTAL 55 PSF



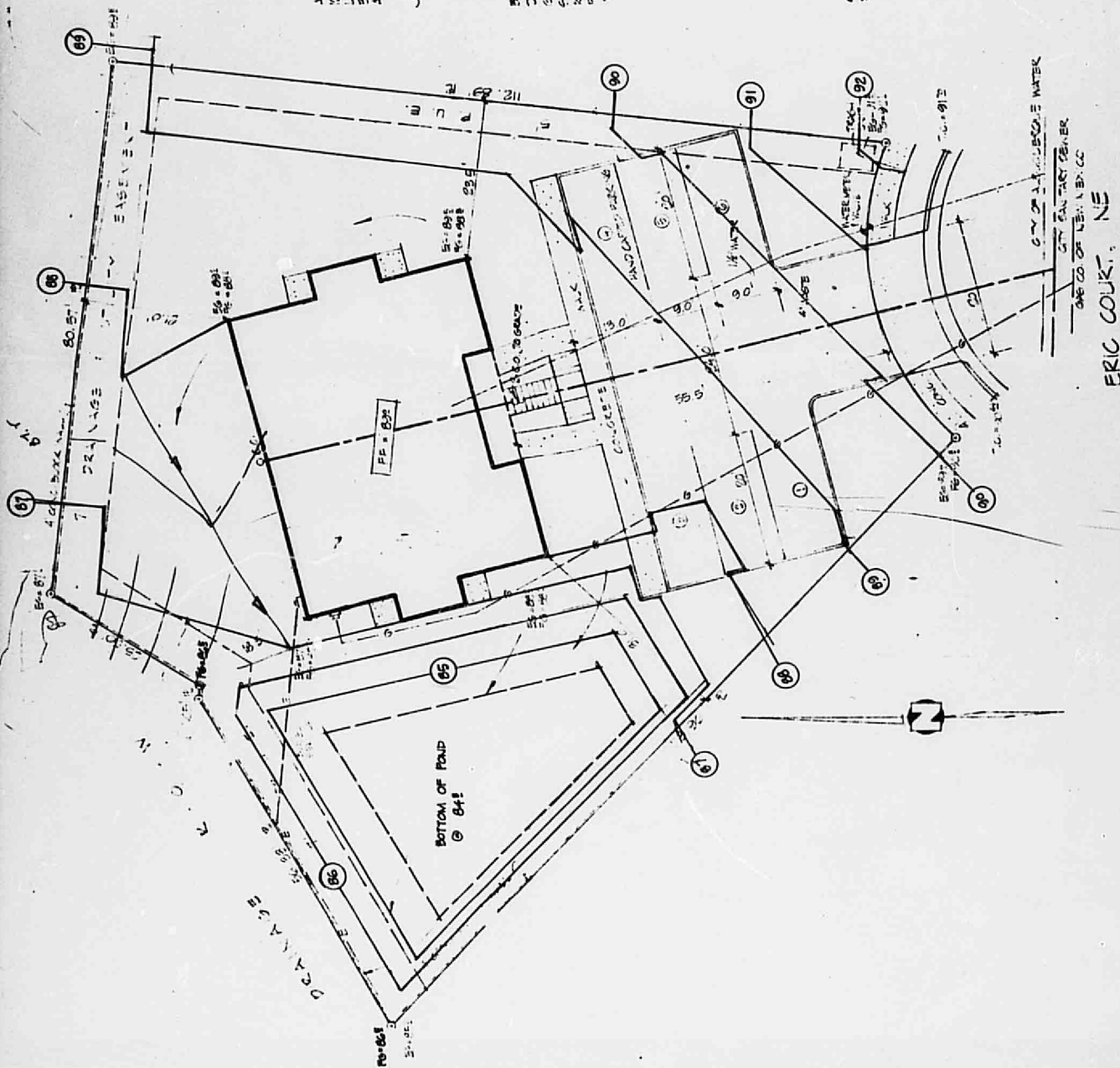
SITE PLAN
 1" = 10'

Handwritten notes and a circular stamp, possibly a professional seal, located in the bottom right corner of the drawing area.

A FOUR UNIT APARTMENT BUILDING
 10205 ERIC COURT, NE
 BENTWOOD HILLS SUBDIVISION
 ALBUQUERQUE, NEW MEXICO
 FOR
 JIM HARON CONST., INC.

BUILDING CODE TYPE I, II
 ZONING R-2
 SPEC. REQUIREMENTS II
 FOUND. CODE II
 ROOF CODE II
 ELEV. CODE II
 VENT. CODE II

SITE PLAN
 1" = 10'



ERIC COURT, NE

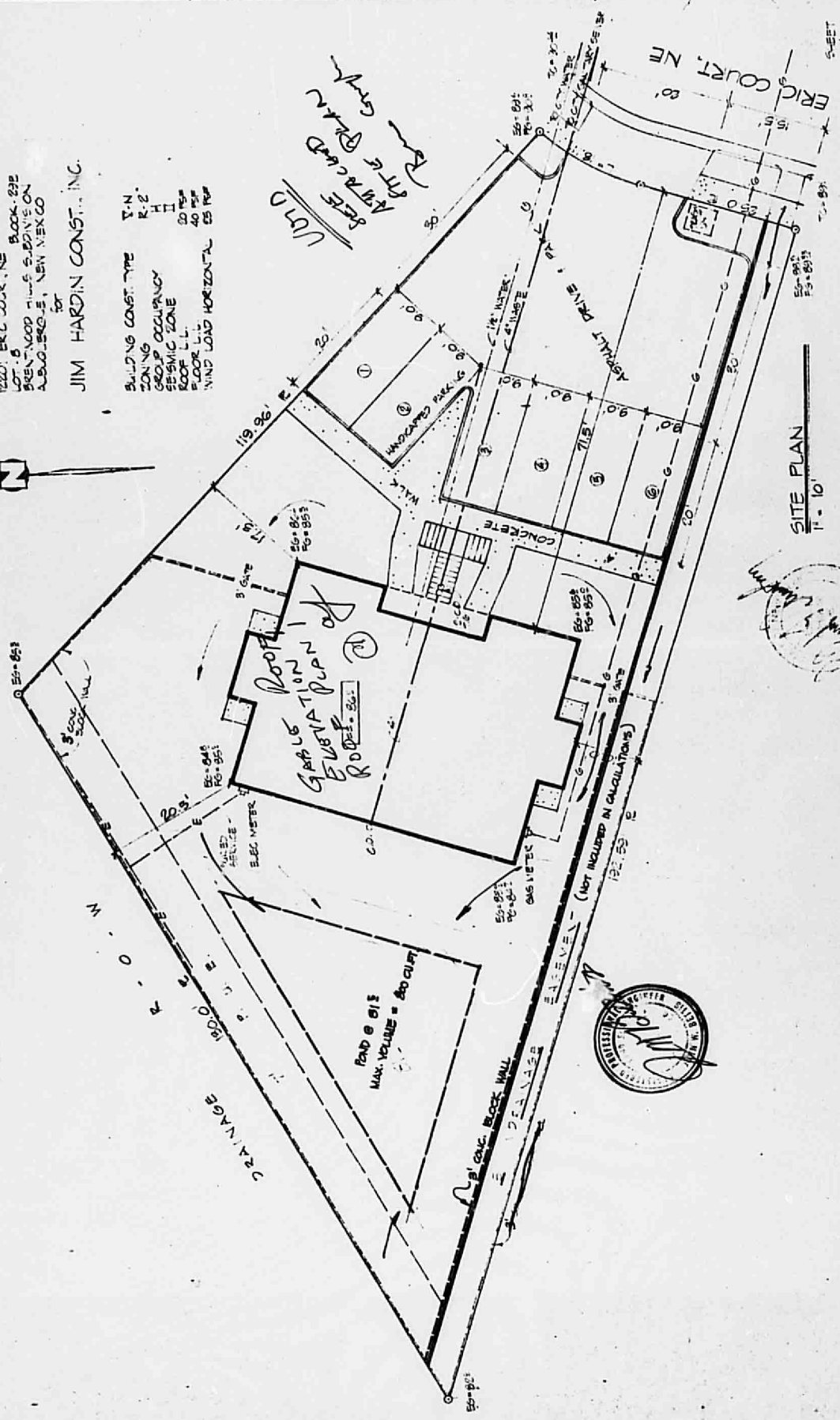
CITY OF ALBUQUERQUE WATER
 CITY PLANT NUMBER
 ONE CO OF NEW MEXICO

A FOUR UNIT APARTMENT BUILDING
 12201 ERIC COURT, NE
 LOT 6 BLOCK 222
 BRENTWOOD PLUMBING DIVISION
 AUBURN, NEW MEXICO

JIM HARDIN CONST., INC.
 FOR

BUILDING CONST. TYPE T.N.
 ZONING R-2
 GROUP OCCUPANCY H
 SEISMIC ZONE 20 PSF
 FLOOR L.L. 40 PSF
 WIND LOAD HORIZONTAL 25 PSF

SEE ATTACHED PLANS
 FROM OWNER



SITE PLAN
 1" = 10'



SHEET

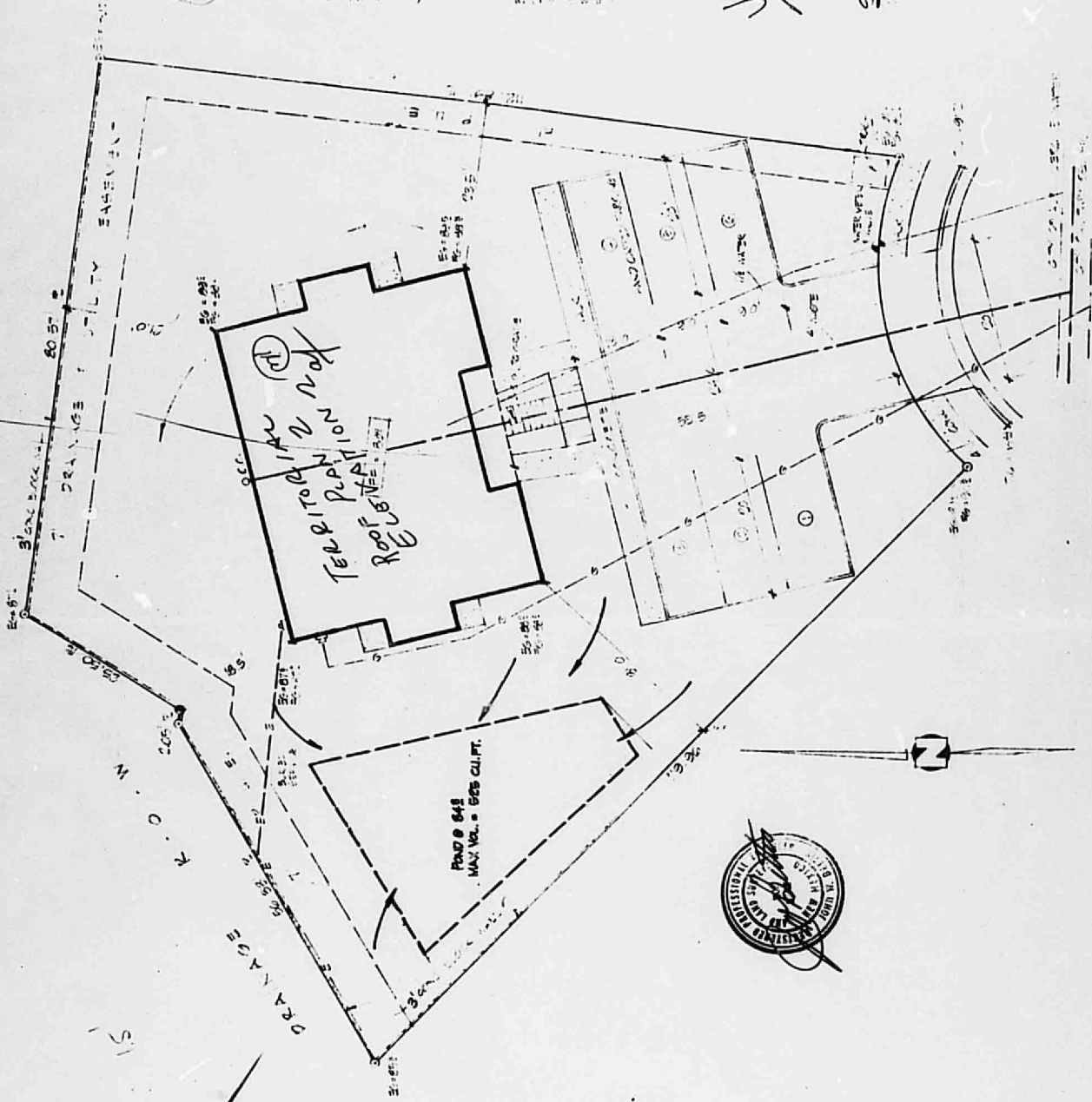
49-5-9555

A FORK AT THE POINT OF
THE BRIDGE IS
PRESENT TO THE
ALONG THE NEW BRIDGE

THE BRIDGE IS
THE BRIDGE IS
THE BRIDGE IS
THE BRIDGE IS

LAND ATTACHED
THE PLAN
R. C. C. S.

SEE - 11-10



ERC DOK. NE

DRAINAGE CALCULATIONS

LOT # 8
 BLOCK 038
 DISTRICT 4
 1825 P. EUBANK COURT N.E.
 JIM HARRIS CONSTRUCTION
 UNITS 0.0183

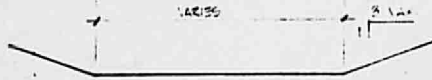
AREA UNDER CONSIDERATION 1.010 ACRES
 EST. TIME OF TRAVEL 2.8 MIN
 TIME OF CONCENTRATION 10 MINUTES
 NATURAL RUNOFF COEFFICIENT .40
 INTENSITY $\frac{1.0}{1.010}$ 0.99 IN/HR
 100-YEAR 24-HR PRECIPITATION 2.8 IN
 NATURAL RUNOFF RATE 0.396 CFS
 VOLUME OF NATURAL RUNOFF 10000 GAL

PERCENTAGE	AC	C	Q (CFS)	Q (MGD)	AC FT
CONCRETE	0.01	0.10	0.001	0.001	0.001
PAVEMENT	0.01	0.20	0.002	0.002	0.002
LANDSCAPE	1.00	0.40	0.396	0.396	10000
TOTAL	1.02		0.399	0.399	10002

ALL AREAS TO BE PAVED 1.024 ACRES (5% OVER)

SEE SITE PLAN FOR POND LOCATION & ELEVATION

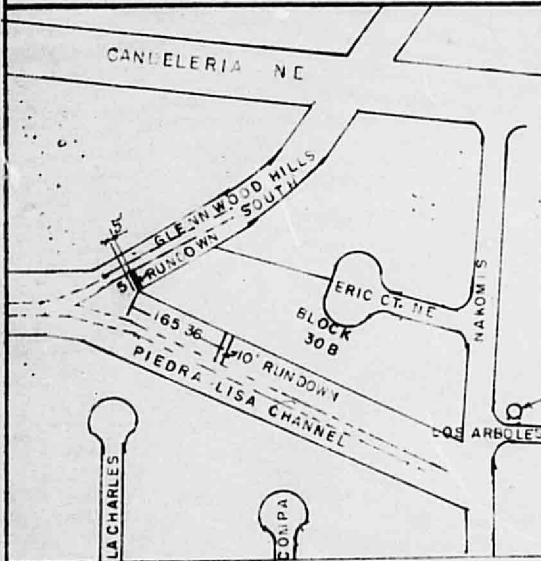
POND CROSS SECTION



THIS REPRODUCTION IS THE BEST POSSIBLE
 REPRODUCTION DUE TO THE POOR QUALITY
 OF THE ORIGINAL DOCUMENT

CITY OF ALBUQUERQUE

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



SCALE
1"=400'

TBM SOUTH BONNET BOLT
OF FIRE HYDRANT
5737-8



6-1-83

LOCATION PLAN H 22

OWNER
JOSEPH SANTANGELO
257 Juan Tabo Blvd. NE
Albuquerque, NM 87123
Ph 296 3188

Engineer
Ray Harrison & Associates
1517 A Girard Blvd. NE
Albuquerque, NM 87106
Ph 265 4276

RECEIVED

JUN 06 1983

ENGINEERING

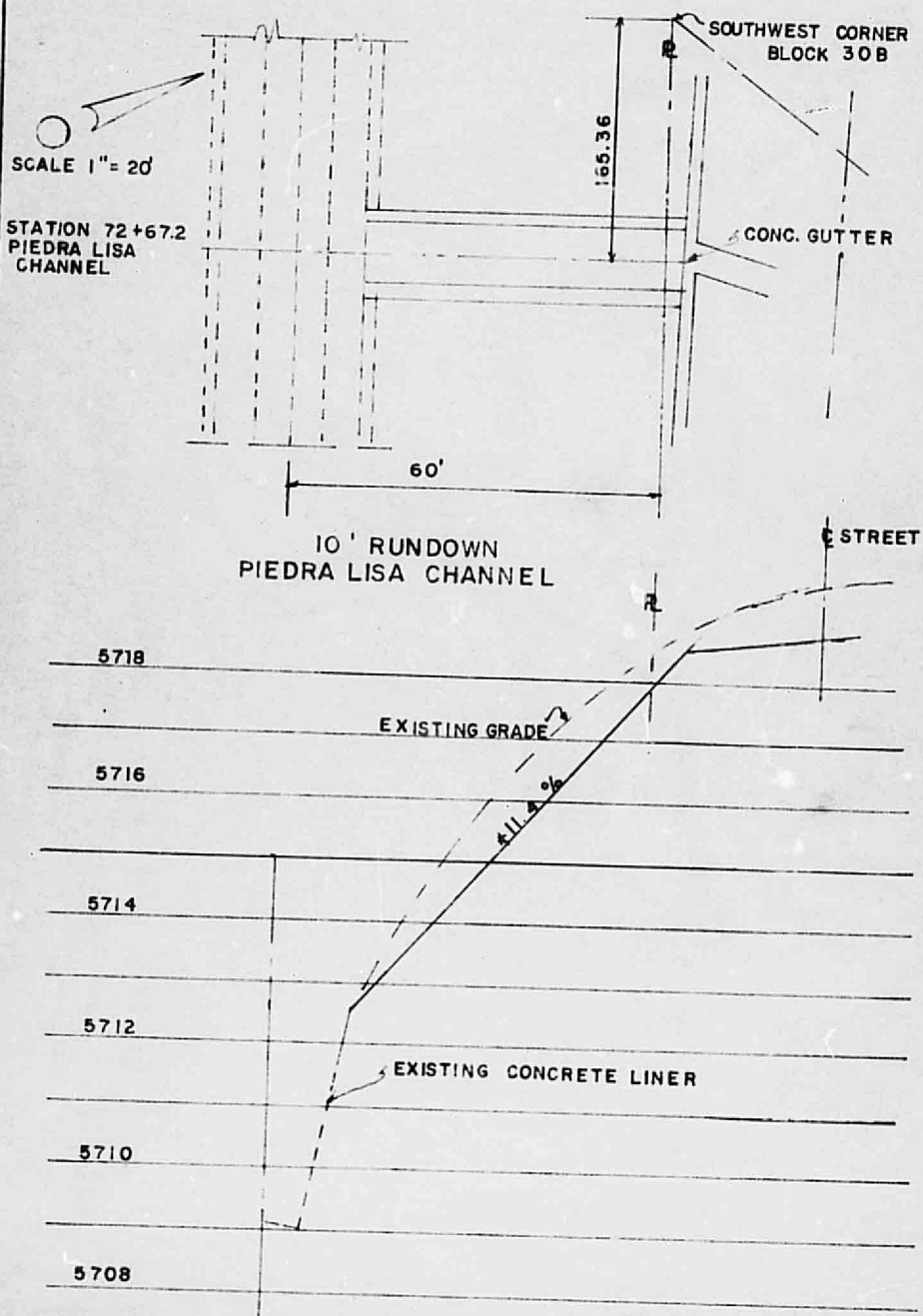
NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "Contract Documents for City-Wide Utilities and Cash Paving No. 31"
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to RESIDENTIAL street use.

APPROVALS	NAME	DATE	TITLE: RUNDOWNS BLOCK 30 BRENTWOOD HILLS	
A.C.E./DESIGN			2801 NAKOMIS NE	
INSPECTOR			PERMIT NO.	MAP NO.
FIELD			HEET 1 OF 4	H 22

CITY OF ALBUQUERQUE

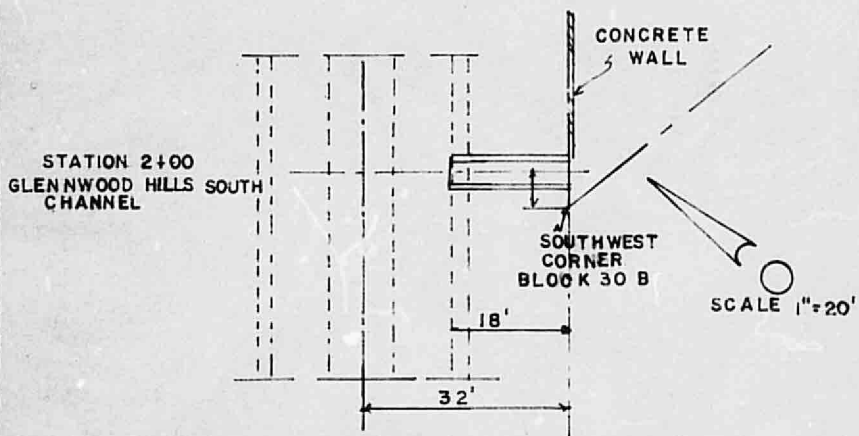
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



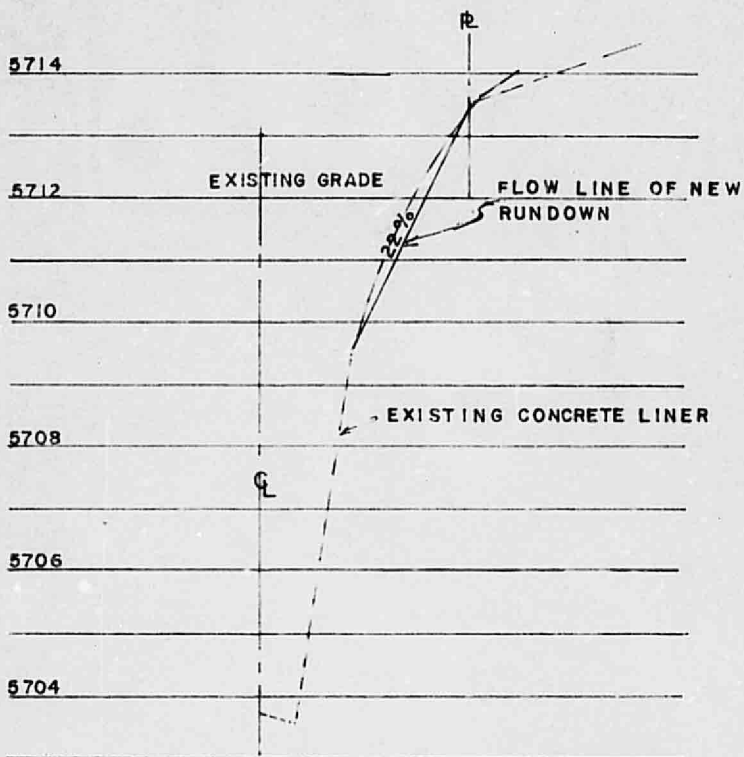
APPROVALS	NAME	DATE	TITLE: 10' RUNDOWN BLOCK 30 B BRENTWOOD HILLS 2801 NAKOMIS
A.C.E./DESIGN			PERMIT NO. SHEET 2 OF 4
INSPECTOR			
A.C.E./FIELD			
			MAP NO. H 22

CITY OF ALBUQUERQUE

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



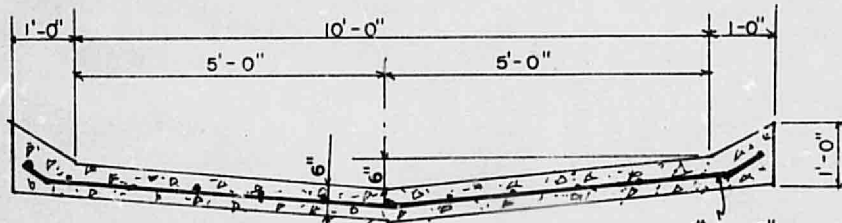
5' RUNDOWN GLENWOOD HILLS SOUTH CHANNEL



APPROVALS	NAME	DATE	TITLE: 5' RUNDOWN BLOCK 30B BRENTWOOD HILLS 2801 NAKOMIS NE	
A.C.E./DESIGN			PERMIT NO. SHEET 3 OF 4	
INSPECTOR				
A.C.E./FIELD				
			MAP NO.	H 22

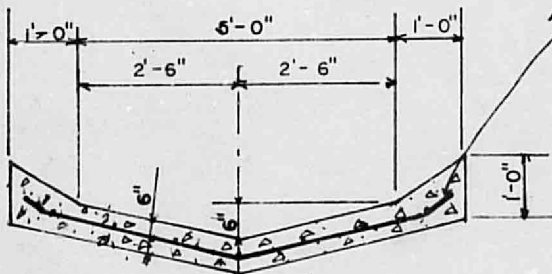
CITY OF ALBUQUERQUE

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



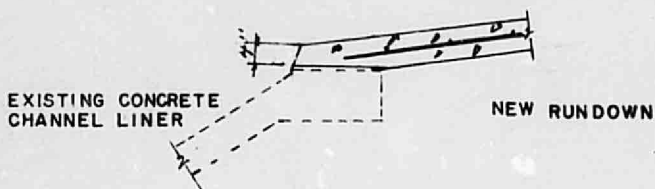
SECTION THRU 10' RUNDOWN

4 s 12" oc.
Both Sides
Center in Slab



SECTION THRU 5' RUNDOWN

KEYED CONTRACTION JOINTS 20' OC.
ALTERNATE WITH
EXPANSION JOINTS 20' OC



TYPICAL TIE IN DETAIL
RUNDOWN TO EXISTING CHANNEL LINER

SCALE 1/2" = 1'-0"

APPROVALS	NAME	DATE	TITLE: RUNDOWN DETAILS BLOCK 30 B BRENTWOOD HILLS 280I NAKOMIS	
A.C.E./DESIGN			PERMIT NO. SHEET 4 OF 4	
INSPECTOR				
A.C.E./FIELD			MAP NO. H 22	

83 56381 REAL PROPERTY ENCROACHMENT AGREEMENT

THIS AGREEMENT made this 21 day of June, 1983 by and between the City of Albuquerque, a New Mexico municipal corporation, (City) and Mr. Joseph Santangelo (User).

RECITAL

The User is the Owner of certain real property located at 2801 Nakomis Dr., N.E. in Albuquerque, New Mexico, and more particularly described as follows:

Block 30B, Brentwood Hills Subdivision, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on Plat filed in the Office of the Bernalillo County Clerk on June 24, 1977.

The City is the owner of certain real property, easement, or public right-of-way adjoining or abutting the above described property of the User. The User wishes to encroach upon the City's property by constructing an improvement thereon or has already encroached upon the City property as follows:

Road and Utility Easement Encroachment and Fill Encroachment

A sketch of the proposed or existing improvement is attached hereto and made a part of this Agreement.

The City is agreeable to the encroachment of said improvement provided that the User comply with the provisions and covenants contained herein.

NOW THEREFORE, in consideration of the mutual covenants contained herein, it is agreed by and between the City and User that the User may construct and/or maintain, at his own expense, the improvement described herein.

RESPONSIBILITY

The User shall be responsible for the construction and/or maintenance of said improvement and it shall conform to all laws and ordinances and administrative regulations applicable thereto. Said improvement shall not constitute a hazard to the health or safety of the general public and shall not interfere with the City's use of the property.

INDEMNIFICATION AND HOLD HARMLESS

The User shall agree to defend, indemnify, and hold harmless, the City, its officials, agents and employees from and against any and all claims, actions, suits or proceedings of any kind brought against said parties for or on account of any matter arising from the encroachment by the User or the User's failure to maintain, modify, or remove the encroachment under this Agreement.

RECEIVED

JUN 06 1983

ENGINEERING

REMOVAL

The User shall remove, modify, maintain, or cause same to be done and cause the premises to be returned to its original condition within 30 days after receipt of written Notice from the City. Notice shall be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt. In the event the User shall fail to comply with the Notice after the receipt of same, the City may undertake the project, at the expense of the User, and enter upon the property of the User as may be necessary to do so. The City shall assess the charge for same and any other expenses and damages arising therefrom to the User and file a lien therefore on the real property of the User.

LIABILITY

The City shall not be liable for any damages to the User's property or the improvement that may result from the maintenance, removal or any modification of the improvement.

NOTICE

The written notice provided for herein shall be accomplished by mailing same to:

The User may change said address by giving written notice, certified mail, return receipt requested, to the City Engineer, at 400 Marquette, N.W., Albuquerque, New Mexico 87102.

COVENANT RUNNING WITH THE PROPERTY

The obligation of the User set forth herein shall be binding upon the User, his heirs, and assigns, and the property of the User as described herein and will run with said property until released by the City.

USER

By: Joseph Santangelo
Title: resident

REVIEWED BY THE LEGAL DEPARTMENT

CITY OF ALBUQUERQUE

Ch. Galton
Assistant City Attorney

Frank A. Reinking
Chief Administrative Officer

Ok. Brian J. Stewart
CE/Hyds 6/17/03

ACKNOWLEDGEMENTS

818

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me by _____
Joseph Santangelo, on this 18th day of April, 1983.

Gina Seeley
Notary Public

My Commission Expires:
3-12-84



OFFICIAL SEAL
GINA SEELEY
NOTARY PUBLIC - NEW MEXICO
Notary Board Head with Secretary of State
My Commission Expires 3-12-84

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me on this 24th day
of June, 1983, by Frank A. Kleinberg, Chief
Administrative Officer, of the City of Albuquerque, municipal corporation, on
behalf of said corporation.

Dola L. Grant
Notary Public

My Commission Expires:
12/18/84

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

'83 AUG 19 P2 :24
40-A 816-819
BK
DOLORES C. WALLER
CO. CLERK & RECORDER
Jen Duh DEPUTY

819

ENCROACHMENT
SKETCH
BLOCK 30B
BRENTWOOD HILLS ADDITION

