

ADDITION TO THE OFFICES OF THOMAS HANEY
12101 MENAUL BOULEVARD N.E.

DRAINAGE PLAN

LOCATION AND DESCRIPTION:

THE SITE IS LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF MENAUL AND GEORGINE N.E., ALBUQUERQUE, NEW MEXICO CONTAINING APPROXIMATELY 0.3535 ACRES. THE SITE IS PRESENTLY PARTIALLY DEVELOPED AND SLOPES FROM EAST TO WEST WITH AN AVERAGE SLOPE OF 7.0 PERCENT. PROPOSED DEVELOPMENT OF THE SITE INCLUDES AN OFFICE BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING.

EXISTING CONDITION:

NO OFF-SITE RUNOFF ENTERS THE SITE DUE TO EXISTING ELEVATIONS. EXISTING RUNOFF FROM THE SITE ENTERS MENAUL BOULEVARD AND GEORGINE DRIVE.

PROPOSED CONDITION:

PROPOSED (DEVELOPED) RUNOFF FROM THE SITE WILL BE ROUTED THROUGH PONDS NORTH OF THE PROPOSED BUILDING. ALL RUNOFF FROM A 100-YEAR 6-HOUR STORM, DUE TO THE DEVELOPMENT, WILL BE PONDED.

CALCULATIONS:

Area = 0.3535 acres
I = 2.2 in./hr. Plate 22.2 D-2
6-hour, 100-year rainfall = 2.5 in. Plate 22.2 D-1
i = (2.2)(2.5) = 5.5 in./hr.

EXISTING ON-SITE CONDITIONS:

SURFACE TYPE	"C" VALUE	A (ACRES)	"C"X A	COMPOSITE "C"=CXA/A
Streets, Drives, Walks	0.95	0.1610	0.1529	
Roofs	0.90	0.0551	0.0496	
Lawns & Landscaping	0.25	0.0295	0.0074	
Undeveloped	0.40	0.1079	0.0432	
TOTAL		0.3535	0.2531	0.7160

Q(100) = (0.7161)(5.5)(0.3535) = 1.3921 cfs
Q(10) = (0.657)(1.3921) = 0.9146 cfs
CN = 75 Plate 22.2 C-2
Direct Runoff = 0.87 in. Plate 22.2 C-4
V(100) = (0.87)(0.3535)(43560)/12 = 1116.39 cu. ft.
V(10) = (0.657)(1116.39) = 733.5 cu. ft.

PROPOSED ON-SITE CONDITIONS:

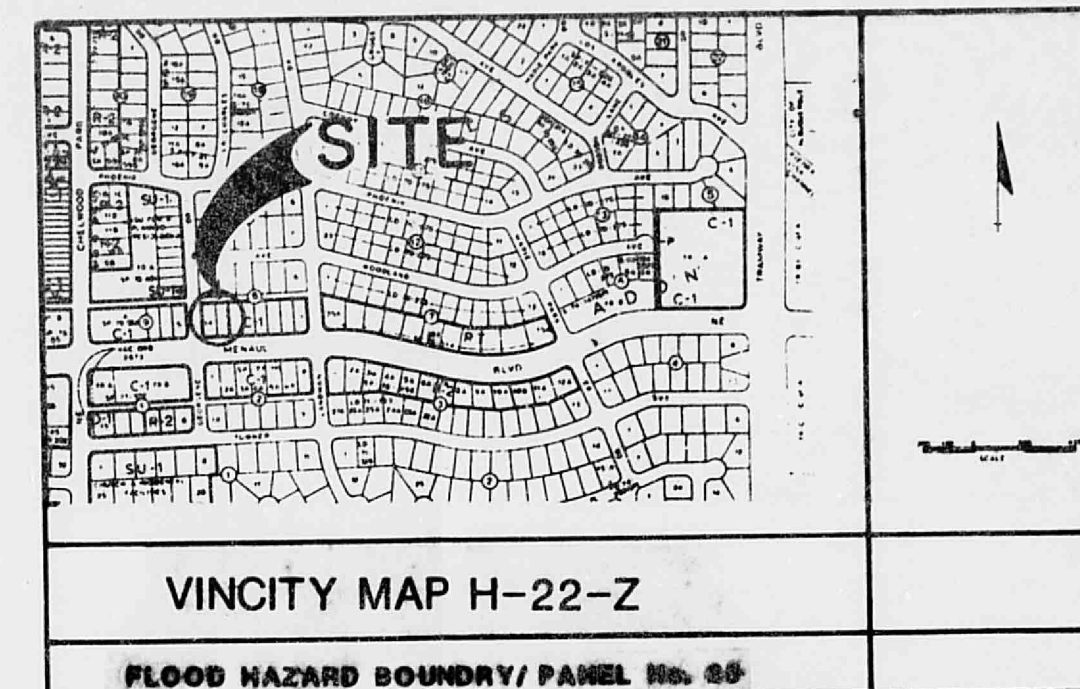
SURFACE TYPE	"C" VALUE	A (ACRES)	"C"X A	COMPOSITE "C"=CXA/A
Streets, Drives, Walks	0.95	0.2029	0.1928	
Roofs	0.90	0.1049	0.0944	
Lawns & Landscaping	0.25	0.0457	0.0114	
Undeveloped	0.40	-0-	-0-	
TOTAL		0.3535	0.2986	0.8447

Q(100) = (0.84)(5.5)(0.3535) = 1.6423 cfs
Q(10) = (0.657)(1.6423) = 1.079 cfs
CN = 85 Plate 22.2 C-3
Direct Runoff = 1.2 in. Plate 22.2 C-4
V(100) = (1.2)(0.3535)(43560)/12 = 1539.8 cu. ft.
V(10) = (0.657)(1539.8) = 1101.7 cu. ft.

Required Volume to Pond = (14-7.4)(60)(1.64-1.39) = 99 cu.ft.

Q(100) From Proposed Roof =
(0.9)(0.0498)(5.5) = 0.2465
CN = 98
Direct Runoff = 2.4"
V(100) = 2.4 (0.0498)(43560/12) = 433.9 cf

Volume of Pond = (1.5)(6.5) + 4 (1.5)(0.5) 43
= 9.75 + 3 = 12.75
= 548.25 cu.ft.



FLOOD HAZARD BOUNDARY/PANEL No. 88

LEGAL DESCRIPTION:

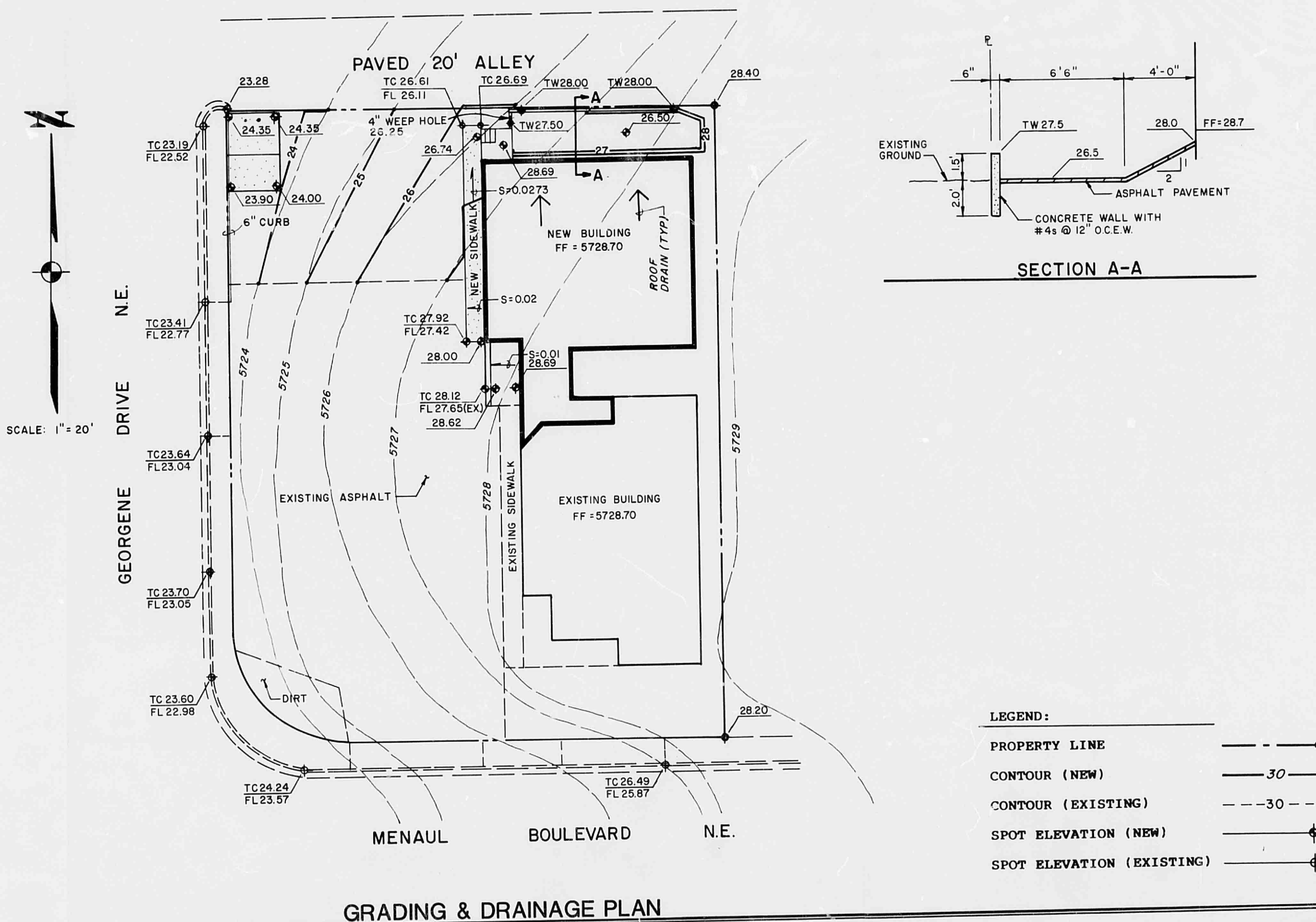
LOTS 13 & 14, BRENTWOOD HILLS SUBDIVISION, ALBUQUERQUE, NEW MEXICO.

BENCH MARK DATA:

THE STATION IS A STANDARD ACS BRASS TABLET STAMPED "6-H22A" SET IN THE EAST MEDIAN ON MENAUL BOULEVARD N.E. AT THE INTERSECTION OF MENAUL BOULEVARD N.E. AND CHELWOOD PARK BOULEVARD N.E.

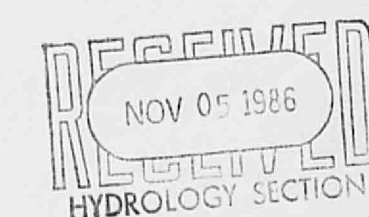
SURVEY DATA:

SURVEY DATA PROVIDED BY D.H. SMITH, LAND SURVEYING, ALBUQUERQUE, NEW MEXICO, SEPTEMBER, 1986.



NOTICE TO CONTRACTOR

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED TO PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL DURING THE CONSTRUCTION PHASE, INCLUDING ANY PROVISIONS THAT NEED TO BE TAKEN TO DIVERT ANY SEDIMENT FROM ENTERING THE CITY RIGHT-OF-WAY.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- REFERENCE MADE TO STANDARD DRAWINGS REFER TO ALBUQUERQUE STANDARD DRAWINGS.
- CURB AND GUTTER SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- WHEN CONSTRUCTION UNDER THIS PROJECT CONNECTS TO EXISTING IMPROVEMENTS, THE CONTRACTOR SHALL PROVIDE AN EASY RIDING CONNECTION.



AN ADDITION TO THE OFFICE OF
THOMAS HANEY
12101 MENAUL N.E.
ALBUQUERQUE, NM

JOB NO. 88
DATE SEPT 86
DRAWN LH
CHECKED VJC
REVISED

SHEET TITLE:
GRADING AND DRAINAGE PLAN



SHEET
1
OF
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