

CITY OF ALBUQUERQUE



February 7, 2017

Richard J. Berry, Mayor

Scott McGee, P.E.
Roger Cineli & Assoc.
2418 Manuel Torres Lane NW
Albuquerque, NM, 87107

RE: Townhomes for Greg Lobbereg
Grading and Drainage Plan
Engineer's Stamp Date 2-6-2017 (File: H22D026)

Dear Mr. Scott:

Based upon the information provided in your submittal received 2-6-2017, the above referenced Grading and Drainage Plan is approved for building permit and SO-19 permit.

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3999.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

MA/SB

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



SCOTT M MCGEE PE, LLC

CIVIL ENGINEER

February 7, 2017

Shahab Biazar, PE
Senior Engineer, Planning Dept.
Development Review Services
600 2nd Street NW, Ste. 201
Albuquerque, NM 87102

RE: 2400 Marie Park Townhomes (H22 / D1026)

Dear Mr. Biazar,

Thank you for your review comments of January 20, which have been addressed as follows:

- 1-2. Vicinity Map and Offsite flow narrative have been added.
3. Typical unit and backyard detail has been included.
4. The 1st flush volume calculations have been revised.
- 5-6. Additional curb cuts have been noted on the plan.
7. Landscape strip north of access drive has been noted and shown as depressed.
8. The ESC plan is being prepared by others.
9. Backyards of units that back up to public streets are now shown draining to the street.
10. A note has been added requiring sidewalk culverts to be extended 1' beyond R/W line.

Please contact me if needed to answer additional questions. Thank you.

Scott M McGee

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: 2400 Marie Park ZONE MAP: H-22/D026
DRB#: _____ EPC#: _____ WORK ORDER#: NA

LEGAL DESCRIPTION: Tracts A-2-A-1 Brentwood Hills
CITY ADDRESS: 2400 Marie Park NE, ABQ, NM

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: ABQ, NM ZIP CODE: 87114

ARCHITECT: Roger Cinelli CONTACT: Roger Cinelli
ADDRESS: 2416 Manuel Torres Lane NW PHONE: 243-8211
CITY, STATE: ABQ, NM ZIP CODE: 85014

SURVEYOR: The Survey Office CONTACT: Tony Harris
ADDRESS: 6010-B Midway Park NE PHONE: 345-4250
CITY, STATE: ABQ, NM ZIP CODE: 87109

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

<u>TYPE OF SUBMITTAL:</u>	<u>CHECK TYPE OF APPROVAL SOUGHT:</u>
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input checked="" type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL <input type="checkbox"/> ENGINEER'S
<input type="checkbox"/> CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY) _____	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> GRADING CERTIFICATION
	<input checked="" type="checkbox"/> OTHER (SPECIFY) <u>S. O. 19</u>

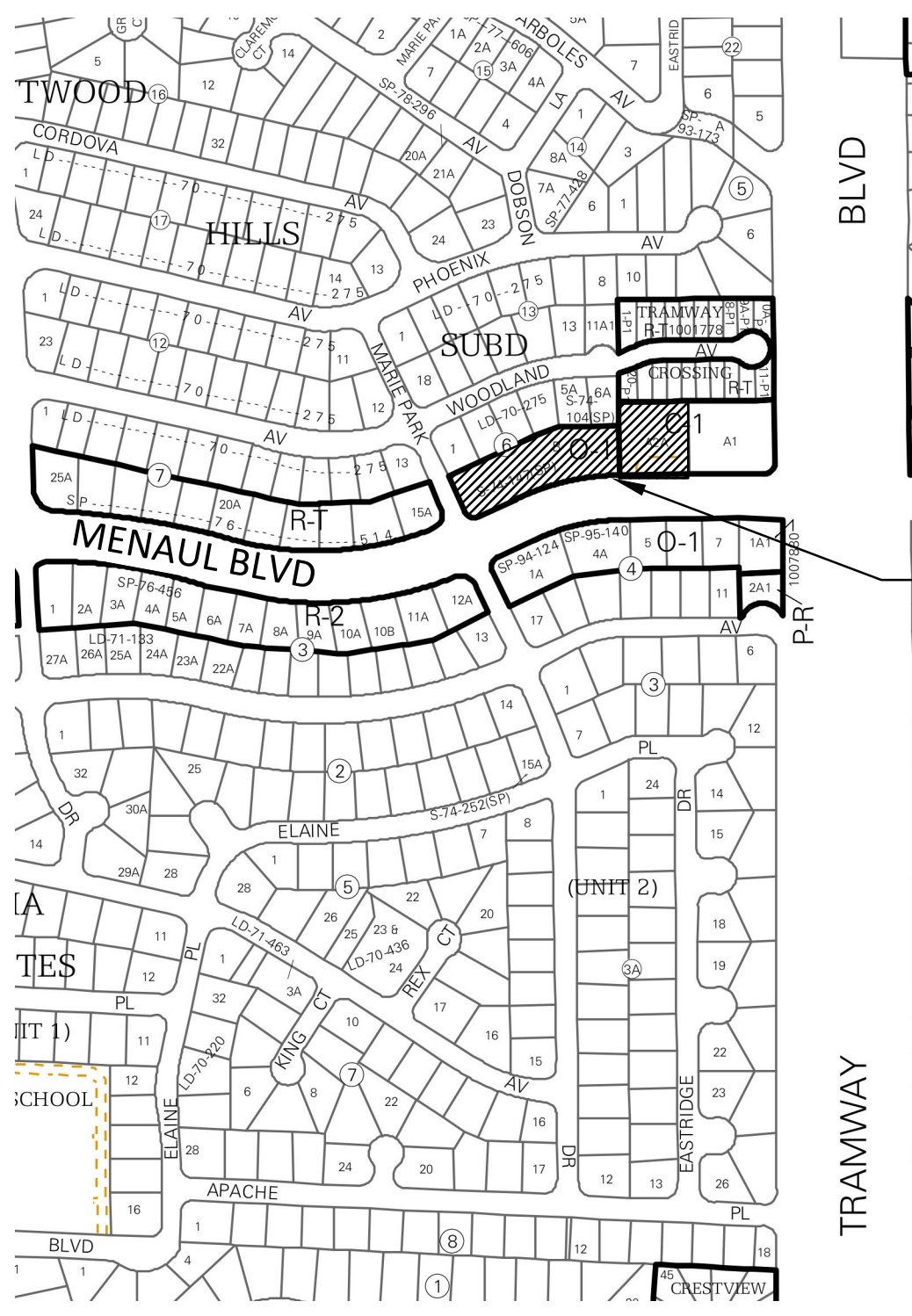
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

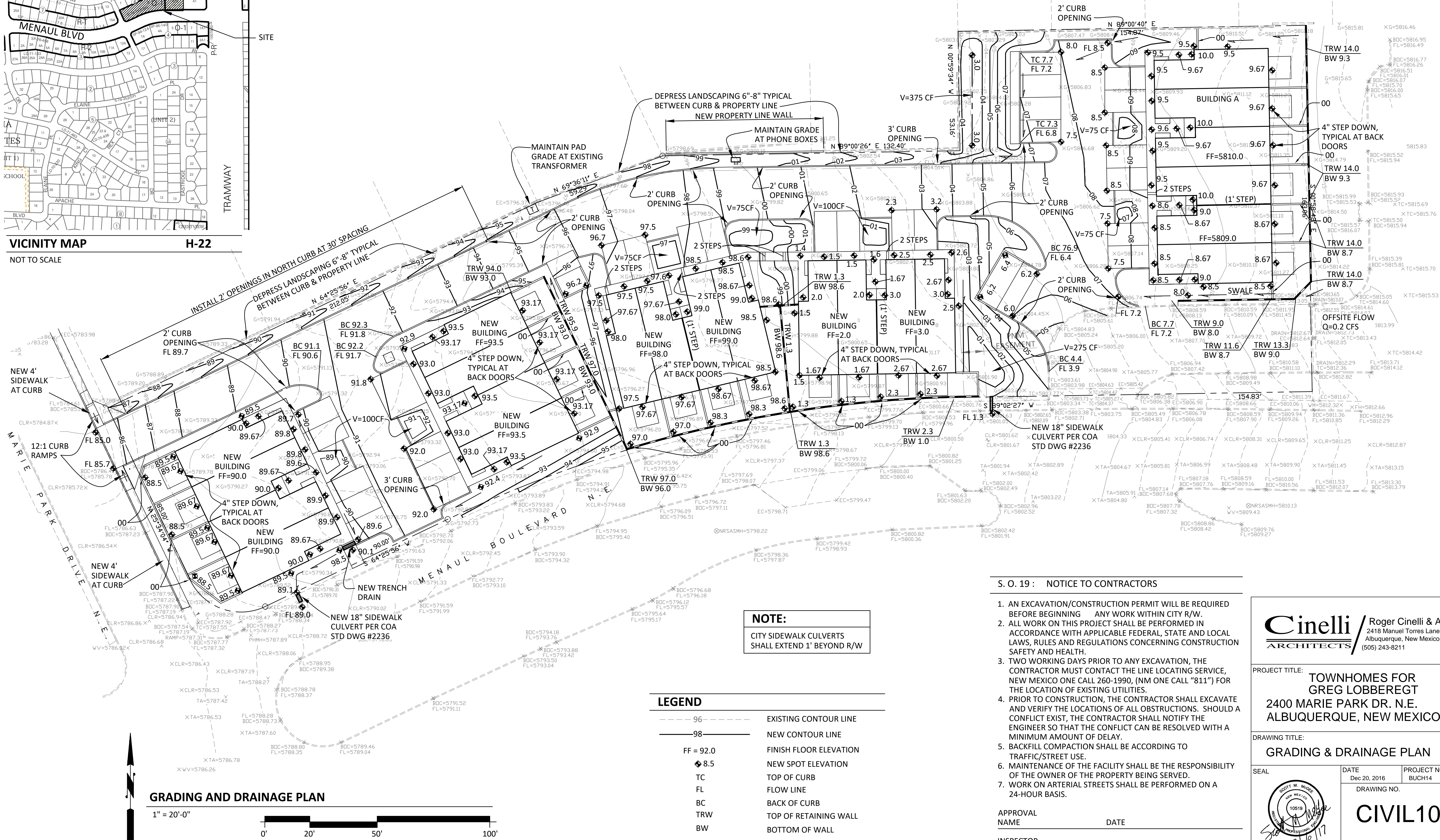
DATE SUBMITTED: 2/07/17 BY: SMM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



VICINITY MAP
NOT TO SCALE



NOTE:
CITY SIDEWALK CULVERTS
SHALL EXTEND 1' BEYOND R/W

LEGEND	
---	EXISTING CONTOUR LINE
---	NEW CONTOUR LINE
FF = 92.0	FINISH FLOOR ELEVATION
8.5	NEW SPOT ELEVATION
TC	TOP OF CURB
FL	FLOW LINE
BC	BACK OF CURB
TRW	TOP OF RETAINING WALL
BW	BOTTOM OF WALL

S. O. 19: NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R/W.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL
NAME
INSPECTOR

DATE

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
**TOWNHOMES FOR
GREG LOBBEREGET
2400 MARIE PARK DR. N.E.
ALBUQUERQUE, NEW MEXICO**

DRAWING TITLE:
GRADING & DRAINAGE PLAN

DATE
Dec 20, 2016

PROJECT NO.
BUCH14

DRAWING NO.

CIVIL103

DRAINAGE CALCULATIONS

ADDRESS: 2400 Marie Park Drive NE, Albuquerque, NM
LEGAL DESCRIPTION: Tracts A-2-A-1, Block 13, Brentwood Hills
SITE AREA: 67,870 SF (1.558 acres)

BENCHMARK: City of Albuquerque Station '12-H22' being a brass cap
ELEV= 5778.827 (NAVD 1988)

SURVEYOR: The Survey Office dated August, 2016
PRECIPITATION ZONE: 4

FLOOD HAZARD: From FEMA Map 35001C0376G (9/26/08), this site is identified as being within Zone 'X' which is located outside the 0.2% annual chance floodplain.

EXISTING CONDITIONS: The site is vacant and slopes down to the west at 2-3%. It sheet flows west and discharges to Menaul Blvd and Marie Park Drive.

OFFSITE FLOW: The adjacent property to the east is a developed gas station which drains to Menaul via a paved roadway. A small landscape area (130 x 25' = 3,250 SF) abuts and drains to this site. That runoff (Q = 0.2 CFS), is accepted onsite, carried between a retaining wall and an existing curb, and flows west.

PROPOSED IMPROVEMENTS: The proposed improvements include 22 townhomes with an interior access drive, paved parking, and landscape areas.

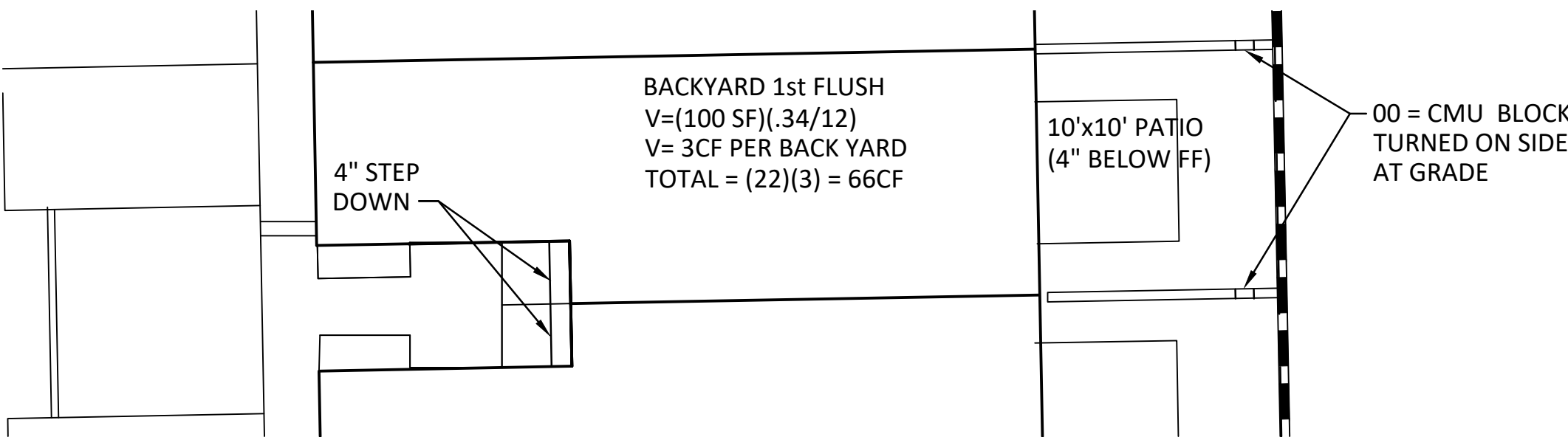
DRAINAGE APPROACH: The site drainage pattern will remain unchanged as the site will continue to drain to the south and west per historic conditions.

Existing land treatment: 100% A Precipitation Zone: 4
Q= (2.20)(1.558)= 3.4 CFS

Proposed land treatment: 6% B, 29% C and 65% D
Q= [(0.06)(2.92)+(.29)(3.73)+(.65)(5.25)](1.558) = 7.3 CFS

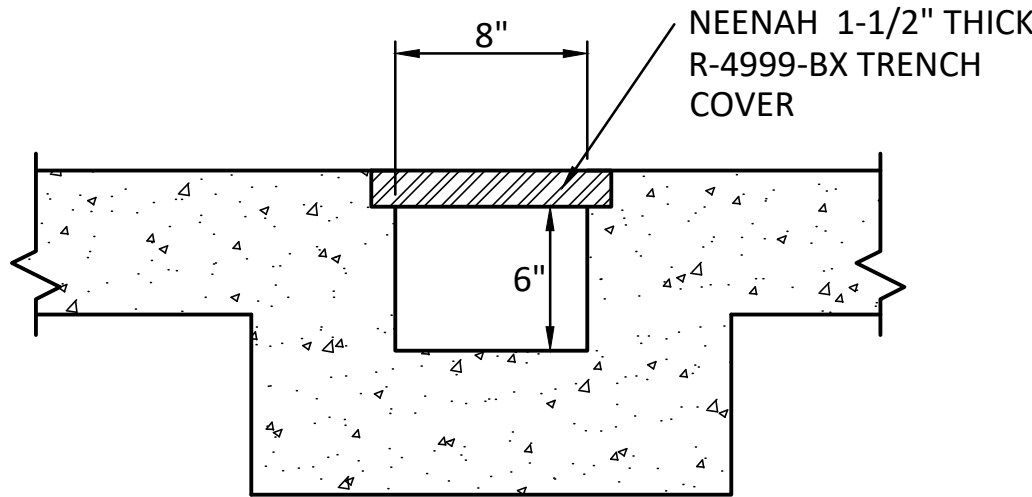
First flush V= (44,114) (0.34/12) = 1,250CF
Onsite pond volumes = 375+ 275+ 600 = 1,250 CF
Backyard pond volumes (22) (3 CF) = 66 CF
Total V = 1,316 CF (>1,250 OK)

The proposed detention ponding areas contain the first flush volume. Runoff increases slightly but there will be no adverse impact on downstream drainage facilities.



TYPICAL UNIT PLAN

1"=10'



TRENCH DRAIN

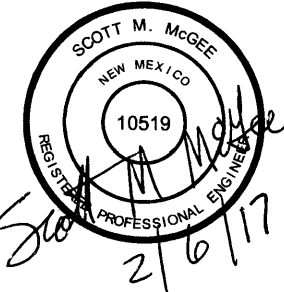
NOT TO SCALE

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS 2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE: TOWNHOMES FOR
GREG LOBBEREGET
2400 MARIE PARK DR. N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: GRADING & DRAINAGE
CALCULATIONS & DETAILS

SEAL DATE FEB 6, 2017 PROJECT NO. BUCH14



DRAWING NO.

CIVIL104