

CITY OF ALBUQUERQUE



January 20, 2017

Richard J. Berry, Mayor

Scott McGee, P.E.
Roger Cineli & Assoc.
2418 Manuel Torres Lane NW
Albuquerque, NM, 87107

RE: Townhomes for Greg Lobbereg
Grading and Drainage Plan
Engineer's Stamp Date 12-30-2016 (File: H22D026)

Dear Mr. Scott:

Based upon the information provided in your submittal received 12-30-2016, the above referenced Grading and Drainage Plan cannot be approved for building permit and SO-19 permit until the following comments are addressed:

1. Provide a vicinity map.
2. Provide a narrative for offsite flow.
3. Provide back yard details and typical lot layout.
4. Provide first flush calculations for back yard separately from rest of site.
First flush volume for back yard can only be for previous surface in back yard.
5. Provide a curb cut north of the dumpster enclosure for the south east pond.
6. Provide a curb opening at regular intervals along the north side of the site.
7. Depress all landscaping area at the north side of the site.
8. ESC plan and ESC permit is required. (coordinate with a stormwater quality engineer).
9. For town house that backup to the street consider drain them to the street.
10. Extended sidewalk culvert plate 1 foot behind the sidewalk.

If you have any questions, you can contact me at 924-3999.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

MA/SB

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: 2400 Marie Park ZONE MAP: H-22/D0
DRB#: _____ EPC#: _____ WORK ORDER#: NA

LEGAL DESCRIPTION: Tracts A-2-A and B, Brentwood Hills
CITY ADDRESS: 2400 Marie Park NE, ABQ, NM

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: ABQ, NM ZIP CODE: 87114

ARCHITECT: Roger Cinelli CONTACT: Roger Cinelli
ADDRESS: 2416 Manuel Torres Lane NW PHONE: 243-8211
CITY, STATE: ABQ, NM ZIP CODE: 85014

SURVEYOR: The Survey Office CONTACT: Tony Harris
ADDRESS: 6010-B Midway Park NE PHONE: 345-4250
CITY, STATE: ABQ, NM ZIP CODE: 87109

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☒ OTHER (SPECIFY) S.O. 19

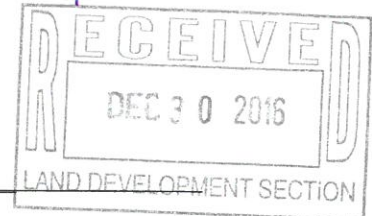
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL _____ ENGINEER'S
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☒ OTHER (SPECIFY) S.O. 19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

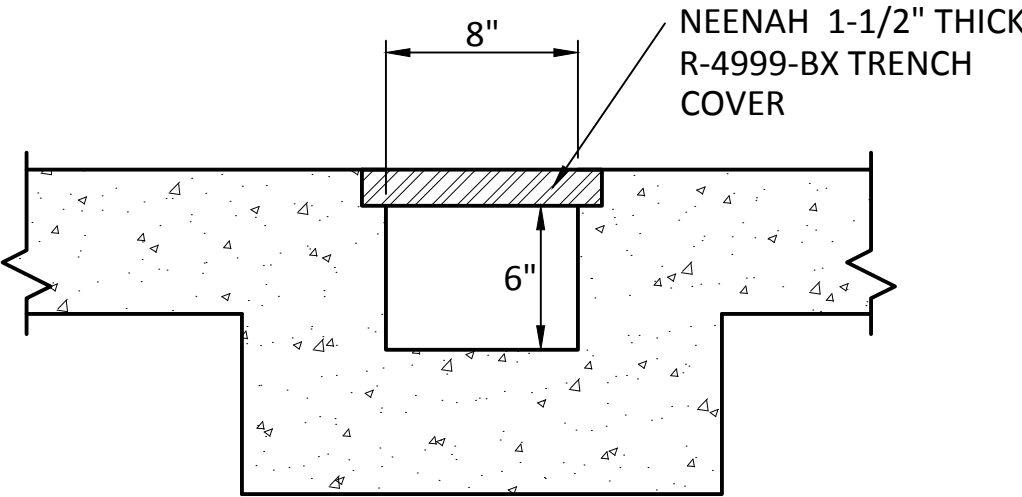
- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 12/23/16 BY: SMM



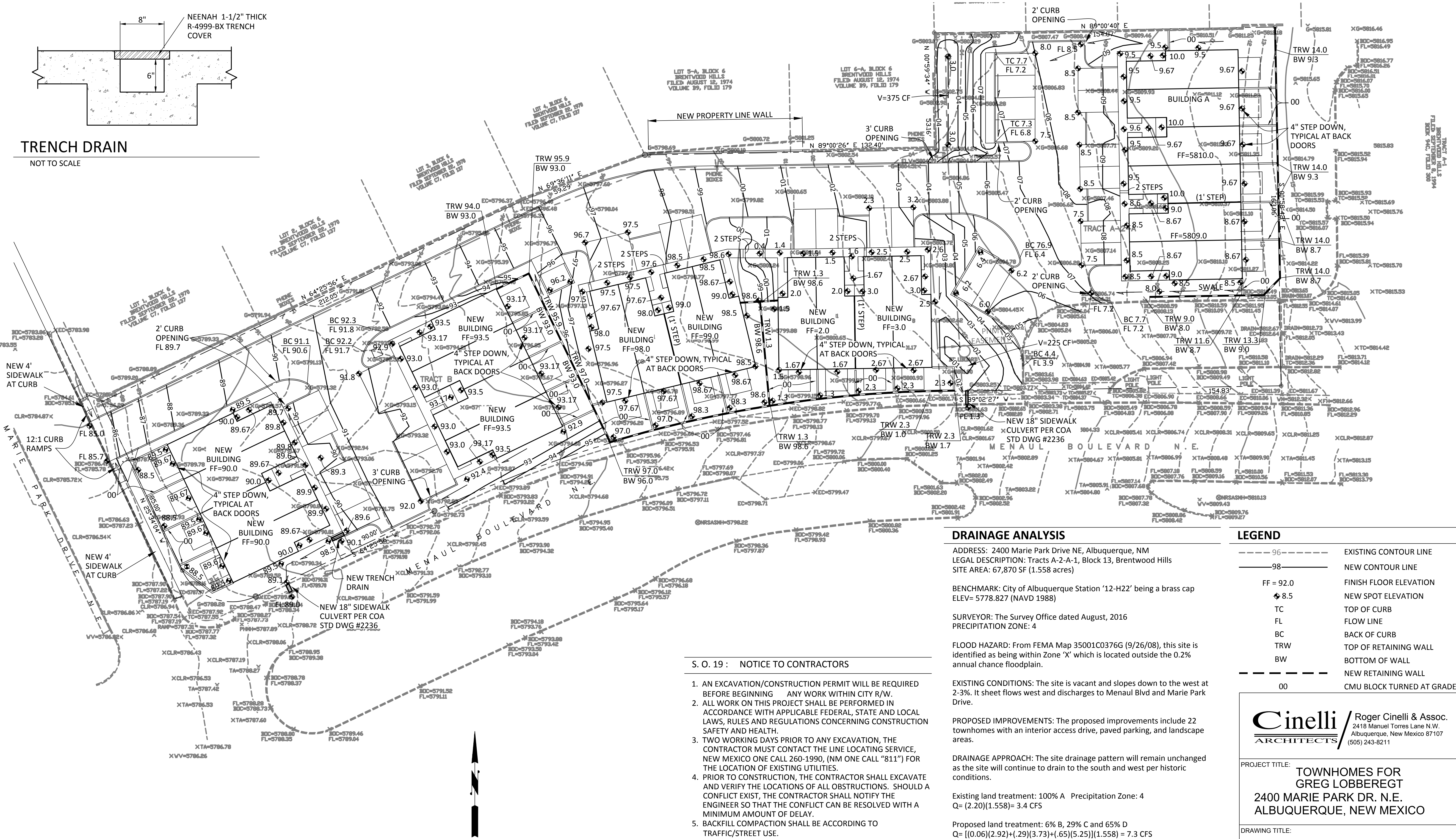
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



TRENCH DRAIN

NOT TO SCALE



GRADING AND DRAINAGE PLAN

1" = 20'-0"



S. O. 19 : NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R/W.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL
NAME

DATE

INSPECTOR

DRAINAGE ANALYSIS

ADDRESS: 2400 Marie Park Drive NE, Albuquerque, NM
LEGAL DESCRIPTION: Tracts A-2-A-1, Block 13, Brentwood Hills
SITE AREA: 67,870 SF (1.558 acres)

BENCHMARK: City of Albuquerque Station '12-H22' being a brass cap
ELEV= 5778.827 (NAVD 1988)

SURVEYOR: The Survey Office dated August, 2016
PRECIPITATION ZONE: 4

FLOOD HAZARD: From FEMA Map 35001C0376G (9/26/08), this site is identified as being within Zone 'X' which is located outside the 0.2% annual chance floodplain.

EXISTING CONDITIONS: The site is vacant and slopes down to the west at 2-3%. It sheet flows west and discharges to Menaul Blvd and Marie Park Drive.

PROPOSED IMPROVEMENTS: The proposed improvements include 22 townhomes with an interior access drive, paved parking, and landscape areas.

DRAINAGE APPROACH: The site drainage pattern will remain unchanged as the site will continue to drain to the south and west per historic conditions.

Existing land treatment: 100% A Precipitation Zone: 4
 $Q = (2.20)(1.558) = 3.4$ CFS

Proposed land treatment: 6% B, 29% C and 65% D
 $Q = [(0.06)(2.92) + (.29)(3.73) + (.65)(5.25)](1.558) = 7.3$ CFS

First flush $V = (44,114)(0.34/12) = 1,250$ CF
Onsite pond volumes = $375 + 225$ CF = 600 CF
Backyard pond volumes (22) at $16' \times 60' \times 33'$ (x22) = 697 CF
Total $V = 1,297$ CF (>1,250 OK)

The proposed detention ponding areas contain the first flush volume. Runoff increases slightly but there will be no adverse impact on downstream drainage facilities.

LEGEND

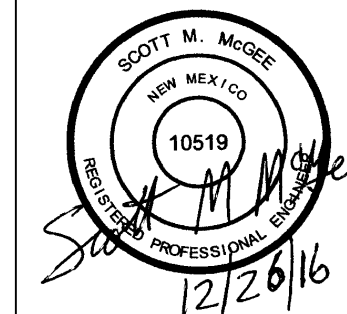
---	96	EXISTING CONTOUR LINE
---	98	NEW CONTOUR LINE
FF = 92.0		FINISH FLOOR ELEVATION
8.5		NEW SPOT ELEVATION
TC		TOP OF CURB
FL		FLOW LINE
BC		BACK OF CURB
TRW		TOP OF RETAINING WALL
BW		BOTTOM OF WALL
---	00	NEW RETAINING WALL
---	00	CMU BLOCK TURNED AT GRADE

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
**TOWNHOMES FOR
GREG LOBBEREGET
2400 MARIE PARK DR. N.E.
ALBUQUERQUE, NEW MEXICO**

DRAWING TITLE:
GRADING & DRAINAGE PLAN

SEAL



DATE

Dec 20, 2016

PROJECT NO.

BUCH14

DRAWING NO.

CIVIL103