

CITY OF ALBUQUERQUE



October 10, 2016

Rodger Cinelli & Associates, Inc.
Rodger Cinelli
2418 Manuel Torres Ln NW
Albuquerque, NM 87107

Re: Townhouses for Greg Lobberegt
2400 Marie Park NE
Traffic Circulation Layout
Architect's Stamp 09-01-16 (H22D026)

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 09-01-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
3. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
4. The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
5. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
6. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
7. Show the drive aisle width between buildings "E" and "D".
8. DPM chapter 23, Figure 23.7.1 does not apply to major circulation aisles.
9. Drive aisle width less than 24' must be one-way vehicular paths that require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
10. List radii for the Solid waste refuse between buildings "D" and "C". Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
11. A 5 ft. keyway is required for dead-end parking aisles.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



12. Per the zoning code, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
13. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
14. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
15. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
16. Please specify the City Standard Drawing Number when applicable.
17. Please include a copy of your shared access agreement with the adjacent property owner.
18. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths.
19. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
20. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981.

Sincerely,

Monica Ortiz
Plan Checker, Planning Dept.
Development Review Services

mao via: email
C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: TOWNHOUSES FOR GREG LOBERRECHT ZONE MAP: H-22
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT "B" IN BL. (6) OF BRENTWOOD HILLS AND TRACT A-2-A
CITY ADDRESS: OF PLAT OF LOT 11-A-1, BL. (13) AND TRACTS A2-A, BRENTWOOD HILLS
2400 ? MARIE PARK DR N.E.

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: 505
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: GREG LOBERRECHT CONTACT: GREG
ADDRESS: 8200 CARMEL NE STE 103 PHONE: 505-269-4734
CITY, STATE: ABQ., NM 87122 ZIP CODE: 87122

ARCHITECT: ROGER CINELLI & ASSOC. INC. CONTACT: ROGER
ADDRESS: 2418 MANUEL TORRES LN N.W. PHONE: 505-243-8211
CITY, STATE: ABQ., NM ZIP CODE: 87107
EMAIL: rcinelli@q.com

SURVEYOR: THE SURVEY OFFICE CONTACT: TONY HARRIS
ADDRESS: 333 LOMAS BLVD NE PHONE: 998-0303
CITY, STATE: ABQ., NM ZIP CODE: 87102

CONTRACTOR: JASON BUCHANAN CONTACT: JASON
ADDRESS: PO BOX 6031 PHONE: 977-1332
CITY, STATE: ABQ., NM ZIP CODE: 87193

TYPE OF SUBMITTAL:

- PREDESIGN ☒ TRAFFIC CIRCULATION LAYOUT
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☒ OTHER (SPECIFY) SO-19 PREDESIGN

WAS A PRE-DESIGN CONFERENCE ATTENDED: NA

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 9/1/16 BY: Roger Cinelli

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

TOWN HOMES
FOR GREGG LOBBEREGET
MARIE PARK DRIVE NORTHEAST
ALBUQUERQUE, NEW MEXICO

DESIGN CRITERIA

A 22 UNITS TOWNHOUSE DEVELOPMENT FOR GREGG LOBBEREGET

PROJECT LOCATION: NORTHEAST CORNER OF INTERSECTION OF MENAUL BLVD. N.E. AND MARIE PARK DRIVE N.E.
1120 GRIEGOS ROAD N.W., ALBUQUERQUE, NM

ZONE ATLAS MAP: H-22

LEGAL DESCRIPTION: TRACT "B" IN BLOCK NUMBERED (6) OF BRENTWOOD HILLS AND TRACT A-2-A OF PLAT OF LOT 11-A-1, BLOCK (13) AND TRACTS A-2-A AND A-2-B, BRENTWOOD HILLS, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

C-1 TOTAL ACREAGE: 0.5795 ACRES

O-1 TOTAL ACREAGE: 0.9786 ACRES

EXISTING ZONING: C-1 AND O-1

PROPOSED ZONING: R-2

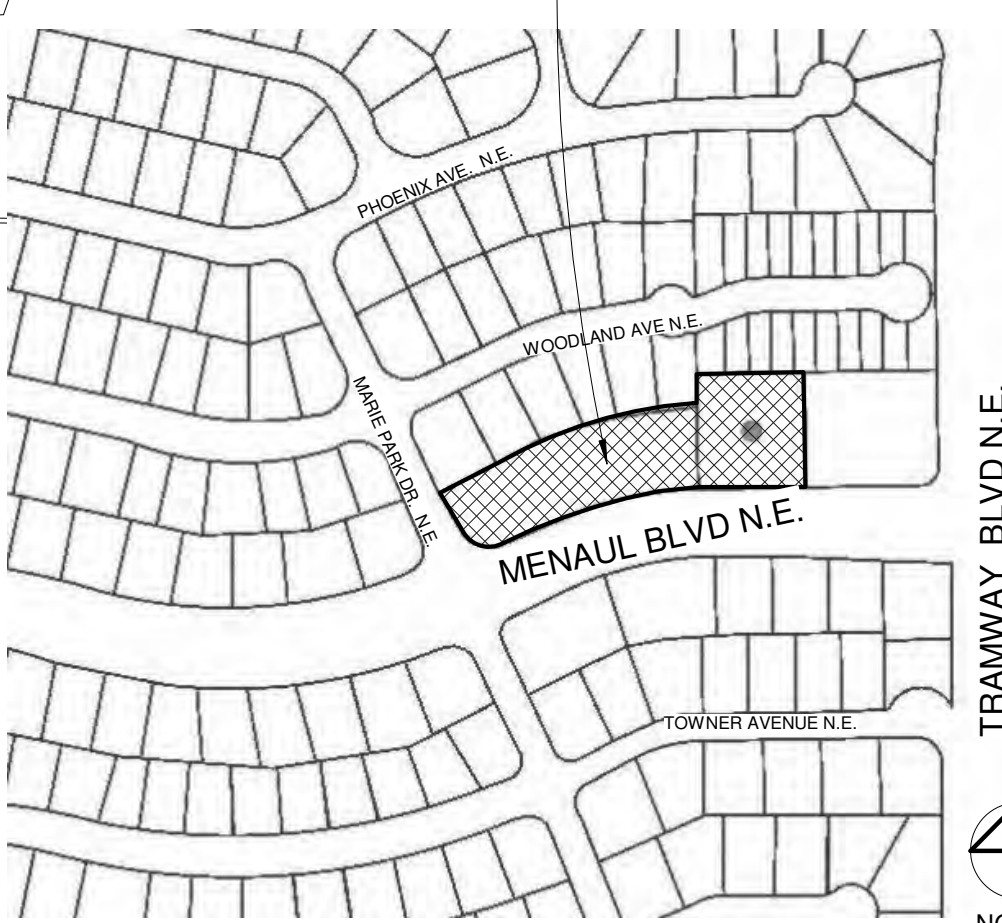
PROPOSED USES: RESIDENTIAL DWELLINGS

REQUIRED PARKING PER R-2:
TOWNHOUSE UNITS - 22 UNITS X 2 PARKING SPACES = 44 PARKING SPACES

PROPOSED PARKING:
OFF STREET PARKING = 44 PARKING SPACES **COMPLIES**

GUEST PARKING:
OFF STREET PARKING = 4 PARKING SPACES
PROVIDED - 9% OF TOTAL SPACES

2400 MARIE PARK DRIVE N.E.



VICINITY MAP - ZA MAP H-22 1" = 500'

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
TOWNHOMES FOR
LOBBEREGET
MARIE PARK DR. N.E.
ALBUQUERQUE, NEW MEXICO

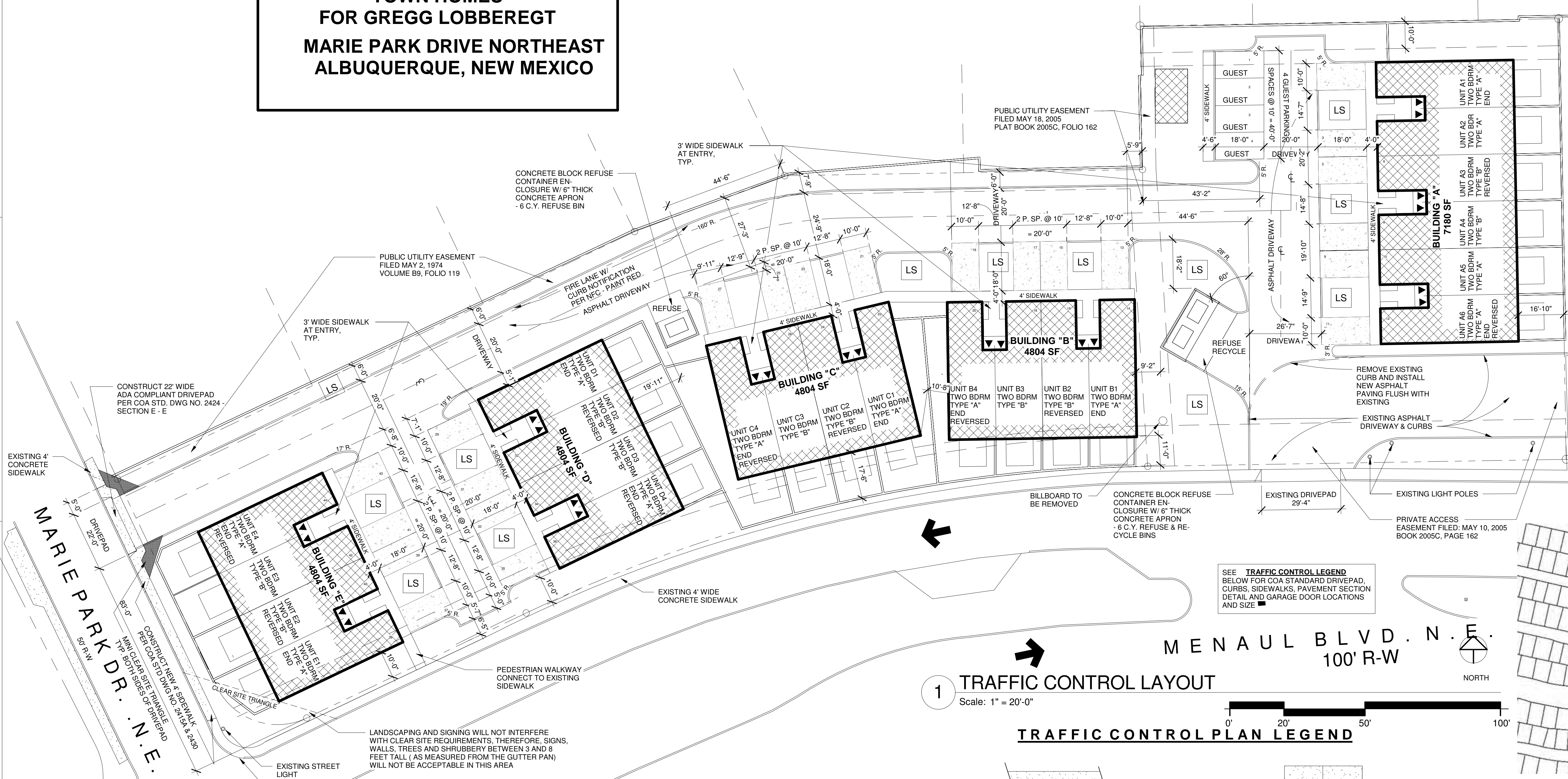
DRAWING TITLE:
PREDESIGN TRAFFIC CONTROL
LAYOUT

DATE: DEC. 15, 2016 PROJECT NO. BUCH14
DRAWING NO.



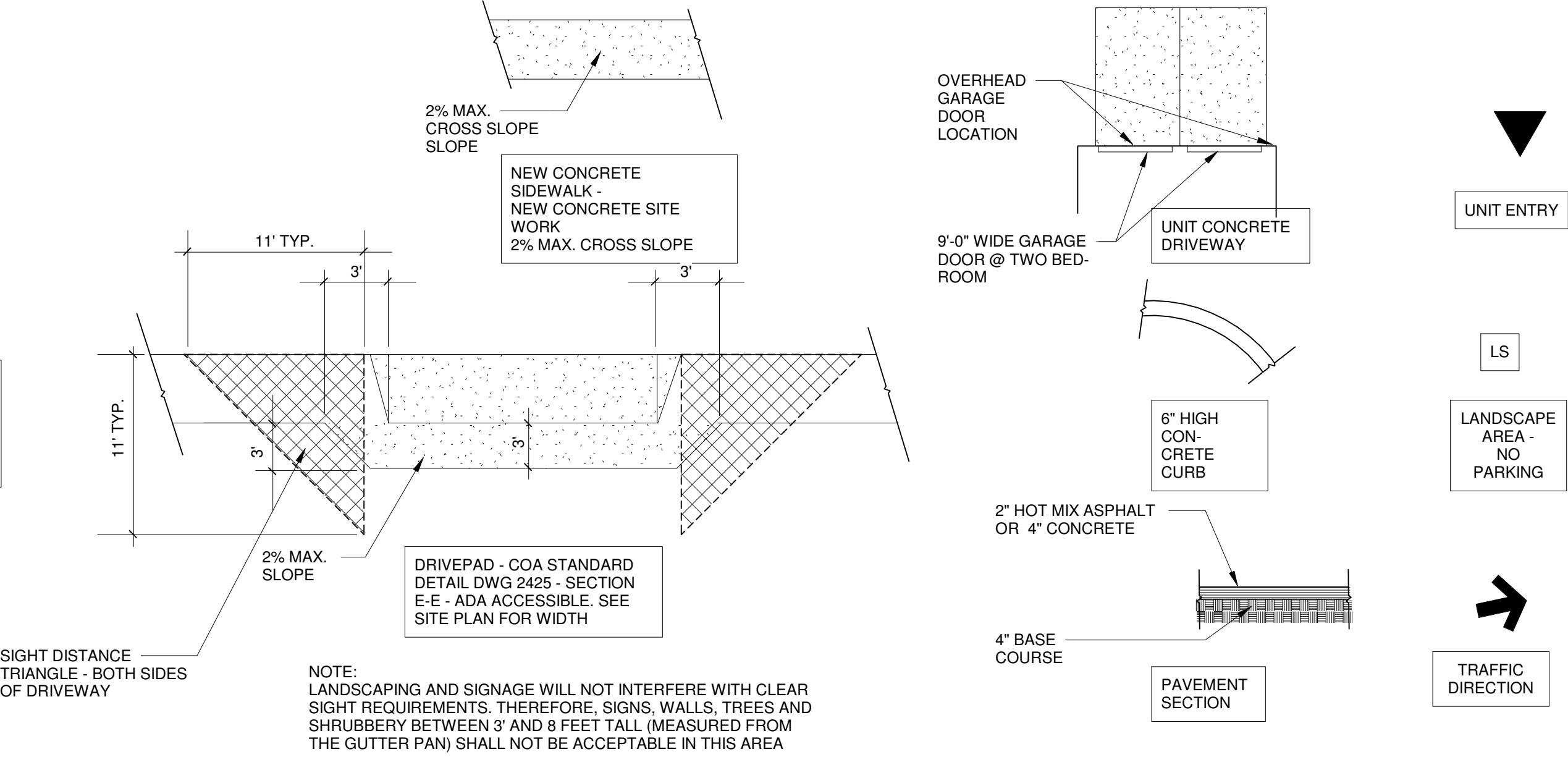
CIVIL-101

9/1/16



1 TRAFFIC CONTROL LAYOUT
Scale: 1" = 20'-0"

TRAFFIC CONTROL PLAN LEGEND



NOTE:
EXISTING SIDEWALKS, CURB AND GUTTER IN MENAUL AND MARIE PARK ARE IN AC-CEPTABLE CONDITION; REPLACEMENT IS NOT REQUIRED
NO BUS STOP AT FRONTAGE

NOTE:
DPM CH. 23, FIGURE 23.7.1
* 20' AISLE PERMITTED FOR 10' WIDE PARKING STALLS
22' AISLE PERMITTED FOR 9'-6" WIDE PARKING STALLS

NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8 FEET TALL (MEASURED FROM THE GUTTER PAN) SHALL NOT BE ACCEPTABLE IN THIS AREA