

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 2, 2024

Devin Nguyen, R.A  
Maaxiv Design Studio  
1820 Smarty Jones St.  
Albuquerque, NM 87123

**Re: Brio Sandia Apartments/ 11930 Menaul Blvd. NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 12-17-21 (H22-D029)  
Certification dated 26-06-24

Dear Mr. Nguyen,

Based upon the information provided in your submittal received 07-01-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

\xxx via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:** Plat (# of lots) \_\_\_\_\_ Single Family Home  
All other Developments

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy - Temp Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_



To whom it may concern  
**Planning Department – Transportation & Hydrology**  
City of Albuquerque  
600 2<sup>nd</sup> Street NW, Suite 201  
Albuquerque, NM 87102  
925.965.4475

26 June 2024

**RE: Traffic Certification for Brio Sandia Apartments (City of Albuquerque Project # BP-2021-53419)**

To whom it may concern:

I, Scott Anderson, NMRA #4341, hereby certify that the above referenced project is in substantial compliance with and in accordance with the design intent of the Site Plan for Building Permit dated 17<sup>th</sup> December 2021. I further certify that Devin Nguyen, Project Manager, personally visited the site on 20<sup>th</sup> March 2024 and has determined by visual inspection that the work installed to date are representative of actual site conditions and is true and correct to the best of his knowledge and belief. This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,



Scott C. Anderson, AIA  
2818 4<sup>th</sup> Street NW, Suite C  
Albuquerque, NM 87107 (O) 505.400.1415

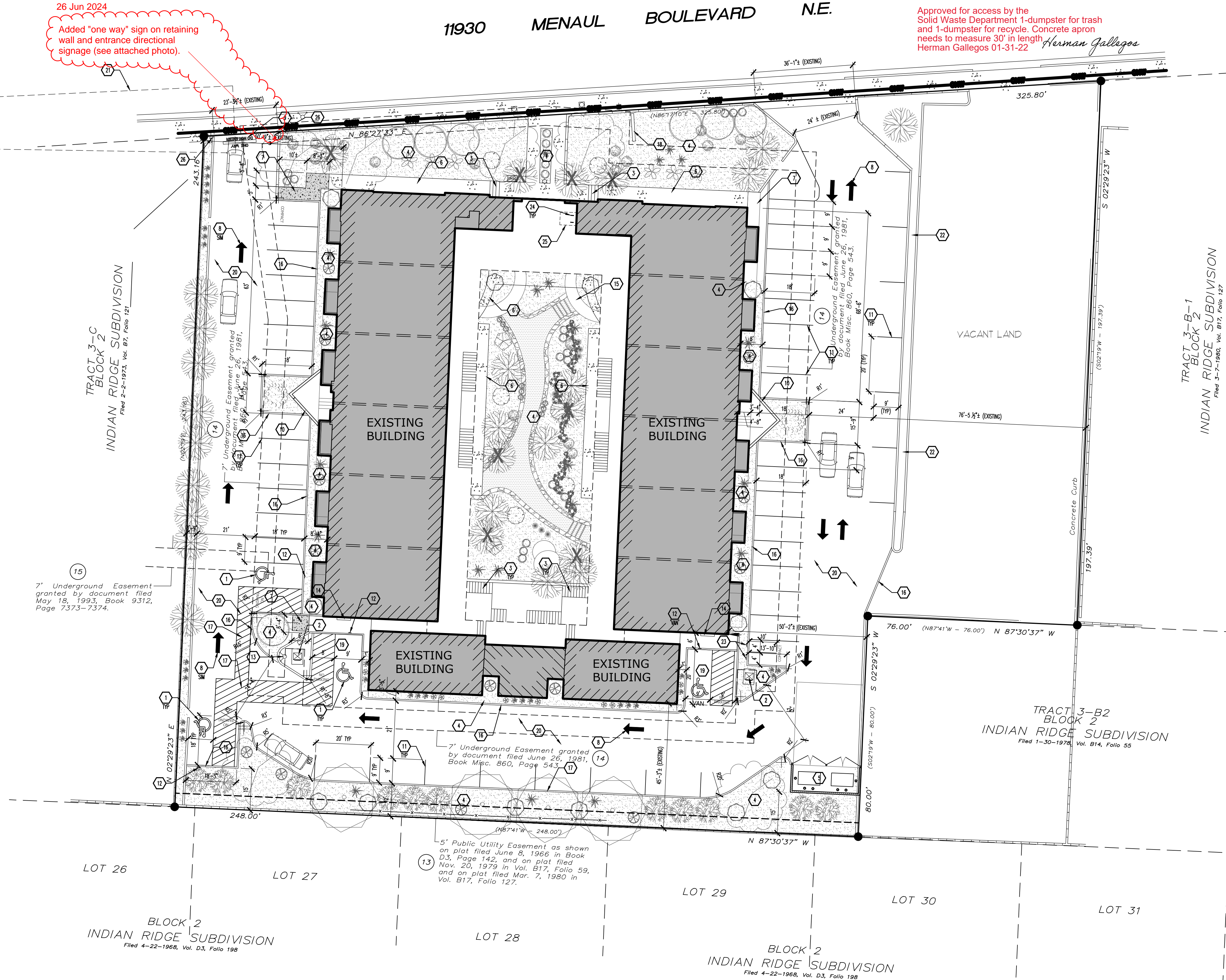


Jeanna Wolfenbarger

Albuquerque Central Survey Monument "2-023"  
New Mexico State Plane Coordinates  
Central Zone - NAD 83  
North = 1,497,501.402 U.S. survey feet  
East = 1,566,386.283 U.S. survey feet  
Delta Alpha = -00°08'32.64"  
Ground to Grid Factor = 0.999632599  
Elevation = 5801.765

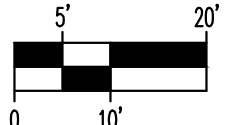
26 Jun 2024  
Added "one way" sign on retaining wall and entrance directional signage (see attached photo).

Approved for access by the Solid Waste Department 1-dumpster for trash and 1-dumpster for recycle. Concrete apron needs to measure 30' in length  
Herman Gallegos



A1 ARCHITECTURAL SITE PLAN (COA SOLID WASTE)

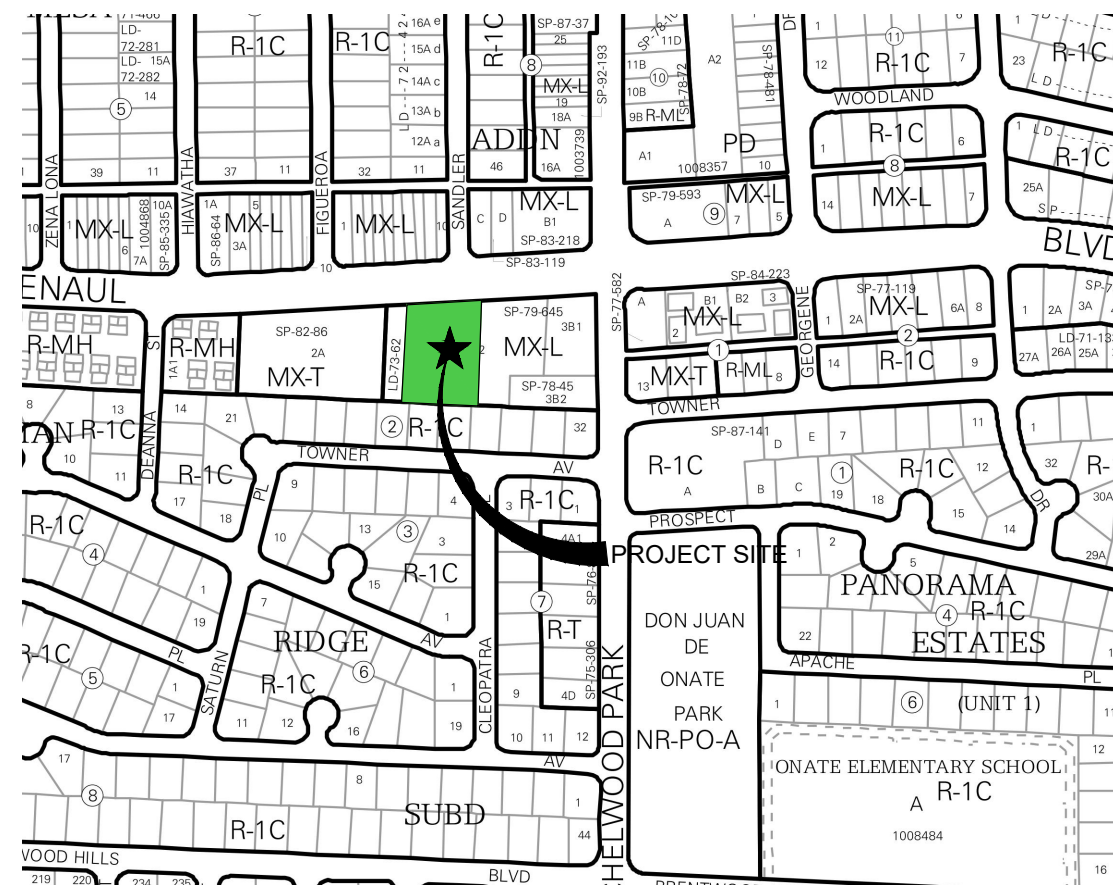
SCALE: 1:20



GENERAL NOTES

- A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.  
B. DIMENSIONS SHOWN ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

VICINITY MAP



VICINITY MAP

Zone Atlas Map H-22-Z

LEGAL DESCRIPTION: AS CONTAINED IN THE TITLE COMMITMENT PREPARED FOR THIS PROPERTY BY STEWART TITLE GUARANTY COMPANY, FILE NO.: 1185423, EFFECTIVE DATE: APRIL 5, 2021. TRACT 3-A-2 IN BLOCK NUMBERED TWO (2) OF INDIAN RIDGE SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE SUMMARY PLAT OF LOTS 3-A-2 AND 3-B-1, BLOCK 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON MARCH 7, 1980, IN PLAT BOOK B17, PAGE 127.

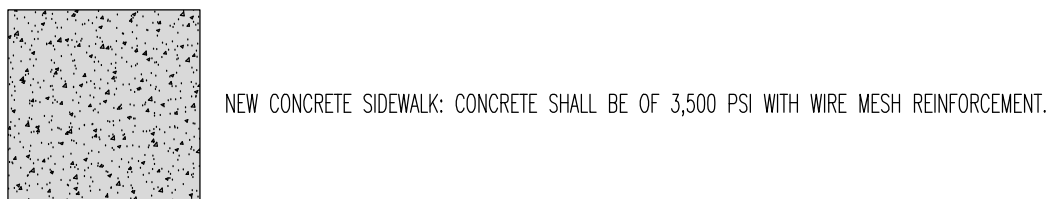
GENERAL NOTES

- A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.  
B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.  
C. PARKING AN ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.  
D. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.  
E. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS; THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE CURB) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

- HANDICAP PARKING PAVEMENT MARKING: SEE A3/ASS01.
- EXISTING TRANSFORMER TO REMAIN.
- EXISTING CONCRETE STEPS TO REMAIN.
- LANDSCAPE: SEE LANDSCAPE PLANTING PLAN ON SHEET LP-101.
- REFUSE ENCLOSURE: SEE B4/ASS02.
- EXISTING SIDEWALK TO REMAIN.
- NEW CONCRETE SIDEWALK - MATCH EXISTING ADJACENT SIDEWALK IN WIDTH: SEE B4/ASS01.
- DIRECTIONAL PAVEMENT MARKING: SEE A1/ASS01.
- "ONE WAY" - DO NOT ENTER PAVEMENT MARKING: SEE D5/ASS01.
- EXISTING WALL TO REMAIN.
- PARKING STRIPING: WHITE PAINT FINISH, 4" WIDE MARKING.
- ACCESSIBLE PARKING SIGNAGE: SEE B2/ASS02.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING ELECTRICAL PANEL TO REMAIN.
- EXISTING ADA COMPLIANT RAMP TO REMAIN.
- NEW STANDUP CONCRETE CURB: SEE A4/ASS01.
- ADA WALK PATH PAVEMENT MARKING: SEE C4/ASS01.
- EXISTING MONUMENTAL SIGN TO REMAIN.
- ACCESSIBLE PARKING SPACE: SEE C5/ASS01.
- EXISTING ASPHALT TO REMAIN.
- DASHED LINE INDICATES CLEAR SIGHT TRIANGLE WITH A 390' CLEAR SIGHT DISTANCE, SEE GENERAL NOTE "E" ABOVE.
- EXISTING PLANTER TO REMAIN.
- MOTOR CYCLE PARKING SIGN: SEE B3/ASS02; TYPICAL OF (2).
- BIKE RACK: SEE B3/ASS01; TYPICAL OF (2).
- DASHED LINE INDICATES 12" CLEARANCE SPACE AROUND BIKE RACK.
- "DO NOT ENTER" SIGNAGE: SEE B1/ASS01.

GRAPHIC LEGEND



PARKING CALCULATION

USE		APARTMENT COMPLEX	
# UNITS			
PARKING REQUIREMENTS		RATIO	REQUIRED PROVIDED
MULTI-FAMILY RESIDENTIAL USE		1.5/UNIT	44 SPACES 46 SPACES
ACCESSIBLE PARKING SPACE		---	4 SPACES 4 SPACES
MOTORCYCLE PARKING SPACE (IDO TABLE 5-5-4)		---	2 SPACES 2 SPACES
BIKE PARKING SPACE (IDO TABLE 5-5-5)		---	5 SPACES 6 SPACES

maaxiv  
design studio

505-400.1415

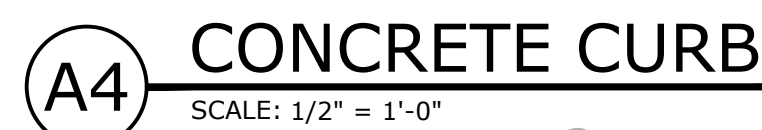
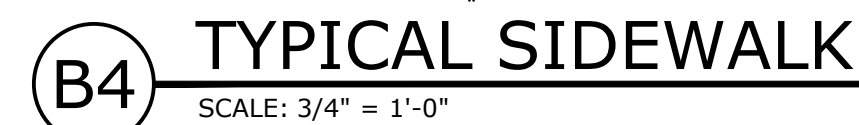
STATE OF NEW MEXICO  
BOB J. ANDERSON  
No. 4341  
17 Dec 2021  
REGISTERED ARCHITECT

Brio Sandia  
11930 Menaul Blvd. NE  
ALBUQUERQUE, NEW MEXICO 87112

MARK	DATE	DESCRIPTION
ISSUE	09 Sept 2021	

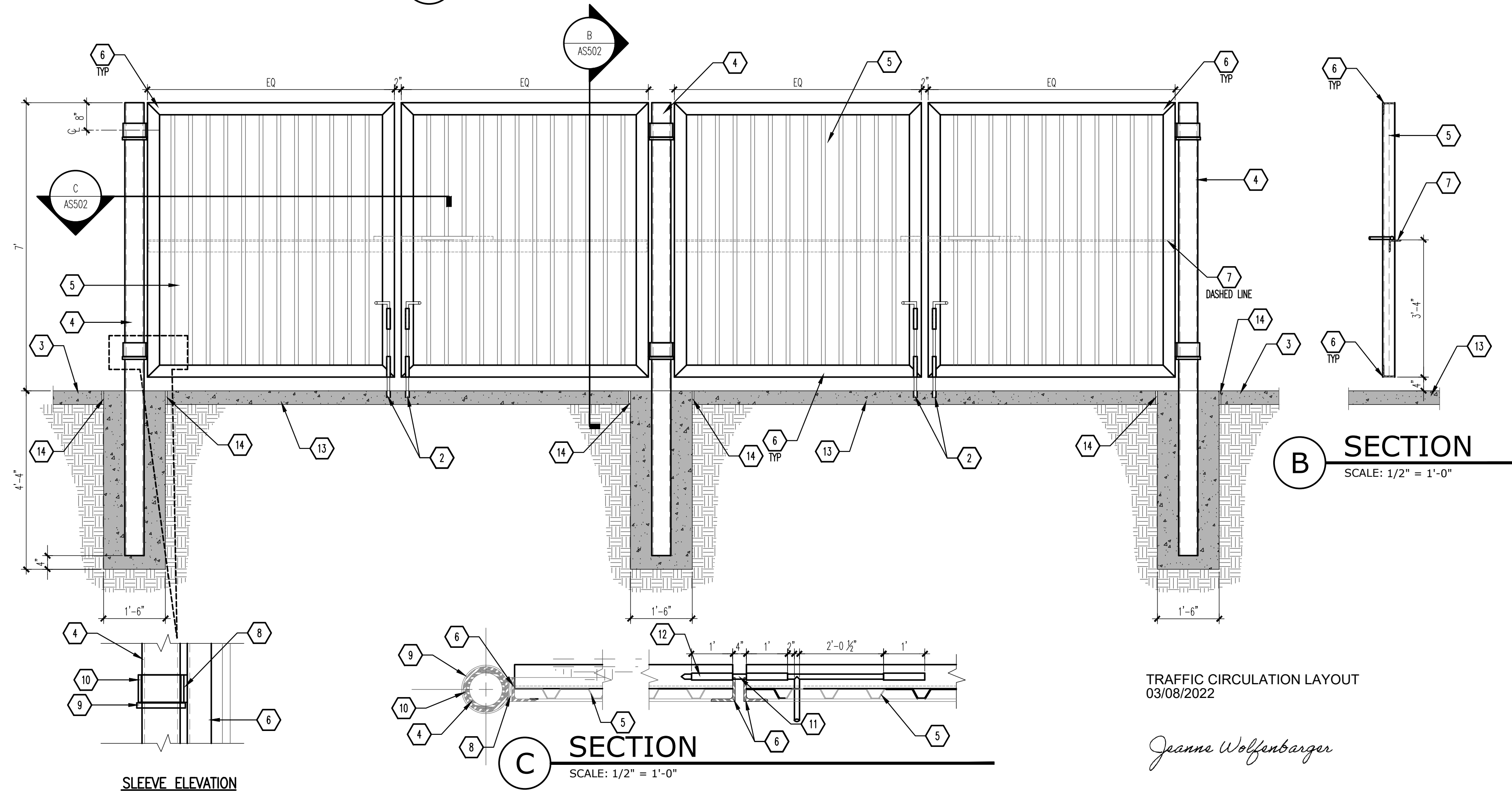
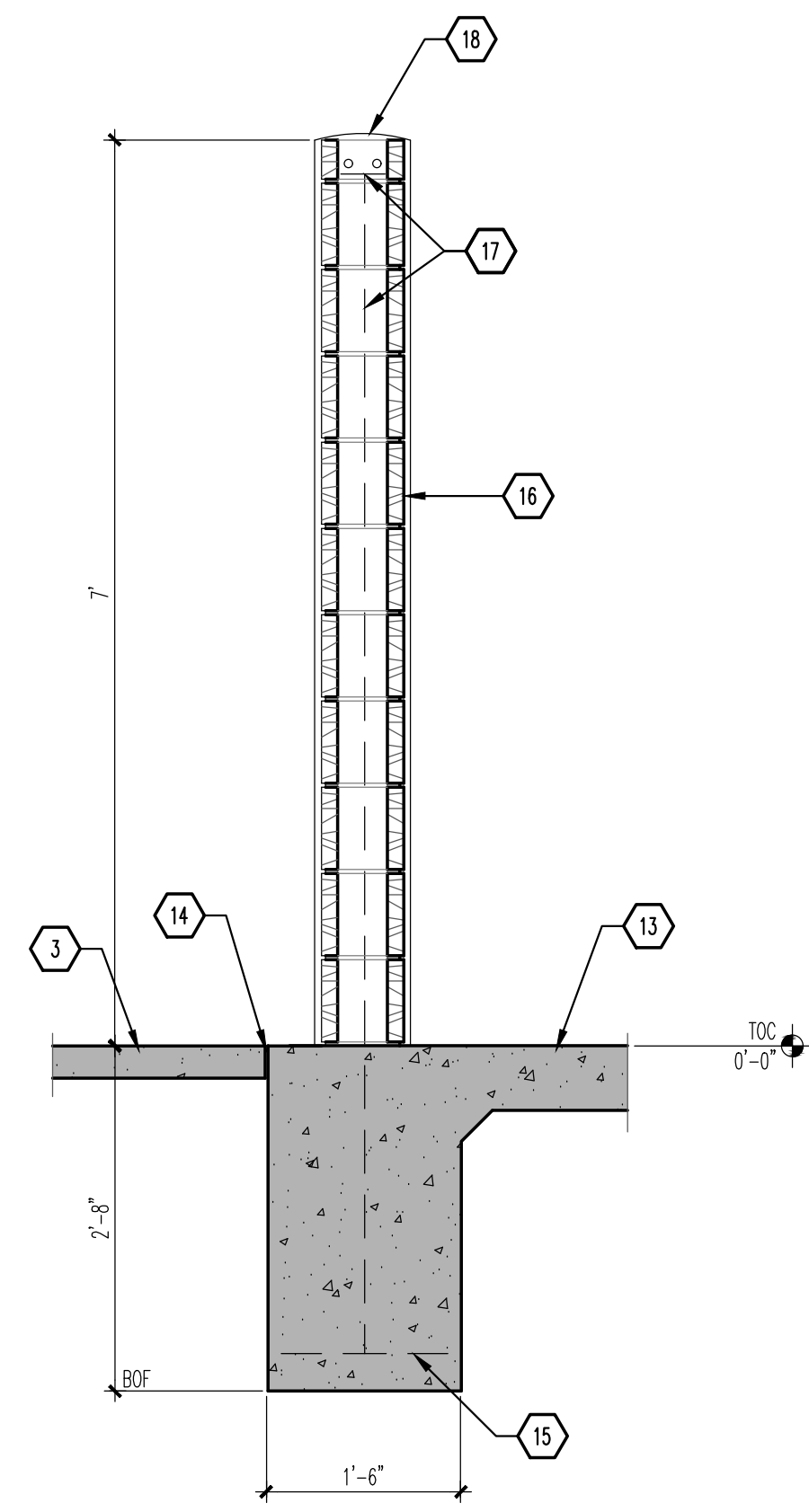
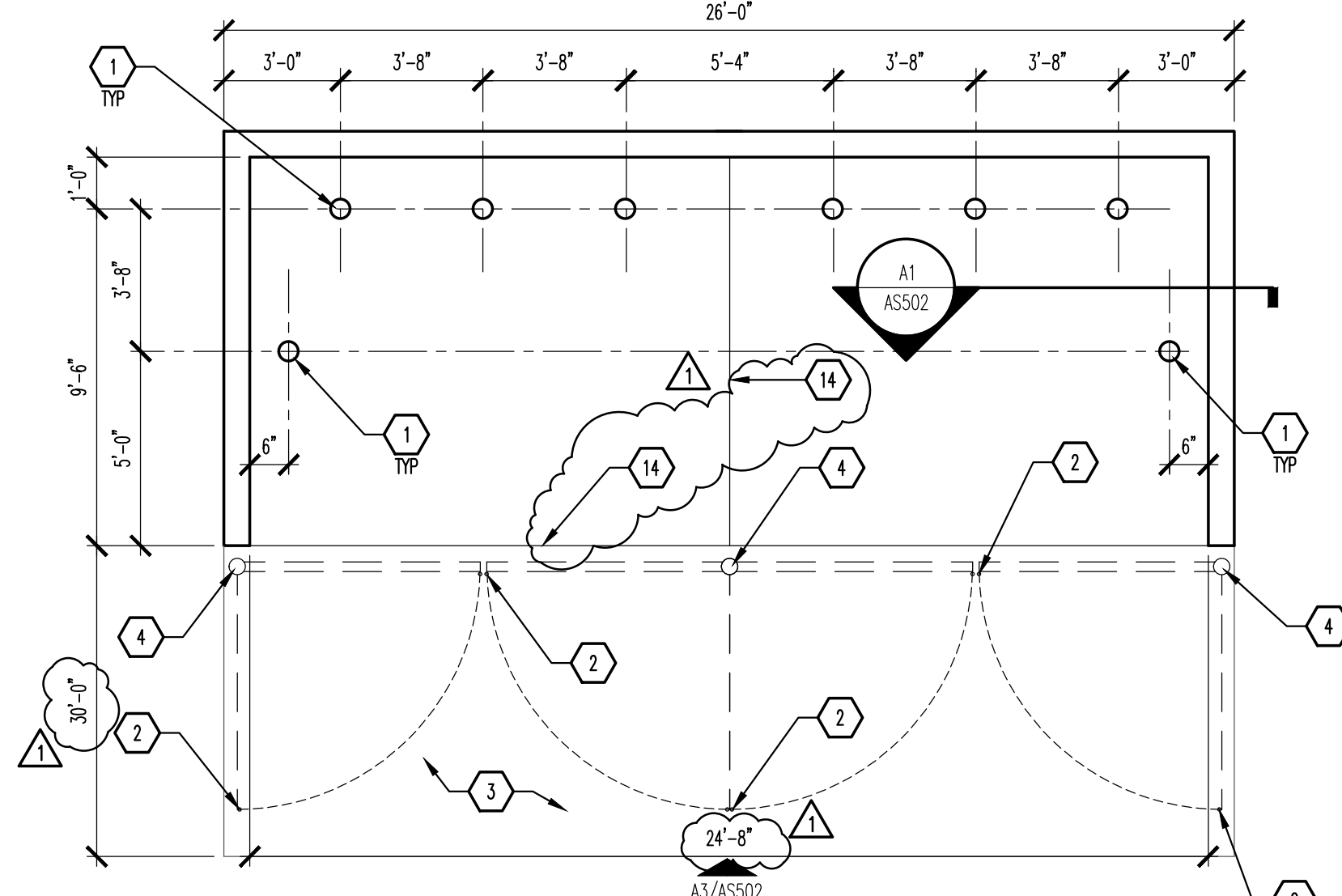
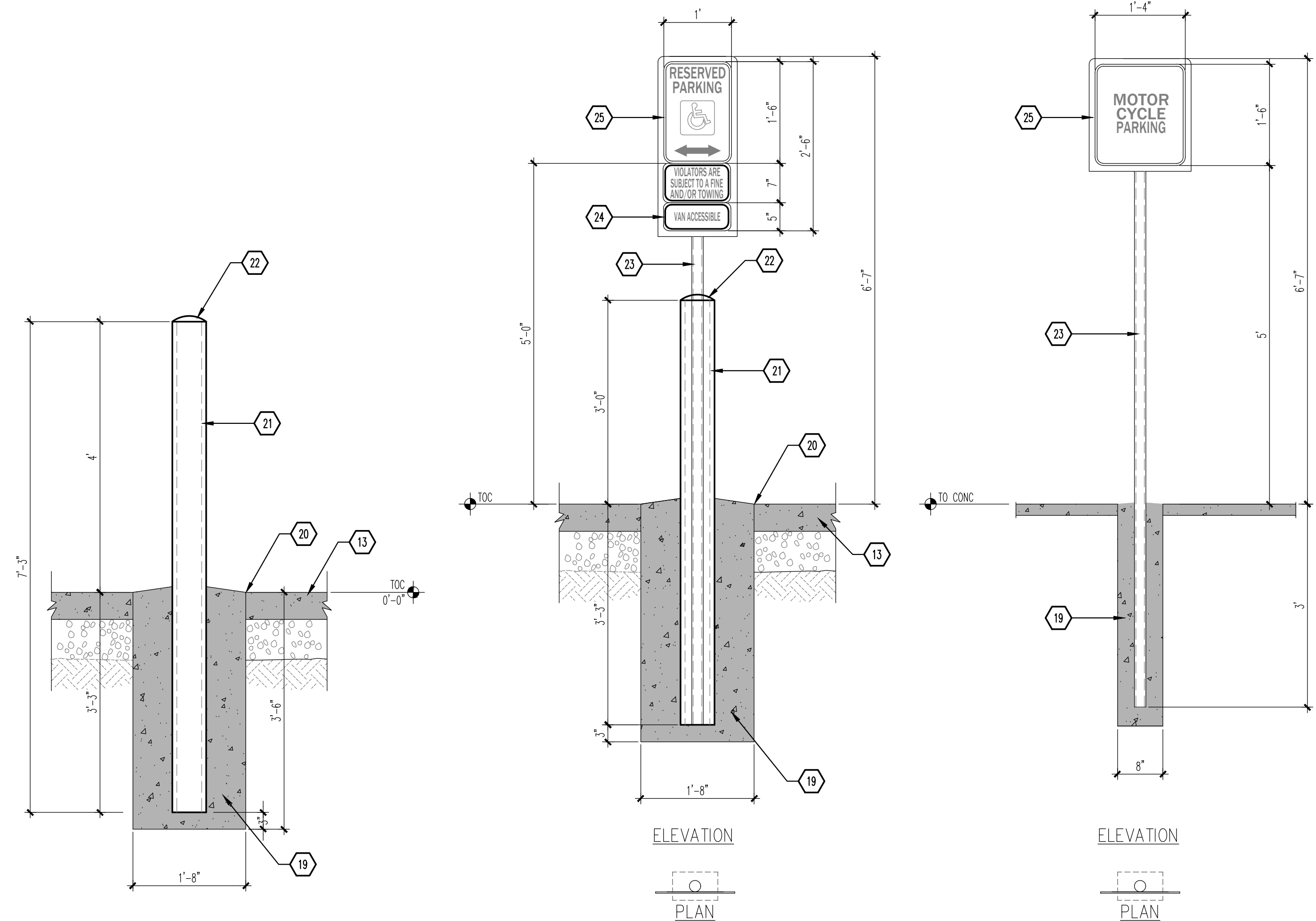
PROJECT NO: 20210909  
CAD DWG FILE: 20160926/SITE PLAN  
DRAWN BY:  
CHECKED BY:  
© MAXXIV DESIGN, INC.  
SHEET TITLE: ARCHITECTURAL SITE PLAN COA SOLID WASTE PLAN  
DRAWING SHEET: AS101





DRAWING SHEET

AS501



- ### GENERAL NOTES
- "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
  - INDICATED ELEVATIONS ARE BASED ON A FINISHED FLOOR OF 0'-0".
  - UNLESS OTHERWISE NOTED, CONCRETE ARE TO BE 3500 PSI MINIMUM.
  - DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- ### KEYED NOTES
- BOLLARD: SEE B2/AS502.
  - 3/4" DIAMETER CANE-BOLT: PROVIDE CATCH-TO-HOLD IN POSITION WHEN REQUIRED TO ELIMINATE RAMP.
  - 6" CONCRETE APRON AT 4000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 WWM TURNOUT EDGE: 1/4" PER FOOT SLOPE MAXIMUM IN ALL DIRECTIONS.
  - 5" OD HEAVY DUTY PIPE POST: PAINT FINISH - MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
  - METAL DECKING: 18ga WITH SHEET METAL SCREWS @ 9" OC TOP, BOTTOM, AND SIDES. PAINT FINISH: SHERWIN WILLIAMS #SW6143 BASKET BEIGE; CONTRACTOR TO CONFIRM COLOR WITH OWNER PRIOR TO PURCHASING AND APPLICATION.
  - 3 1/2" x 3 1/2" x 3/8" STEEL ANGLE-WELD CORNERS (TYPICAL OF 4 SIDES): PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
  - 3 1/2" x 3 1/2" x 3/8" STEEL ANGLE-WELD FLUSH WITH METAL DECKING AT EACH END: PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
  - 3/4" x 3 1/2" FLAT BAR STOCK OVER 6" SLEEVE: PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
  - 3/4" SQUARE STOCK WRAP AROUND POST AT EACH LOCATION: PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
  - 6" HEAVY DUTY PIPE SLEEVE 4" IN WIDTH: PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
  - 3/4" DIAMETER STEEL ROD TAPER END AND WELD 6" HANDLE.
  - STEEL TUBING WELD TO ANGLE AT TOP TO FIT STEEL ROD.
  - 6" SEALED CONCRETE SLAB AT 4000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 WWM.
  - 3/4" CONCRETE EXPANSION JOINT: BS/AS501.
  - (4) #4 BARS CONTINUOUS @ BOTTOM OF FOOTING #4 @ 16" OC ACROSS BOTTOM OF FOOTING.
  - 8" CMU WALL WITH 2-COAT STUCCO SYSTEM: COLOR TO MATCH BUILDING IN COLOR AND FINISH.
  - (2) #5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BARS @ 32" OC VERTICAL GROUT REINFORCED CELLS, DURA-WALL @ 16" OC HORIZONTAL.
  - SLOPE STUCCO CAP.
  - CONCRETE FOOTING.
  - BITUMINOUS JOINT FILLER (AT CONCRETE PAVEMENT ONLY).
  - 6" STEEL PIPE FILLED WITH CONCRETE: PAINT FINISH - SAFETY YELLOW.
  - ROUND CONCRETE TOP.
  - 2" OD GALVANIZED STEEL SIGN POST.
  - "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN ON SHEET AS101.
  - 3/8" STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.

maaxiv  
design studio

STATE OF NEW MEXICO

FOOTPC  
ANDERSON  
No. 4341  
17 Dec 2021  
REGISTERED ARCHITECT

Brio Sandia

11930 Menaul Blvd. NE  
ALBUQUERQUE, NEW MEXICO 87112

PROJECT NO:	20210909
CAD DWG FILE:	20160926/SITE PLAN
DRAWN BY:	
CHECKED BY:	
© MAXXIV DESIGN, INC.	
SHEET TITLE	SITE DETAILS

DRAWING SHEET

AS502

TRAFFIC CIRCULATION LAYOUT  
03/08/2022

*Jeanne Wolfenbarger*





BRIO  
11930  
↑  
ENTER

← ONE WAY

DO NOT ENTER  
ONE WAY

BRIO  
Office Open  
11 to 5  
Mon thru Fri

BRIO  
LEASING  
OFFICE

CALL TODAY  
505-300-0017  
BrioSandia.com  
LEASING OFFICE

NO TRESPASSING  
SECURITY CAMERA  
FOOTAGE IS MONITORED  
24 HOURS A DAY  
BY BRIO SECURITY  
ANY VIOLATION OF THIS  
SIGN WILL BE PROSECUTED  
BY THE STATE OF NEW MEXICO