

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 20, 2022

Devin Nguyen
Maaxiv Design Studio
12135 Dan Patch Road SE
Albuquerque, NM 87123

Re: Brio Sandia Apartment
11930 Menaul Blvd. NE
Traffic Circulation Layout
Architect's Stamp 12-17-21 (H22-D029)

Dear Mr. Nguyen,

Based upon the information provided in your submittal received 01-14-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide width for the both existing drive pad entrance.
2. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

3. According to your parking calculation, you didn't provide 4 ADA parking spaces, Motorcycle parking spaces, and Bicycle racks. Please provide all required parking spaces.
4. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from EACH ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
5. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
6. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.

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- d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
7. Bicycle racks shall be sturdy and anchored to a concrete pad.
 8. A 1-foot clear zone around the bicycle parking stall shall be provided.
 9. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
 10. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
 11. Provide face sign details for Motorcycle and for "DO NOT ENTER" sign.
 12. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
 13. Please provide a letter of response for all comments given.

PO Box 1293

Once corrections are complete resubmit

Albuquerque

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

NM 87103

For log in and evaluation by Transportation.

www.cabq.gov

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Brio Sandia Apartment **Building Permit #:** BP-2021-53419 **Hydrology File #:** n/a
DRB#: n/a **EPC#:** n/a **Work Order#:** n/a
Legal Description: Tract 3-A-2 in block no. two (2) of Indian Ridge Subdivision, Alb., NM as the same is shown and designated on the summary plat of lots 3-A-2 and 3-B-1.
City Address: 11930 Menaul Blvd. NE, Albuquerque, NM 87112

Applicant: Devin Nguyen **Contact:** Devin Nguyen
Address: 12135 Dan Patch Road SE, Albuquerque, NM 87123
Phone#: 505-400-1415 **Fax#:** **E-mail:** devinnguyen@hotmail.com

Other Contact: n/a **Contact:** n/a
Address: n/a
Phone#: n/a **Fax#:** n/a **E-mail:** n/a

TYPE OF DEVELOPMENT: PLAT (# of lots) RESIDENCE DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL? Yes X No

DEPARTMENT X TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE REPORT
 DRAINAGE MASTER PLAN
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR
X TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 STREET LIGHT LAYOUT
 OTHER (SPECIFY)
 PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY
 PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL
 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY)

DATE SUBMITTED: 13 Jan 2022 **By:** Devin Nguyen

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:

11930 MENAUL BOULEVARD N.E.

TRACT 3-C
BLOCK 2
INDIAN RIDGE SUBDIVISION
Filed 2-2-1973, Vol. B7, Folio 121

7' Underground Easement granted by document filed June 26, 1981, Book Misc. 860, Page 543.

7' Underground Easement granted by document filed June 26, 1981, Book Misc. 860, Page 543.

5' Public Utility Easement as shown on plat filed June 8, 1966 in Book D3, Page 142, and on plat filed Nov. 20, 1979 in Vol. B17, Folio 59, and on plat filed Mar. 7, 1980 in Vol. B17, Folio 127.

LOT 26

LOT 27

LOT 29

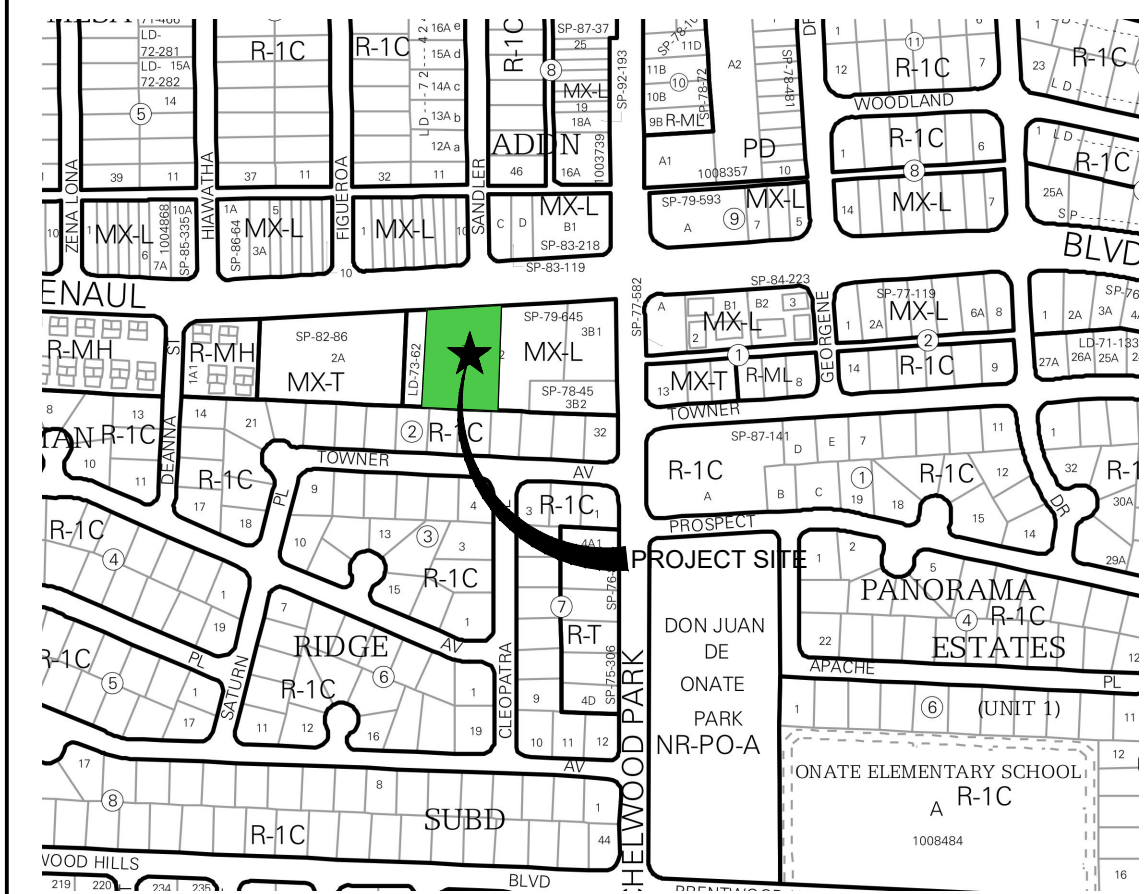
LOT 30

A1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

GENERAL NOTES

- A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. DIMENSIONS SHOWN ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

VICINITY MAP



VICINITY MAP

Zone Atlas Map H-22-Z

LEGAL DESCRIPTION: AS CONTAINED IN THE TITLE COMMITMENT PREPARED FOR THIS PROPERTY BY STEWART TITLE GUARANTY COMPANY, FILE NO.: 1185423, EFFECTIVE DATE: APRIL 5, 2021, TRACT 3-A-2 IN BLOCK NUMBERED TWO (2) OF INDIAN RIDGE SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESCRIBED ON THE SUMMARY PLAT OF LOTS 3-A-2 AND 3-B-1, BLOCK 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON MARCH 7, 1980, IN PLAT BOOK B17, PAGE 127.

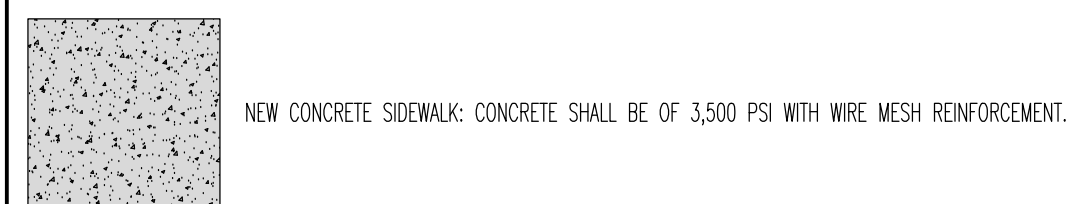
GENERAL NOTES

- A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
C. PARKING AN ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #72.
D. EXISTING BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
E. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES

- HANDICAP PARKING PAVEMENT MARKING: SEE A3/AS501.
- EXISTING TRANSFORMER TO REMAIN.
- EXISTING CONCRETE STEPS TO REMAIN.
- LANDSCAPE: SEE LANDSCAPE PLANTING PLAN ON SHEET LP-101.
- REFUSE ENCLOSURE: SEE B4/AS502.
- EXISTING SIDEWALK TO REMAIN.
- NEW CONCRETE SIDEWALK: SEE B4/AS501.
- DIRECTIONAL PAVEMENT MARKING: SEE A1/AS501.
- "DO NOT ENTER" PAVEMENT MARKING: SEE D5/AS501.
- EXISTING WALL TO REMAIN.
- PARKING STRIPING: WHITE PAINT FINISH, 4" WIDE MARKING.
- ACCESSIBLE PARKING SIGNAGE: SEE B2/AS502.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING ELECTRICAL PANEL TO REMAIN.
- EXISTING ADA COMPLIANT RAMP TO REMAIN.
- NEW STANDUP CONCRETE CURB: SEE A4/AS501.
- NEW CURB AND GUTTER: SEE A4/AS501.
- EXISTING MONUMENTAL SIGN TO REMAIN.
- ACCESSIBLE PARKING SPACE: SEE C5/AS501.
- EXISTING ASPHALT TO REMAIN.
- DASHED LINE INDICATES CLEAR SIGHT TRIANGLE WITH A 390' CLEAR SIGHT DISTANCE, SEE GENERAL NOTE "E" ABOVE.

GRAPHIC LEGEND



PARKING CALCULATION

USE		APARTMENT COMPLEX	
# UNITS			
PARKING REQUIREMENTS		RATIO	REQUIRED PROVIDED
STARBUCKS COFFEE SHOP		1.5/UNIT	44 SPACES 44 SPACES
ACCESSIBLE PARKING SPACE		---	3 SPACES 4 SPACES
MOTORCYCLE PARKING SPACE (IDO TABLE 5-5-4)		---	1 SPACES 2 SPACES
BIKE PARKING SPACE (IDO TABLE 5-5-5)		---	3 SPACES 9 SPACES

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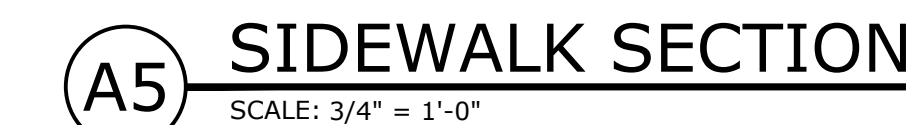
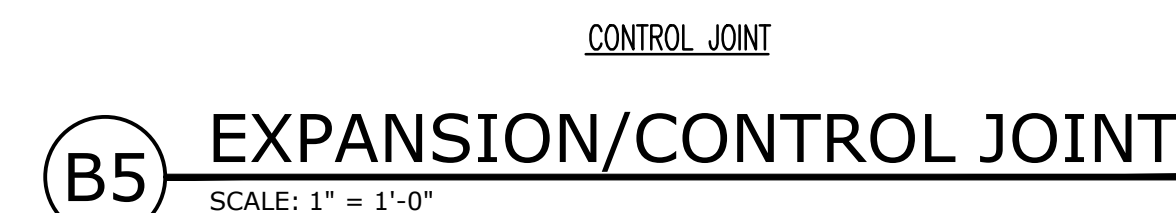
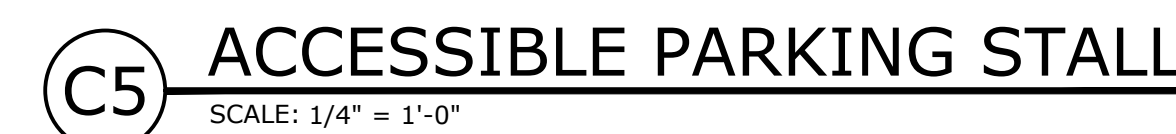
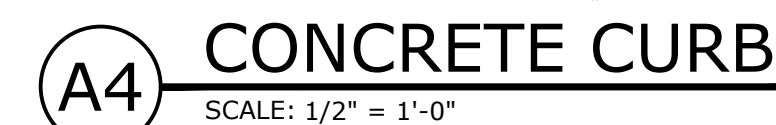
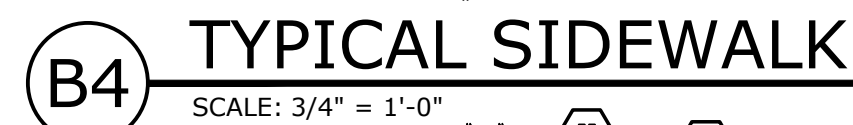
Brio Sandia

11930 Menaul Blvd. NE
ALBUQUERQUE, NEW MEXICO 87112

MARK	DATE	DESCRIPTION
ISSUE	09 Sept 2021	

PROJECT NO:	20210909
CAD DWG FILE:	20160926/SITE PLAN
DRAWN BY:	
CHECKED BY:	© MAXXIV DESIGN, INC.
SHEET TITLE	ARCHITECTURAL SITE PLAN
DRAWING SHEET	

AS101



A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
B. INDICATED ELEVATIONS ARE BASED ON A FINISHED FLOOR OF 100'-0".
C. UNLESS OTHERWISE NOTED, CONCRETE SHALL BE 3,500 PSI MINIMUM.

1. NOT USED.
2. NOT USED.
3. NOT USED.
4. 4" THICK CONCRETE: SEE B4/AS501.
5. NOT USED.
6. NOT USED.
7. 2" EXPANSION JOINT SEALER: NOMAFLEX; OR APPROVED EQUAL.
8. NOT USED.
9. NOT USED.
10. NOT USED.
11. NOT USED.
12. NOT USED.
13. NOT USED.
14. PAVEMENT MARKING: WHITE IN COLOR.
15. 4" THICK PAVEMENT MARKING: WHITE IN COLOR.
16. PAVEMENT MARKING: BLUE IN COLOR.
17. CONCRETE EXPANSION JOINT: SEE B5/AS501.
18. CONCRETE CONTROL JOINT: SEE B5/AS501.
19. BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.
20. SMOOTH TOOLED FINISH AROUND EDGES, TYPICAL.
21. NOT USED.
22. NOT USED.
23. NOT USED.
24. NOT USED.
25. NOT USED.
26. NOT USED.
27. NOT USED.
28. NOT USED.
29. EXISTING BUILDING FOUNDATION SYSTEM TO REMAIN.
30. EXISTING ASPHALT PAVEMENT TO REMAIN.
31. EXISTING SUBGRADE.
32. CONCRETE CURB: SEE ARCHITECTURAL SITE PLAN ON SHEET AS101 FOR ASSIGNED CONCRETE CURB.
33. CAST-IN-PLACE (CIP) CONCRETE.
34. LANDSCAPING: SEE ARCHITECTURAL SITE PLAN ON SHEET AS101 AND LANDSCAPE PLANTING PLAN ON SHEET LP-101.

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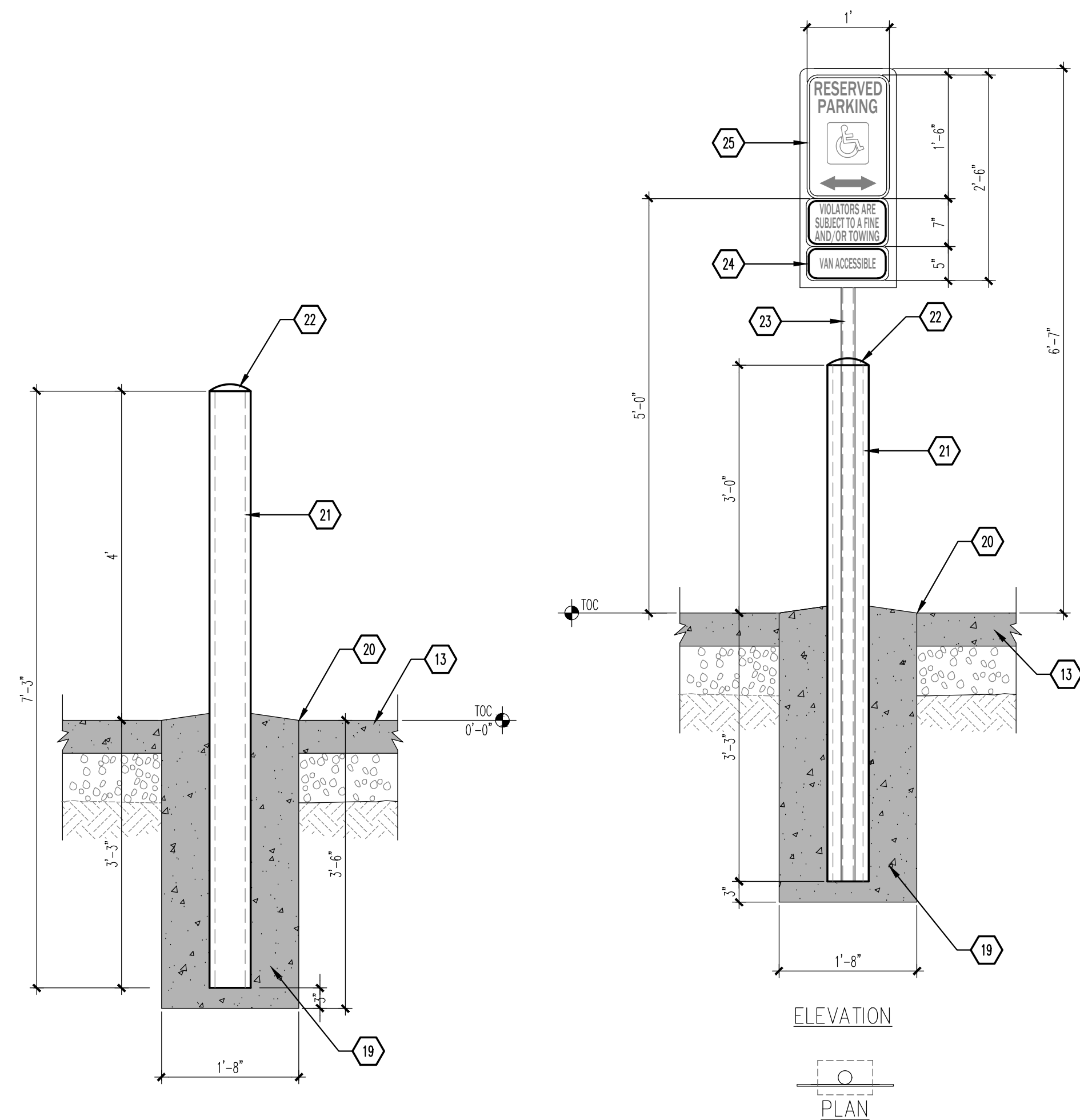


Brio **S**andia
11930 Menaul Blvd. NE
ALBUQUERQUE, NEW MEXICO 87112

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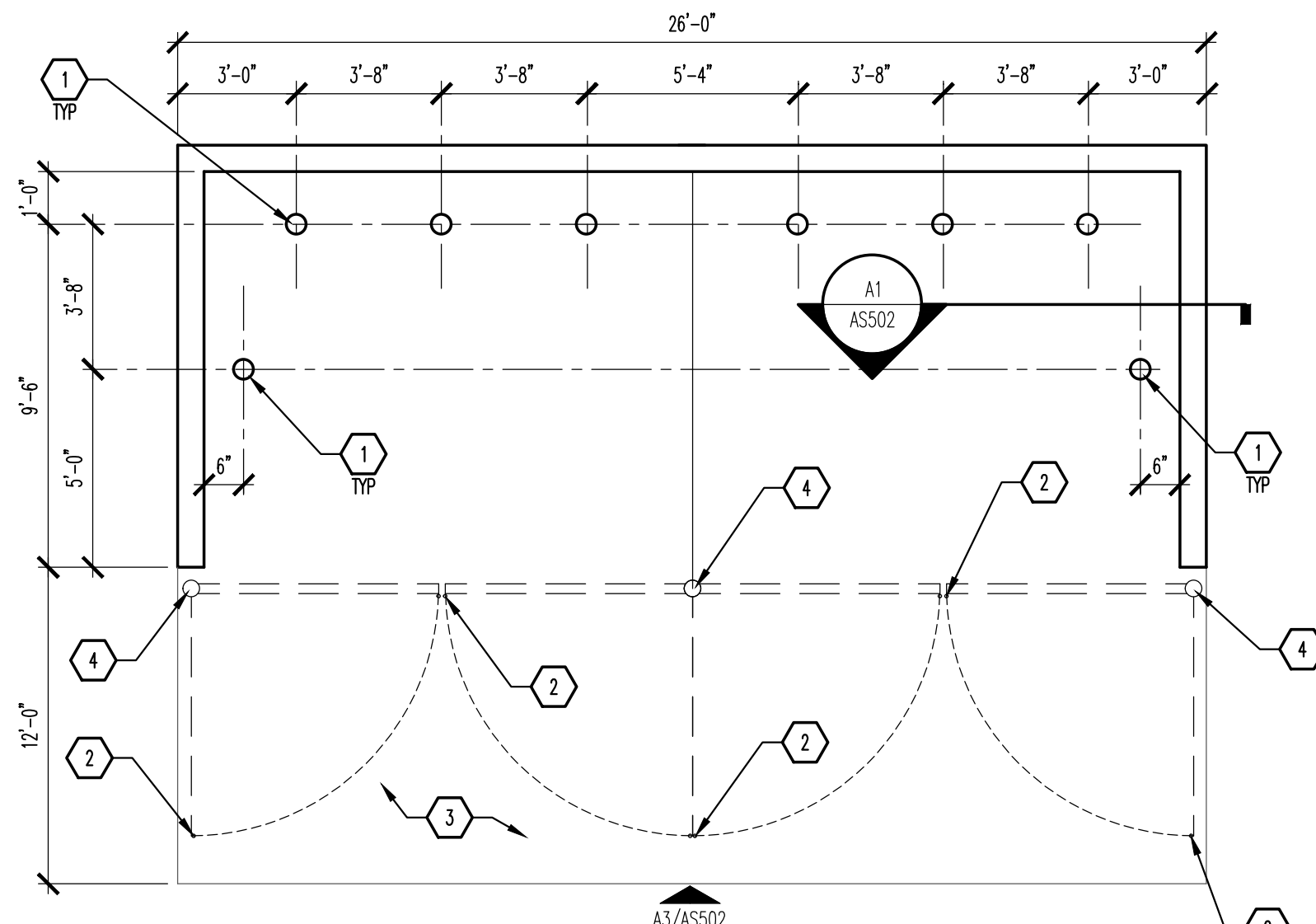
SITE DETAILS

AS501

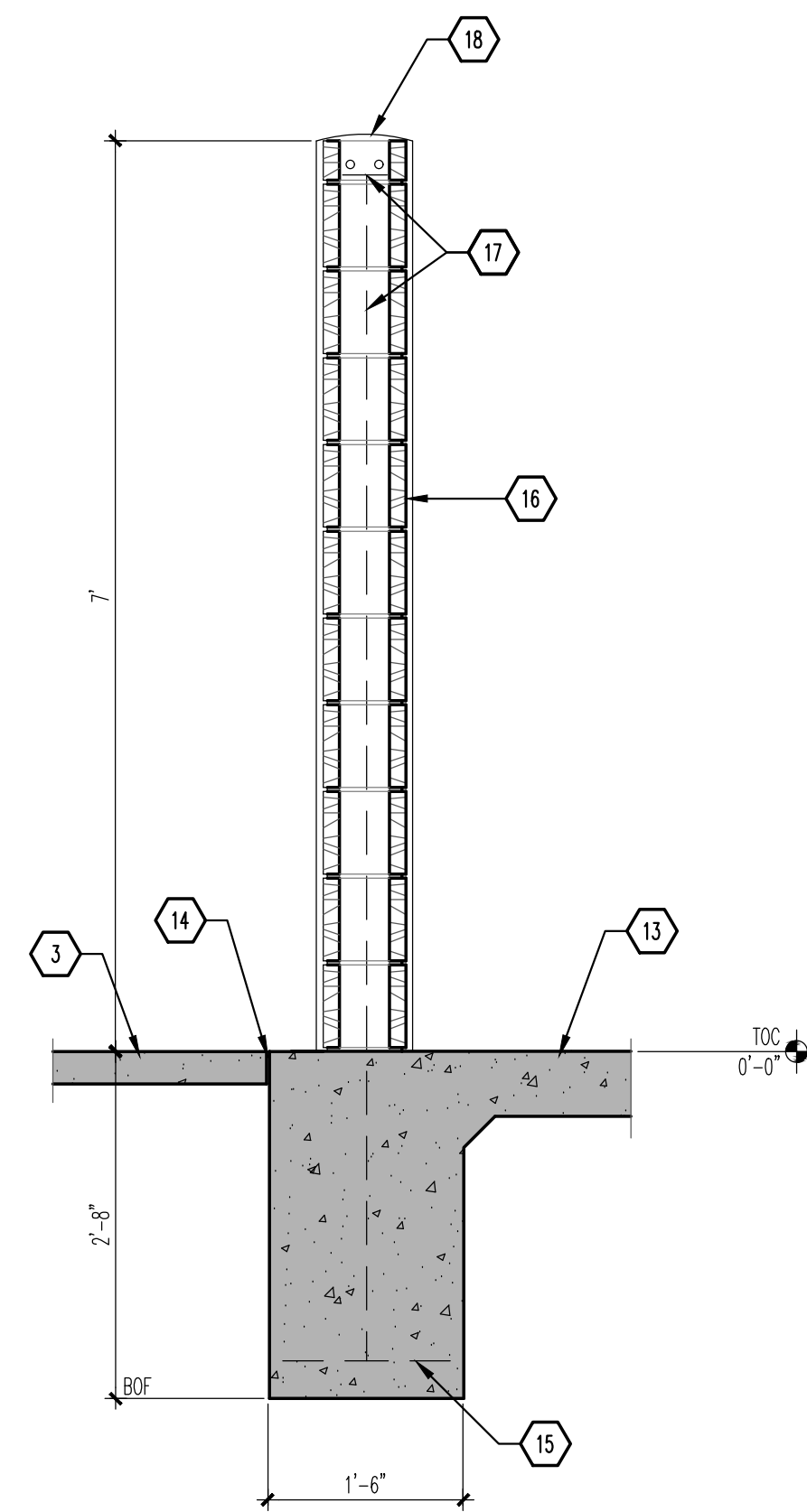


B1 BOLLARD - SECTION
SCALE: 3/4" = 1'-0"

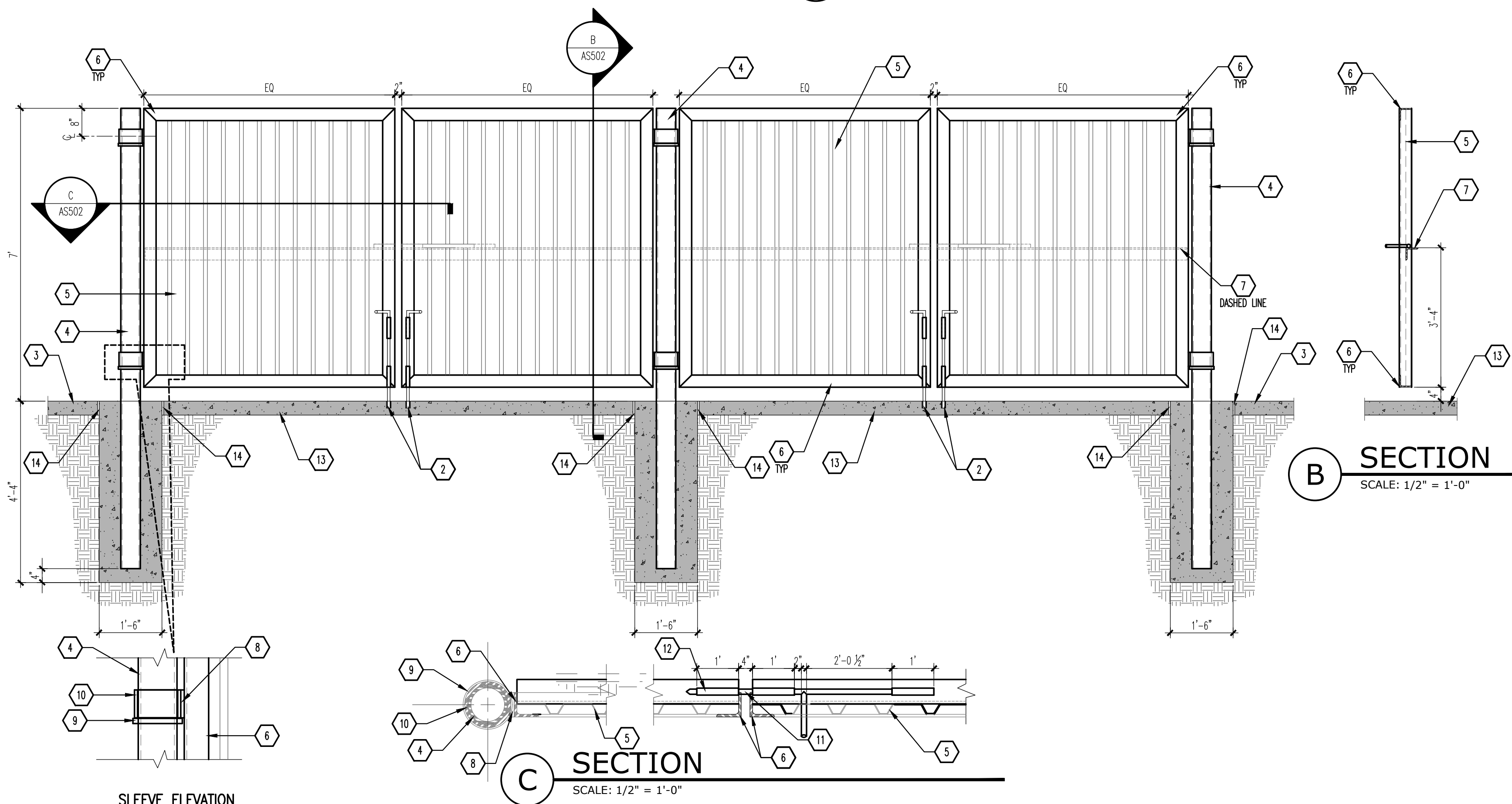
B2 ACCESSIBLE PARKING SIGNAGE
SCALE: 3/4" = 1'-0"



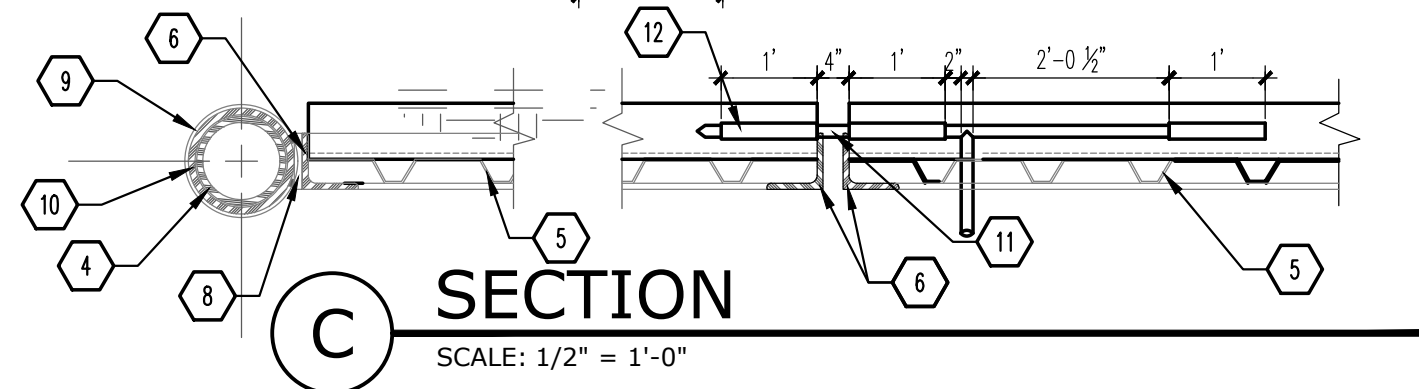
B4 REFUSE ENCLOSURE - PLAN
SCALE: 1/4" = 1'-0"



A1 WALL - SECTION
SCALE: 3/4" = 1'-0"



A3 REFUSE ENCLOSURE - FRONT ELEVATION
SCALE: 1/2" = 1'-0"



C SLEEVE ELEVATION
SCALE: 1/2" = 1'-0"

GENERAL NOTES

- 1/4" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- INDICATED ELEVATIONS ARE BASED ON A FINISHED FLOOR OF 0'-0".
- UNLESS OTHERWISE NOTED, CONCRETE ARE TO BE 3,500 PSI MINIMUM.
- DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

KEYED NOTES

- BOLLARD: SEE B2/AS502.
- 3/4" DIAMETER CANE BOLT: PROVIDE CATCH TO HOLD IN POSITION WHEN REQUIRED TO ELIMINATE DRAG.
- 6" CONCRETE APRON AT 4,000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 WWM TURNDOWN EDGE.
- 5" OD HEAVY DUTY PIPE POST: PAINT FINISH - MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
- METAL DECKING, 18ga WITH SHEET METAL SCREWS @ 9" OC TOP, BOTTOM, AND SIDES. PAINT FINISH, SHERWIN WILLIAMS #SW6143 BASKET BEIGE; CONTRACTOR TO CONFIRM COLOR WITH OWNER PRIOR TO PURCHASING AND APPLICATION.
- 3 1/2" x 3 1/2" x 3/8" STEEL ANGLE-WELD CORNERS (TYPICAL OF 4 SIDES): PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
- 3 1/2" x 3 1/2" x 3/8" STEEL ANGLE-WELD FLUSH WITH METAL DECKING AT EACH END: PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
- 2 1/2" x 3 1/2" FLAT STOCK OVER 6" SLEEVE: PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
- 3/4" SQUARE STOCK WRAP AROUND POST AT EACH LOCATION: PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
- 6" HEAVY DUTY PIPE SLEEVE 4" IN WIDTH: PAINT FINISH TO MATCH REFUSE ENCLOSURE METAL DECKING IN COLOR AND FINISH.
- 3/4" DIAMETER STEEL ROD TAPER END AND WELD 6" HANDLE.
- STEEL TUBING WELD TO ANGLE AT TOP TO FIT STEEL ROD.
- 6" SEALED CONCRETE SLAB AT 4,000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 WWM.
- 3/4" CONCRETE EXPANSION JOINT: BS/AS501.
- (4) #4 BARS CONTINUOUS @ BOTTOM OF FOOTING #4 @ 16" OC ACROSS BOTTOM OF FOOTING.
- 6" CMU WALL WITH 2-COAT STUCCO SYSTEM: COLOR TO MATCH BUILDING IN COLOR AND FINISH.
- (2) #5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS: #5 BARS @ 32" OC VERTICAL GROUT REINFORCED CELLS, DURAWALL @ 16" OC HORIZONTAL.
- SLOPE STUCCO CAP.
- CONCRETE FOOTING.
- BUTYROMINOUS JOINT FILLER (AT CONCRETE PAVEMENT ONLY).
- 6" STEEL PIPE FILLED WITH CONCRETE PAINT FINISH - SAFETY YELLOW.
- ROUND CONCRETE TOP.
- 2" OD GALVANIZED STEEL SIGN POST.
- "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN ON SHEET AS101.
- 3/8" STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.

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design studio



Brio Sandia
11930 Menaul Blvd. NE
ALBUQUERQUE, NEW MEXICO 87112

MARK	DATE	DESCRIPTION
ISSUE	09 Sept 2021	

PROJECT NO: 20210909

CAD DWG FILE: 20160926/SITE PLAN

DRAWN BY:

CHECKED BY:

© MAXXIV DESIGN, INC.

SHEET TITLE

SITE DETAILS

DRAWING SHEET

AS502