

30922

INFORMATION SHEET

CHELWOOD APARTMENTS

PROJECT TITLE PHASE III TYPE OF SUBMITTAL CERTZONE ATLAS PAGE NO. H-22 CITY ADDRESS _____LEGAL DESCRIPTION LOTS G, H, I, BLOCK 9, ENCHANTED MESAENGINEERING FIRM TOM MANN & ASSOC. CONTACT JEFFREY G. MORTENSENADDRESS 811 DALLAS NE PHONE 255-5611OWNER CHELWOOD PARK JOINT VENTURE CONTACT ARCHITECT

ADDRESS _____ PHONE _____

ARCHITECT DON KROEGER CONTACT BILL KONOPIKADDRESS _____ PHONE 293-7888SURVEYOR TOM MANN CONTACT J.G. MORTENSEN

ADDRESS _____ PHONE _____

CONTRACTOR MELTON CONTACT ARCHITECT

ADDRESS _____ PHONE _____

PRE-DESIGN MEETING:

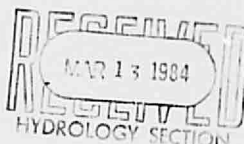
☒ YES☐ NO

PREVIOUS APPROVAL

☒ COPY OF ~~CONFERENCE~~ RECAP SHEET PROVIDED~~H-22~~ H-22-D-32 2

PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 3/13/84BY: J.G. MORTENSEN

INFORMATION SHEET

30522

PROJECT TITLE CHELWOOD APARTMENTS TYPE OF SUBMITTAL REVISED PLAN & CERT
PHASE II
 ZONE ATLAS PAGE NO. H-22 CITY ADDRESS CHELWOOD PARK BLVD NE
 LEGAL DESCRIPTION LOTS D, E, F & D-1, BLK 9, ENCHANTED MESA
 ENGINEERING FIRM TOM MANN & ASSOC. CONTACT JEFFREY G. MORTENSEN
 ADDRESS 811 DALLAS NE PHONE 255-5611
 OWNER CHELWOOD PARK JOINT VENTURE CONTACT ARCHITECT
 ADDRESS _____ PHONE _____
 ARCHITECT DAV KUEGEL CONTACT BILL KONOPIK
 ADDRESS _____ PHONE 293-7888
 SURVEYOR TOM MANN CONTACT J.G. MORTENSEN
 ADDRESS _____ PHONE _____
 CONTRACTOR MERTON CONTACT ARCHITECT
 ADDRESS _____ PHONE _____

PRE-DESIGN MEETING:

☒ YES
☐ NO

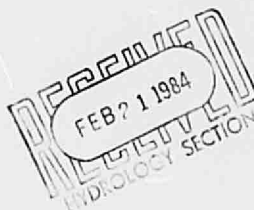
☒ COPY OF CONFERENCE RECAP SHEET PROVIDED - SEE ATTACHMENT

PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 2/21/84

BY: J.G. MORTENSEN



INFORMATION SHEET

30522

PROJECT TITLE CHELWOOD APTS. I TYPE OF SUBMITTAL REVISED plan
802 31 CERT.
 ZONE ATLAS PAGE NO. H-22 CITY ADDRESS _____
 LEGAL DESCRIPTION LOTS A, B, C ENCHANTED MESA, BLK 9
 ENGINEERING FIRM TOM MANN & ASSOC. CONTACT JEFFREY G. MORTENSEN
 ADDRESS 811 DALLAS NE PHONE 255-5611
 OWNER CHELWOOD PARK JOINT WATER CONTACT ARCHITECT
 ADDRESS _____ PHONE _____
 ARCHITECT DON KRUEGER CONTACT BILL KONOPIK
 ADDRESS _____ PHONE 293-7888
 SURVEYOR TOM MANN CONTACT J.G. MORTENSEN
 ADDRESS _____ PHONE _____
 CONTRACTOR MERITON ? CONTACT ARCHITECT
 ADDRESS _____ PHONE _____

PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

PLEASE CHECK TYPE OF APPROVAL EXPECTED WITH THIS SUBMITTAL:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

ATTN: BERNIE MONTEYA

DATE SUBMITTED: 02/02/84
 BY: J. G. MORTENSEN



INFORMATION SHEET

PROJECT TITLE CHELWOOD APARTMENTS TYPE OF SUBMITTAL DRAINAGE PLAN
 ZONE ATLAS PAGE NO. H-22 CITY ADDRESS (NOT KNOWN)
 LEGAL DESCRIPTION LOTS A-I, ENCHANTED MESA, BLOCK 9
 ENGINEERING FIRM TOM MAINE & ASSOC. CONTACT JEFF MORTENSEN
 ADDRESS 811 DALLAS NE PHONE 245-5611
 OWNER CHELWOOD PARK JOINT VENTURE CONTACT ARCHITECT
 ADDRESS 126 GEN. CHENNAULT NE PHONE _____
 ARCHITECT DON KREIGER & ASSOC. CONTACT DON KREIGER
 ADDRESS 126 GEN. CHENNAULT NE PHONE 293-7888
 SURVEYOR TOM MAINE & ASSOC. CONTACT J. MORTENSEN
 ADDRESS NE PHONE _____
 CONTRACTOR MERETIN ENTERPRISES CONTACT ARCHITECT
 ADDRESS 126 GEN. CHENNAULT NE PHONE _____
 DATE SUBMITTED 8-23-83
 BY JEFFREY G. MORTENSEN

Use this Information Sheet when submitting the following:

Drainage report or plan, conceptual grading and drainage plan, engineer's certification plan, erosion plan and grading plan. Provide the information applicable to the submittal.

RECEIVED
 AUG 24 1983
 ENGINEERING

MERETIN ENTERPRISES, INC
126 GEN. CHENAULT NE • 505-293-3285 • ALBUQUERQUE, NM 87123

*file with
H22-D32*

27 March 1984

Bernie J. Montoya
Engineering Division
Municipal Development Dept.
P.O. Box 1293
Albuquerque, N.M. 87102

RE: Chelwood Apartments Phase III Certification Letter, dated March 16, 1984

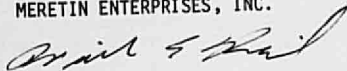
Dear Bernie:

This letter is to inform you that the revised curb on Phase II of the
above referenced project has been completed.

Thank you for your assistance.

Respectfully,

MERETIN ENTERPRISES, INC.



William E. Konopik

WEK:sls

cc: Jeff Mortensen



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 16, 1984

Mr. Jeffrey Mortensen
Tom Mann & Associates
811 Dallas NE
Albuquerque, New Mexico 87110

REF: CERTIFICATION OF CHELWOOD APARTMENTS PHASE III (H22-D32)

Dear Jeff:

Based on the information provided on your March 13, 1984 submittal, the certification for the above referenced drainage plan is acceptable. Please advise your client, that upon completion of the revised curb on phase II they will need to provide me with a letter stating that they have completed the work to your specifications.

If you have any questions regarding the above comments, feel free to call me at 766-7644.

Sincerely,

Bernie J. Montoya
Hydrologic Engineering Technician, C.E.

BJM/ca

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 8, 1984

Mr. Jeffrey Mortensen
Tom Mann & Associates
811 Dallas NE
Albuquerque, New Mexico 87110

REF: CERTIFICATION OF CHELWOOD APARTMENTS PHASE II (H22-D32)

Dear Jeff:

Based on the information provided on your February 21, 1984 submittal for certification of the above referenced site, the pond overflow point is shown to outlet over the public sidewalk. Normally we would like to see the overflow point exiting through a drivepad. Please advise your client that the perimeter curb will need to be raised at certain points to accomplish the overflow point at the drivepad. This revision will need to be completed before Phase III is released. Certification on Phase II is acceptable at this time, providing the above revisions are completed before Phase III certification is accepted.

If you have any questions regarding the above comments, feel free to call me at 766-7644.

Sincerely,

Bernie J. Montoya
Hydrologic Engineering Technician, C.E.

BJH/ca

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 1, 1983

Mr. Jeff Mortensen
Tom Mann & Associates
811 Dallas N.E.
Albuquerque, NM 87110

RE: ENCHANTED MESA LOTS 1-9 BLOCK 9 (CHELWOOD APARTMENTS) #H33-F32

Dear Jeff:

Per your letter dated August 31, 1983 regarding the referenced plan
I am hereby approving this report.

Very truly yours,

Fred J. Aguirre
Civil Engineer/Hydrology

FJA/ts1

MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER



811 DALLAS, N.E. • ALBUQUERQUE • NEW MEXICO • 87110 • 505-265-5611

30521

August 31, 1983

Mr. Fred Aguirre
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Chelwood Apartments Grading & Drainage Plan

Dear Fred:

Following our telephone conversation on August 31, 1983, I spoke with the developer of the subject project regarding your concerns. The items which I discussed with him are as follows:

1. The alley must be constructed in conjunction with Phase I.
2. Phase construction will be implemented. At present, three phases are anticipated.
3. The phase boundaries will not change. In particular, units A, B, and C will remain Phase I, Units D, E, and F will remain Phase 2 and Units G, H, and I will remain Phase III.
4. Due to the critical tolerances in the pond volumes in that thirty percent (30%) of the site has been granted a free discharge, the owner, or developer, will be required to have his engineer certify any particular phase prior to the issuance of a CO (Certificate of Occupancy). This will assure that the required pond volumes have been attained and that the grades provided in the field coincide with those required such that no more than thirty percent of the site freely discharge without being routed through a ponding area.

As you know from the DRB meeting on August 30, 1983, a replat of this project will be forthcoming. This replat will relax the drainage criteria for lot grading. This means that more area will be dedicated as private drainage easement and that several of the internal lot lines will be reconfigured so that the occurrence of cross-lot drainage will no longer be a concern. The owner has

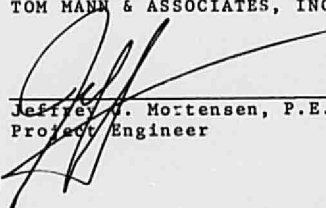
Mr. Fred Aquirre
August 31, 1983
page 2

assured me that any changes to the grading and drainage plan brought about by this forthcoming replat will be presented to you in the form of a revised grading and drainage plan. Any changes to the subject plan will be made under my supervision and will be presented to you prior to certification.

The above information is true and accurate to the best of my knowledge and belief. If you have any questions or comments concerning this information, please do not hesitate to call. Your cooperation and assistance in this matter has been greatly appreciated.

Sincerely,

TOM MANN & ASSOCIATES, INC.



Jeffrey J. Mortensen, P.E.
Project Engineer

JGM:kf
xc: Don Krueger



CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION



HYDROLOGY SECTION PROJ. NO. _____ DATE: 6/10/83

PLANNING DIVISION NO. _____

CONFERENCE RECAP

SUBJECT: A REPEAT OF LOTS 1-6 ENCHANTED MESA
(CHELWOOD PARK APTS)

WHO
ATTENDANCE: FRED J. AGUIRRE
JEFF MORTENSEN

REPRESENTING

RECEIVED

AUG 24 1983

ENGINEERING

FINDINGS:

1. INADEQUATE DOWNSTREAM CONDITIONS, CONSEQUENTLY
~~NO~~ CONTROLLED DISCHARGE REQUIRED
2. DRAINAGE PLAN REQUIRED
3. PROVIDE THE REQUIRED PRIVATE EASEMENTS (DRAINAGE)
ON THE PROPOSED REPEAT
4. LOTS A, B & C SUBJECT TO ~~INUNDATION~~ ^{INUNDATION} FROM THE 100 YRS
STORM.
5. ROUTE ALL THE DEVELOPED RUNOFF THRU THE PONDS. PLEASE
ADVISE IF THIS SCHEME IS NOT POSSIBLE PRIOR TO
PUTTING PEN TO PAPER ^{2nd} Proposed Scheme 1 allowing
~ 25% of the development with no control to be discharge into
the alley is acceptable. JMA

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Fred J. Aguirre

SIGNED: Jeff Mortensen

TITLE: City Engineer

TITLE: PROJECT ENGINEER

DATE: 6/10/83

DATE: 6/10/83

$$Q_p = Q_{100} = 1.6 \text{ cfs}$$

$$V_{100} = 2684 \text{ c/l}$$

$$V_1 = \frac{1}{2} (1.6) (10) (60) = 480 \text{ cf}$$

$$V_2 = 2684 - 480 = 2204 \text{ cf}$$

$$T_k = 2V_c / Q_p = 2755 \text{ sec} = 46 \text{ min}$$

$$Q_{\text{release}} = 0.4 \text{ g/s}$$

