



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 6, 1983

Andre Houle
CTS, Inc.
Sandia Park, NM 87047

REF: MENAUL & KIRBY NE - H22-D33

Dear Mr. Houle:

The preliminary drainage plan for the foundation only permit is approved.

If you have any questions, please feel free to contact this office.

Sincerely,

Fred J. Aguirre
Civil Engineer/Hydrology

FJA:mrk

MUNICIPAL DEVELOPMENT DEPARTMENT

Richard S. Heller, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

INFORMATION SHEET

PROJECT TITLE 11501 Manual TYPE OF SUBMITTAL Drainage Plan
 ZONE ATLAS PAGE NO. H22 CITY ADDRESS 11501 Manual
 LEGAL DESCRIPTION Lot 1 and 2, Block 4, Enchanted Mesa Subd.
 ENGINEERING FIRM CTS, Inc. CONTACT Andre Houle
 ADDRESS 1100 Alvarado PHONE 266-3444
 OWNER Bob Shepherd CONTACT Bob Shepherd
 ADDRESS 10200 Manual Blvd. PHONE 293-2595
 ARCHITECT Fred Aragon CONTACT 265-9612
 ADDRESS _____ PHONE _____
 SURVEYOR _____ CONTACT _____
 ADDRESS _____ PHONE _____
 CONTRACTOR Bob Shepherd CONTACT Bob Shepherd
 ADDRESS _____ PHONE _____

DATE SUBMITTED 7-13-83
 BY Andre Houle

Use this Information Sheet when submitting the following:

Drainage report or plan, conceptual grading and drainage plan, engineer's certification plan, erosion plan and grading plan. Provide the information applicable to your submittal.

INFORMATION SHEET

PROJECT TITLE Office Bldg. TYPE OF SUBMITTAL Commercial
 ZONE ATLAS PAGE NO. H-22 CITY ADDRESS 11501 Menaul N.E.
 LEGAL DESCRIPTION Lots 1 & 2 Blk 3 Enchanted Mesa
 ENGINEERING FIRM C.T.S. Consultants CONTACT Andre
 ADDRESS P.O. Box 142 Saddle Park PHONE 266 3444
 OWNER Robert E. Shepherd CONTACT _____
 ADDRESS _____ PHONE 296 2226
 ARCHITECT _____ CONTACT _____
 ADDRESS _____ PHONE _____
 SURVEYOR Way John CONTACT Wayne
 ADDRESS 9980 Julian School Rd. PHONE _____
 CONTRACTOR Shepherd Health & Family Care Inc. CONTACT Bob
 ADDRESS 11501 Menaul N.E. PHONE 296 2226

DATE SUBMITTED 12 July 83BY Robert E. Shepherd 296 2226

Use this Information Sheet when submitting the following:

Drainage report or plan, conceptual grading and drainage plan, engineer's certification plan, erosion plan and grading plan. Provide the information applicable to your submittal.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 29, 1983

Mr. Andre Houle
CTS, Inc.
1100 B Alvarado NE
Albuquerque, NM 87110

REF: GRADING PLAN AT MENAUL & KIRBY NE (H22-D33)

Dear Mr. Houle:

The above plan received 7/27/83 is hereby approved contingent on the following:

1. Alley grades must be approved and implemented.
2. Summary plat must be filed.

The above must be complied with prior to issuance of the Certificate of Occupancy.

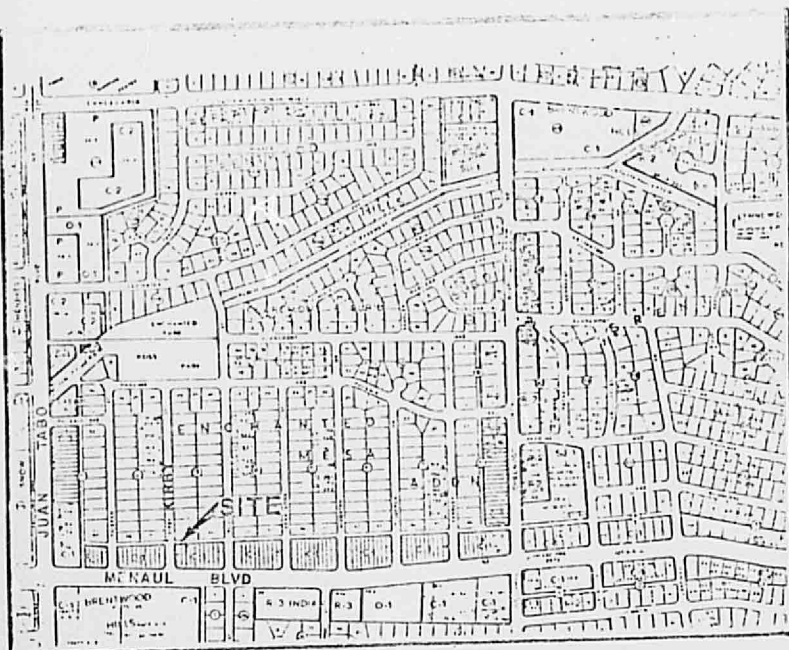
If you have any questions, please call me at 766-7644.

Sincerely,

John Armstrong
Civil Engineer/Hydrology

JA:mrk

URAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



VICINITY MAP (Zone Atlas # H-22)



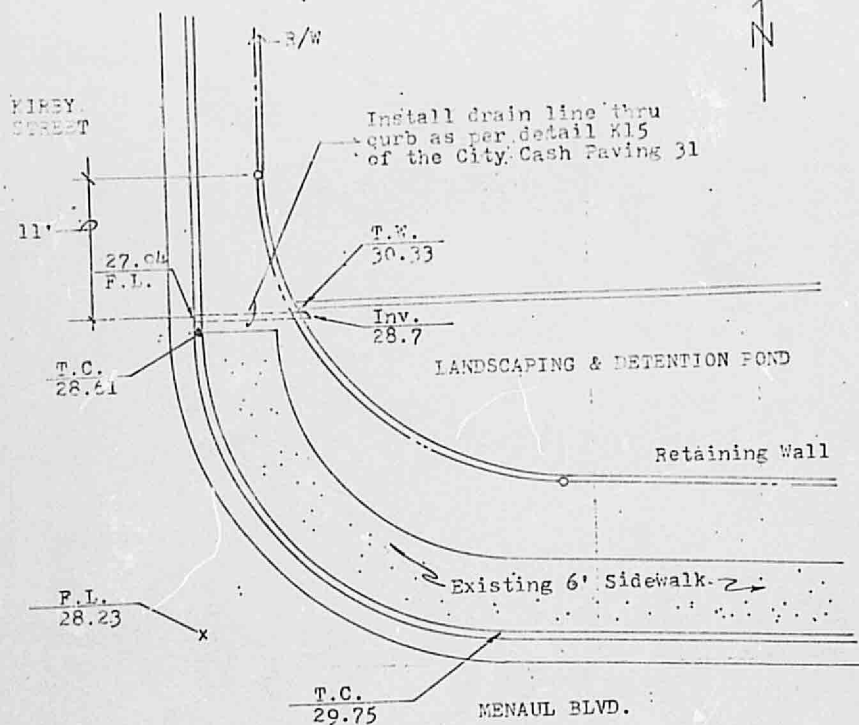
NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "Contract Documents for City-Wide Utilities and Cash Paving No. 31"
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to Residential street use.

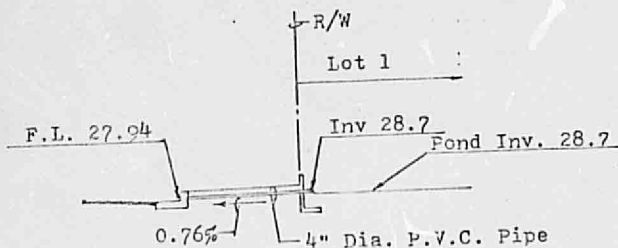
P-09009 Madrid Court		C-87	
APPROVALS	NAME	DATE	TITLE: Grading/Drainage Plan for Menaul and Kriby N.E. Albuquerque, New Mexico
A.C.E./DESIGN	<i>[Signature]</i>	12/5/83	11501 Menaul NE
INSPECTOR	<i>[Signature]</i>	2/1/84	PERMIT NO.
A.C.E./FIELD	<i>[Signature]</i>	2/1/84	SHEET 1 OF 2
			MAP NO. H-22

CITY OF ALBUQUERQUE

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



PLAN



PROFILE

C-87

APPROVALS	NAME	DATE	TITLE:
A.C.E./DESIGN	<i>Robert J. [Signature]</i>	12/8/83	Grading/Drainage Plan for Menaul & Kirby N.E.
INSPECTOR	<i>Robert J. [Signature]</i>	2/1/84	Albuquerque, New Mexico
			11501 Menaul N.E.

LICENSE AGREEMENT

THIS AGREEMENT made on the 24th day of August, 1983, by and between the CITY OF ALBUQUERQUE, a municipal corporation hereinafter "CITY" and Robert E. Shepherd and Evelyn M. Shepherd hereinafter "LICENSEE".

RECITAL

The LICENSEE is the owner of certain real property located at 11501 Menaul Boulevard, NE in Albuquerque, New Mexico, and more particularly described as follows: Lots numbered One (1) and Two (2) in Block numbered Three (3) of ENCHANTED MESA, a subdivision to the City of Albuquerque, New Mexico, as the same is shown and designated on the map of said subdivision filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 27, 1953; together, with the northerly 22 feet of Menaul Boulevard, NE, lying immediately south of and adjacent to said lots vacated by City Ordinance No. 2615, recorded in Miscellaneous Book 49, P948 of records of Bernalillo County, New Mexico.

The CITY is the owner of certain real property, easement, or public right-of-way hereinafter "CITY PROPERTY" adjoining or abutting the above described property of the LICENSEE and more particularly described as follows:

a twenty foot wide alley way located approximately 145 feet north of Menaul Boulevard between Kirby Street and Algodones, as the same is shown and designated on the map of ENCHANTED MESA filed in the Office of the County Clerk of Bernalillo County, New Mexico.

The LICENSEE desires to improve, repair, or maintain, ("IMPROVEMENT") the street or alley situated on the CITY PROPERTY as follows:

surface the alley with 2" of asphaltic concrete to the grade approved by the City Engineer on City Drawing No. 1866.

The CITY is agreeable to the IMPROVEMENT provided that the LICENSEE complies with the provisions and covenants contained herein.

NOW, THEREFORE, in consideration of mutual covenants contained herein, it is agreed to by and between the CITY and LICENSEE that the LICENSEE may construct, repair, and maintain, at its own expense, the IMPROVEMENT described herein.

RESPONSIBILITY

The LICENSEE shall be responsible for the construction, repair, and maintenance of said IMPROVEMENT and he shall conform to all laws, ordinances, and administrative regulations applicable thereto, as well as to the requirements set forth herein and attached hereto and marked as Exhibit "1".

MAINTENANCE

The LICENSEE shall maintain said IMPROVEMENT at his expense so long as this License is in effect according to the standards set forth in Exhibit "2", attached hereto.

USE OF IMPROVEMENT

The CITY PROPERTY described herein is a public right-of-way and as such shall be open to the use of the general public at all times, subject to reasonable curtailment thereof during periods of construction, repair, or maintenance.

IDEMNIFICATION AND HOLD HARMLESS

The LICENSEE shall agree to defend, indemnify, and hold harmless the CITY, its officials, agents, and employees from and against actions, suits, or proceedings of any kind brought against the CITY for or on account of any matter arising from LICENSEE'S construction, repair or maintenance of the IMPROVEMENT.

FAILURE TO PERFORM

In the event that the LICENSEE fails to perform any of the provisions herein in relationship to the improvement within 180 days after receipt of written notice to perform same from the CITY, the CITY may construct, repair, or maintain as may be necessary and assess the cost of same to the LICENSEE and file a lien against the LICENSEE'S property for same.

NOTICE

The written notice provided for herein shall be accomplished by mailing same to:

Mr. Bob Shepherd
Post Office Box 11523
Albuquerque, New Mexico 87192

The LICENSEE may change said address by giving written notice, certified mail, return receipt requested, to the City Engineer, at 400 Marquette, N. E., Albuquerque, New Mexico 87102.

COVENANT RUNNING WITH THE PROPERTY

The obligation of the LICENSEE set forth herein shall be binding upon the LICENSEE, his heirs and assigns, and the property of the LICENSEE as described herein and will run with said property until released by the CITY.

REVOCATION OF LICENSE

This License may be revoked by the CITY upon 30 days written notice to the LICENSEE.

ASSESSMENTS

Nothing herein shall be construed to relieve the LICENSEE, his grantees, successors, and assigns from an assessment against his real property under a duly authorized and approved Special Assessment District for improvements to the CITY PROPERTY.

LICENSEE

By:

Title

Bob Shepherd
Bob Shepherd
Wife

CITY OF ALBUQUERQUE

REVIEWED BY THE LEGAL
DEPARTMENTin 5th
Assistant City Attorney

REVIEWED:

S. M. Shepherd
Engineering DivisionSTATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

REVIEWED:

Robert A. Parnell
Traffic Engineering Division

ATTEST:

C. J. L. D. D.
The foregoing instrument was acknowledged before me this
day of _____, 1981, by _____

(Name of Officer)

(Title)

_____, a _____
(Name of Corporation) (State of Incorporation)
corporation, on behalf of said corporation._____
Notary Public

My Commission Expires:

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)The foregoing instrument was acknowledged before me this
day of _____, 1981, by _____

(Name of Acknowledging Partner or Partners)

on behalf of _____
(Name of Partnership)
a partnership._____
Notary Public

My Commission Expires:

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)The foregoing instrument was acknowledged before me by
Robert & Evelyn Shepard, on this 27 day of July, 1981, 1983OFFICIAL SEAL
MARGARET WRIGHT
NOTARY PUBLIC - NEW MEXICOMy Commission Expires: 1984-25-84Margaret Wright
Notary PublicSTATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)The foregoing instrument was acknowledged before me this
day of August, 1981, by Robert A. Parnell
Chief Administrative Officer of the City of Albuquerque, Municipal
corporation, on behalf of said corporation.Robert A. Parnell
Notary Public

EXHIBIT 1

ATTACHMENT TO LICENSE AGREEMENT FOR Robert Shepherd
TO PLACE PAVING IN THE ALLEY BETWEEN Kirby Street
and Algodones Street from Kirby Street to
62' east of the east right-of-way of Kirby Street.

DATED: August 24, 1983

DESIGN STANDARDS REQUIRED

1. Paving shall be placed on grades approved by the City Engineer.
2. Paving section shall consist of graded and compacted subgrade and two
(2) inches of asphaltic concrete surface course conforming to the
requirements of specifications for City Wide Utilities and Cash Paving
#3/ Contract. Pavement shall be minimum 1500 pound Marshall Stability.
3. Pavement surface shall be finished free of surface ponding and shall be
free draining.

EXHIBIT II

ATTACHMENT TO LICENSE AGREEMENT FOR Robert Shepherd

TO PLACE PAVING IN THE ALLEY BETWEEN

Kirby Street and Algodones Street from Kirby
Street to 62' east of the east right-of-way of Kirby Street.

DATED: August 24, 1933

MAINTENANCE REQUIREMENTS AND STANDARDS

1. Pavement surface provided shall be maintained in a sound condition free from ponding, chuckholes, pavement breaks and in a safe condition.
2. Any defects creating a hazardous condition to traffic shall immediately be repaired to the satisfaction of the City Engineer by the licensee.

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

'83 AUG 25 AM 1:20

BY WALTER
CLERK & RECORDER