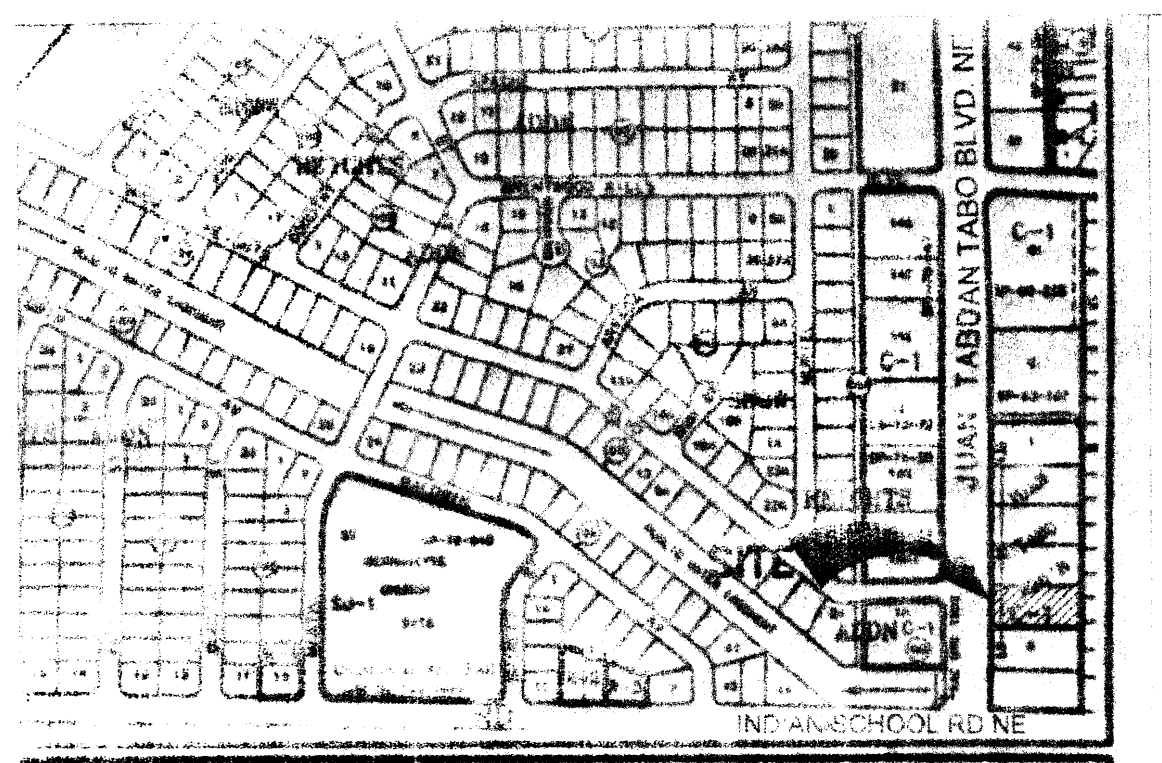
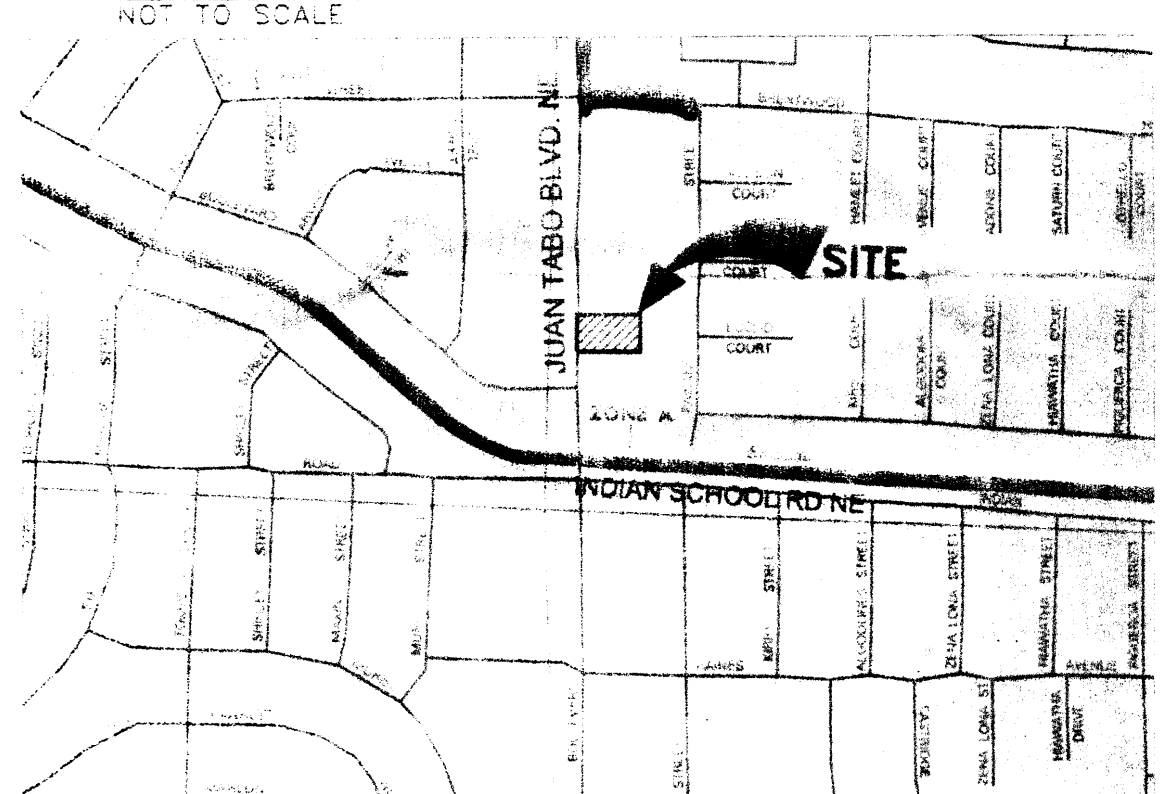




LOCATION MAP MAP NO: H-21-Z NOT TO SCALE



FIRM MAP: PANEL 35001 C0357 D NOT TO SCALE

LEGEND

- DATE
- EXISTING ELEV. CONTOUR TO REMAIN
- EXISTING ELEV. CONTOUR - MODIFIED
- PROPOSED ELEV. CONTOUR
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED TOP OF CONCRETE ELEVATION
- PROPOSED TOP OF GRAVEL ELEVATION
- PROPOSED TOP OF ASPHALT PAVEMENT ELEV.
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED TOP OF FINISH FLOOR ELEV.
- PROPOSED DIRECTION OF FLOW
- EXISTING DIRECTION OF FLOW TO REMAIN
- PROPOSED BUILDING
- EXISTING BUILDING
- NEW PARKING SPACES STRIPING
- CONCRETE WHEEL STOP
- HQ PARKING SIGN
- CITY BUS STOP
- EXISTING POWER POLE
- EXISTING POWER/LIGHT POLE TO BE REMOVED OR RELOCATED
- EXISTING OVERHEAD POWER LINE(S) TO REMAIN
- EXISTING OVERHEAD POWER LINE(S) TO BE DEMOLISHED
- EXISTING ELECTR. METER TO BE RELOCATED
- NEW/RELOCATED ELECTR. METER
- NEW POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
- NEW WALL MOUNTED LIGHT FIXTURE
- EXISTING WATER LINE
- NEW WATER LINE
- NEW WATER METER
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING SEWER MAIN
- EXISTING SEWER MANHOLE
- NEW SEWER SERVICE LINE
- EXISTING GAS LINE
- RETAINING WALL
- BUILDING ENTRY
- STREET SIGN
- NEW ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT
- ROOF FLOW DIRECTION
- AS-BUILT DIRECTION OF FLOW

DRAINAGE CERTIFICATION WITH VERIFICATION BY ENGINEER OF RECORD

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/20/03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPATION.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Celia S. Tomlinson 5/1/04
CELIA S. TOMLINSON, PE. DATE:

NOTE: THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.

NOTE: ADD 5600 FEET TO PROPOSED SPOT ELEVATIONS TO GET MEAN SEA LEVEL DATUM ELEVATIONS.

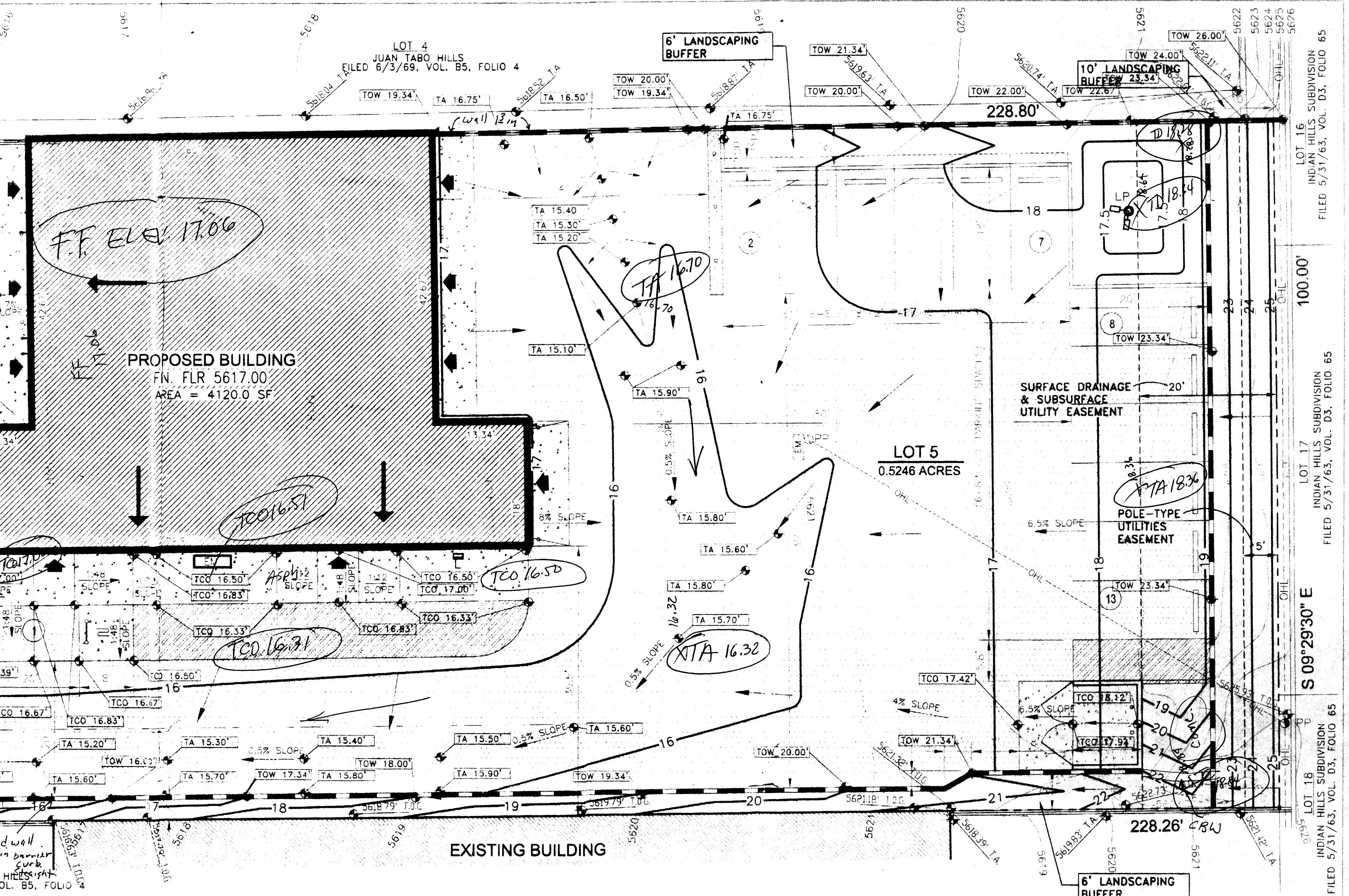
NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED, EXCEPT AS OTHERWISE PROVIDED HEREON, IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1234) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE DRAWING.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

BENCH MARK:

ACS MON 15-H22
ELEV.(SLD29)=5612.966
X=420774.00
Y=1,493,253.38
NAD 1927
GROUND TO GRID
FACTOR 0.99963880
Δ = -00° 09' 08"
CENTRAL ZONE

SCALE: 1" = 10'



DRAINAGE AND GRADING PLAN MEINEKE MUFFLERS 1812 JUAN TABO BLVD N.E.

FLOODPLAIN INFORMATION: The property is located in Zone X, areas determined to be outside the 500-year floodplain, according to the Floodway Insurance Rate Map of Bernalillo County, Community Panel 3501C0357D, effective April 2, 2002.

EXISTING ON-SITE CONDITIONS: The site is presently unimproved. It is bounded on the north, south, and east by improved lots and on the west by Juan Tabo Blvd NE, a paved street with concrete curb and gutter and sidewalks. The site slopes from east to west. An existing underground storm drain system south of the site collects runoff from Juan Tabo including that of the site.

OFF-SITE DRAINAGE CONTRIBUTION - NONE.

PROPOSED IMPROVEMENTS: A building with a total roof area of Two buildings with a total roof area of 4,120 square feet will be built on the site. Landscaping, concrete walks and drives and bituminous concrete parking lot will be provided.

ANALYSIS PHILOSOPHY: The site will be graded such that the post-development flows will follow the historic direction of flow. Pursuant to a pre-design discussion with City Drainage Engineer Carlos Montoya, PE, the site's surface water may be discharged to Juan Tabo inasmuch as the subject property is an in-fill site. Pre-developed and post-developed runoff quantities and volumes are quantified.

EROSION CONTROL: Water from construction activities and/or rainfall shall be retained on site through temporary ponding areas to prevent any runoff from entering the streets.

NOTE: All references are to City of Albuquerque Development Process Manual, July, 1997

TOTAL LOT SIZE: APPROXIMATELY ONE-HALF ACRE

ZONE 4 (DPM FIGURE A-1, p 22-7)

100 YEAR STORM DEPTH (DPM TABLE A-2, p 22-8)

EVENT INCHES	P ₁₀₀	P ₅₀	P ₂₅	P ₁₀	P ₅
	1.87	2.2	2.66	3.12	3.67

100 YR 6 HR STORM EVENT

TREATMENT	A	B	C	D	(DPM TABLE A-9, p 22-15)
Q _{PEAK} (CFS/ACRE)	2.20	2.92	3.73	5.25	
V ₃₆₀ (VOLUME RUNOFF) (INCHES)	0.80	1.08	1.46	2.64	(DPM TABLE A-8, p 22-13)

EQUATIONS REQUIRED

$Q_{PEAK\ TOTAL} (Q_{TOT}) = Q_{PA} A_{PA} + Q_{PB} A_{PB} + Q_{PC} A_{PC} + Q_{PD} A_{PD}$ (DPM EQ. a-10, p 22-16)

$E = \{E_A A_A + E_B A_B + E_C A_C + E_D A_D\} / \{A_A + A_B + A_C + A_D\}$ (DPM EQ. a-5, p 22-14)

$V_{360} (VOLUME RUNOFF) = E_{360} \text{ WEIGHTED} \{A_A + A_B + A_C + A_D\} / 12$ (DPM EQ. a-6, p 22-14)

$V_{360\ DATE} = V_{360} + A \cdot (P_{360\ DATE} - P_{360} / 12) \text{ IN/FT}$ (DPM EQ. a-9, p 22-14)

EXISTING CONDITIONS

TREATMENT	A	B	C	D
Q _{PEAK} TOTAL (Q _{PA})	0	0.00 AC	0.50 AC	0.00 AC

Q_{PEAK} TOTAL (Q_{PA}) = 1.86 CFS
V₃₆₀ = 2650 CF

DEVELOPED CONDITIONS

TREATMENT	A	B	C	D
AREA (ACRES)	0.00	0.08 AC	0.00 AC	0.42 AC

Q_{PEAK} TOTAL (Q_{PA}) = 2.48 CFS
V₃₆₀ = 4337 CF

INCREASE IN RUNOFF QUANTITY = 2.48 - 1.86 = 0.62 CFS
INCREASE IN RUNOFF VOLUME = 19019 - 13151 = 1687 CF

REVISION

DATE	DESCRIPTION

APPROVALS

ENGINEER	DATE

RHOMBUS P.A., INC.
FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS

e-mail: rhombus@nmia.com
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2620 San Mateo NE Suite B Albuquerque, NM 87110
TEL. (505) 881-6690 FAX (505) 881-6696

PROJECT TITLE:
MEINEKE MUFFLERS
1812 JUAN TABO BLVD NE, NEW MEXICO

SHEET TITLE:
GRADING AND DRAINAGE PLAN

MAP NO: H-21-Z **RHOMBUS JOB NO:** 03-C2-45 **SHEET:** C-3 **OF:** 04

DRAWN BY: RG **CHECKED BY:** CT **FIELD WORK BY:** RHOMBUS P.A. **DATE:** 10/16/2003